

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-25:148	SUBJECT PROPERTY:	340 Springbrook Avenue, Ancaster
ZONE:	R4-562 (Residential 4 – Site Specific Exception 562 Zone)	ZONING BY-LAW:	Ancaster Zoning By-law 87-57, as Amended

APPLICANTS: Owner: Shiraz Jawhar Qahar

The following variances are requested:

1. A minimum rear yard of 5.3 metres shall be permitted instead of the minimum required 7.5 metres.
2. An open stairway shall be permitted to project into a required rear yard a maximum distance of 0.5 metres, whereas the Zoning By-law does not permit an open stairway to project into a required rear yard.

PURPOSE & EFFECT: To permit the construction of a roofed-over deck in the rear yard of an existing Single Detached Dwelling.

Notes:

- i. The proposed roofed-over deck in the rear yard is considered part of the principal dwelling. This is because, as per the definition of “Deck”, a deck is not permitted to have a roof other than a trellis or trellis-like structure. The proposed structure is also not considered an unenclosed porch; per the definition of “Porch, Unenclosed”, and unenclosed provides access to only the front entrance of a dwelling.
- ii. The proposed roofed-over deck in the rear yard is not counted as lot coverage since it does not meet the definition of “Building”.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, September 4, 2025
TIME:	1:55 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

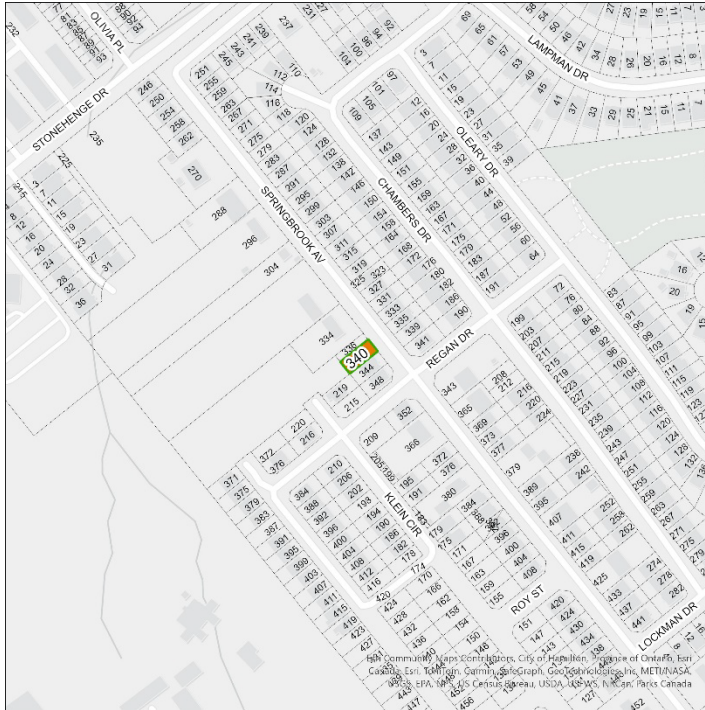
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon September 2, 2025

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon September 3, 2025

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:148, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



Subject Lands

DATED: August 18, 2025

Justin Leung,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATING PROCEDURES

1. Written Submission Ahead of the Meeting

Members of the public who wish to provide input without speaking at the Hearing may submit written comments in advance of the meeting. Comments must be received by 12:00 p.m. (noon) on the deadline date for written comment submissions listed on the Notice of Public Hearing.

How to Submit Written Comments:

By Email:

Send to: cofa@hamilton.ca

By Mail:

Committee of Adjustment
City of Hamilton
71 Main Street West, 5th Floor
Hamilton, Ontario
L8P 4Y5

All written comments received will be made available to the Committee and the public by the Tuesday prior to the Hearing.

2. Oral Submissions During the Hearing

Interested members of the public, agents, and owners may provide oral comments on Committee of Adjustment Hearing items either virtually via Webex (computer or phone) or by attending in person.

Speaking Time Limit:

All participants providing oral submissions, either in person or virtually are limited to a maximum of 5 minutes to speak. This is to ensure all parties have an equal opportunity to be heard and that the meeting runs efficiently.

3. In-Person Oral Submissions

To participate in person, attend Council Chambers on the date and time listed in the Notice of Public Hearing. You will be required to provide your name and address for the record. It is recommended you arrive at least 10 minutes prior to the scheduled start time.

4. Virtual Oral Submissions

To participate virtually, you must register by 12:00 p.m. (noon) on the virtual oral submissions registration deadline date. This is listed on the Notice of Public Hearing.

- Committee of Adjustment file number
- Hearing date
- Name and mailing address of each person wishing to speak
- Method of participation (phone or video), and, if applicable, the phone number to be used
- Each person must register separately

Registered participants will receive a Webex link one business day before the Hearing. Only those registered will be called upon to speak.

5. Presentations

All presentations are permitted at the discretion of the Committee.

Virtual Presentations:

Presenters participating virtually may be granted permission to share their screen during the Hearing. A copy of the presentation must be submitted to cofa@hamilton.ca **by 12:00 p.m. (noon) on the business day prior to the Hearing**. The submission must be one document in PDF format only.

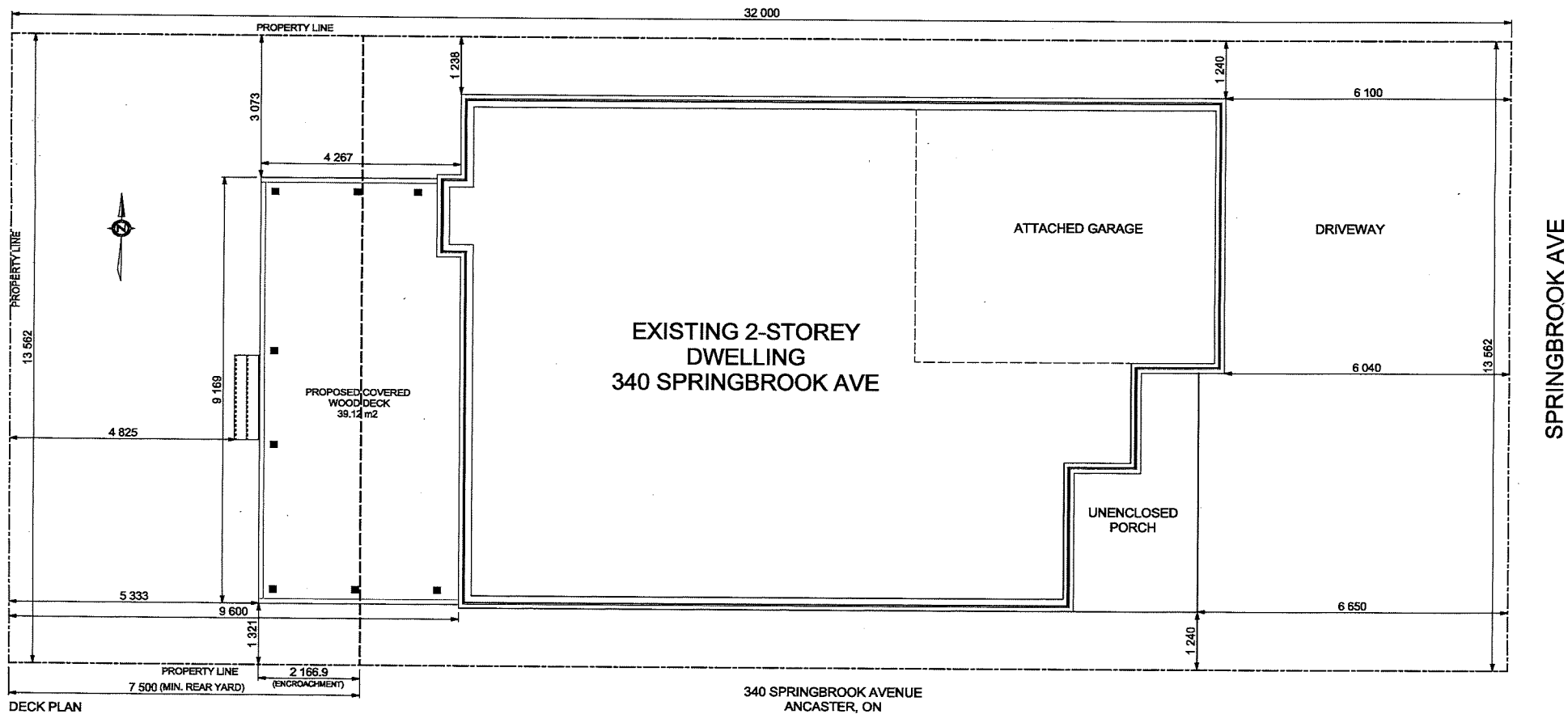
In-Person Presentations:

Presenters attending in person may be granted permission to use the presentation screen. Presentations must be brought on a USB device and opened by the owner/applicant. A copy of the presentation must also be sent to cofa@hamilton.ca **by 12:00 p.m. (noon) on the business day prior to the Hearing**. The submission must be one document in PDF format only. Handouts are permitted only if the same content can be displayed on the presentation screen.

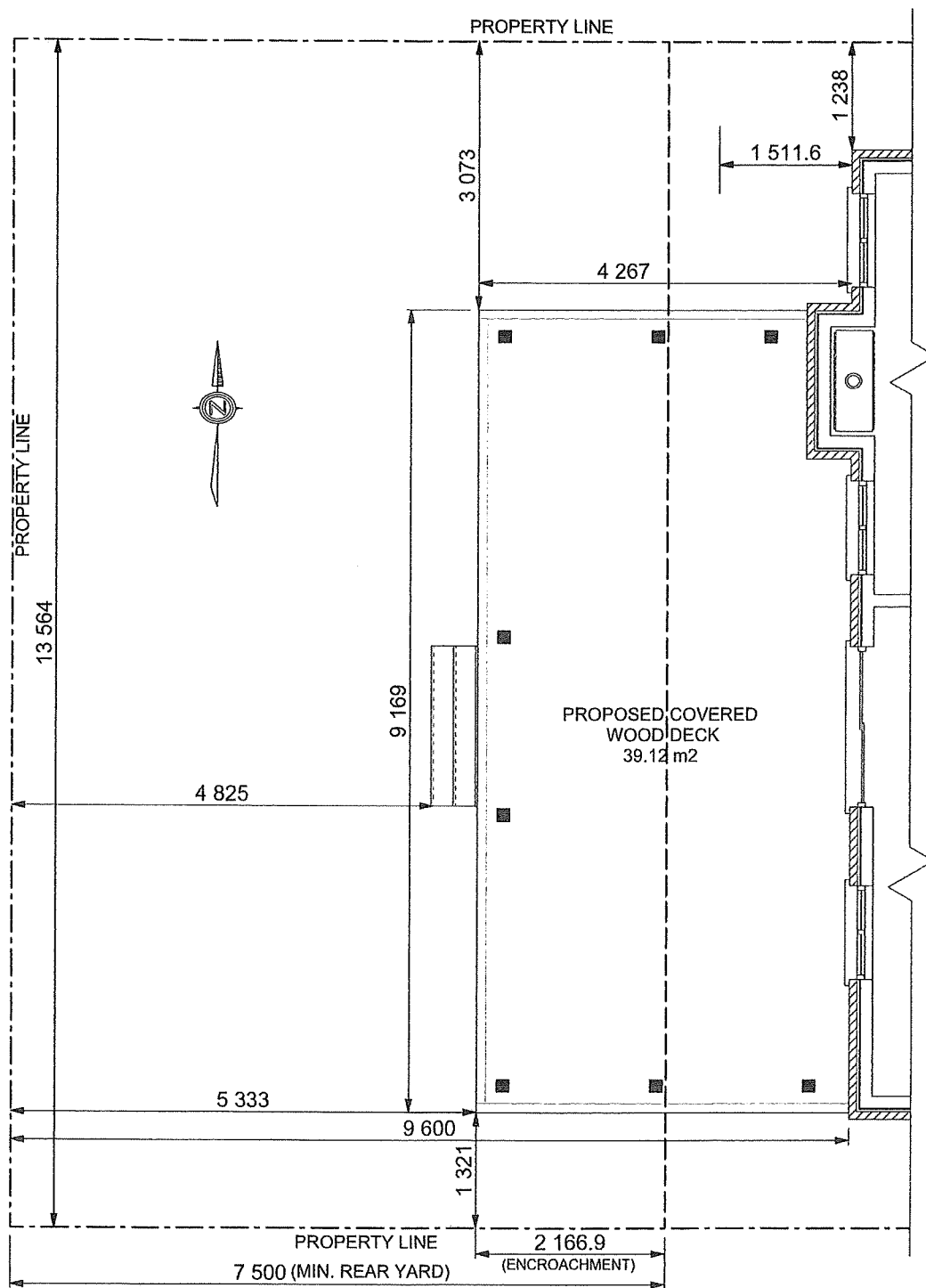
6. Additional Notes

- Webex (video) participation requires a compatible computer or smartphone. The necessary application must be downloaded in advance.
- It is the interested party's responsibility to ensure their device is functional and compatible prior to the Hearing.

For any questions, contact staff at cofa@hamilton.ca or call 905-546-2424 ext. 4221.

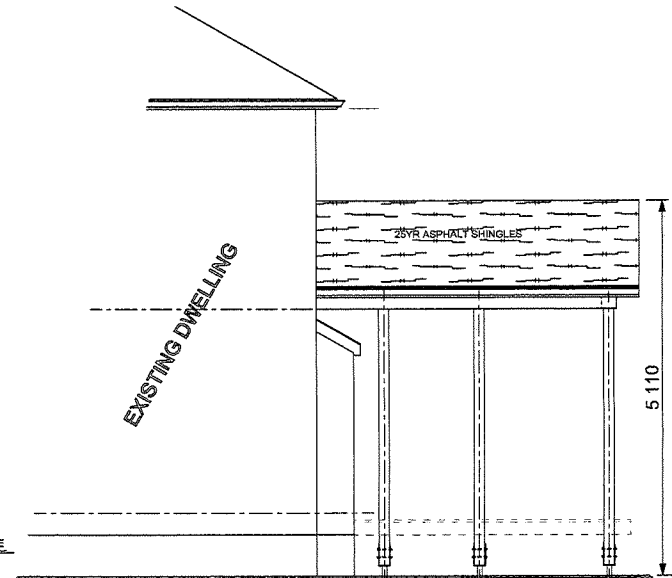


PROPOSED REAR COVERED DECK JULY 14, 2025 SCALE: 1:100





CROSS SECTION

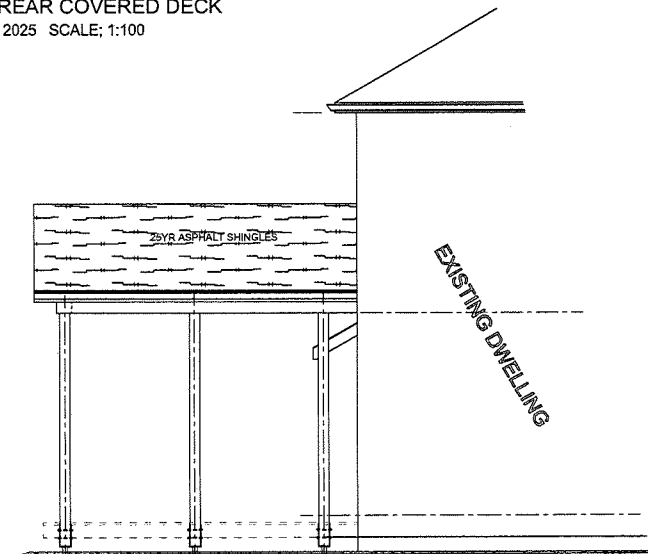


NORTH ELEVATION

340 SPRINGBROOK AVENUE
 ANCASTER, ON
 PROPOSED REAR COVERED DECK
 JULY 14, 2025 SCALE: 1:100



WEST (REAR) ELEVATION



SOUTH ELEVATION

SURVEYOR'S REAL PROPERTY REPORT

PART 1, PLAN OF

LOTS 1 & 2

PLAN 62M-1260

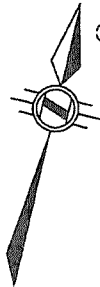
IN THE

CITY OF HAMILTON

SCALE 1:200 METRIC



S.D. McLAREN, O.L.S. - 2022



LOT 50
CONCESSION

PART 3, PLAN 62R-18664

PIN 17565-5735(LT)

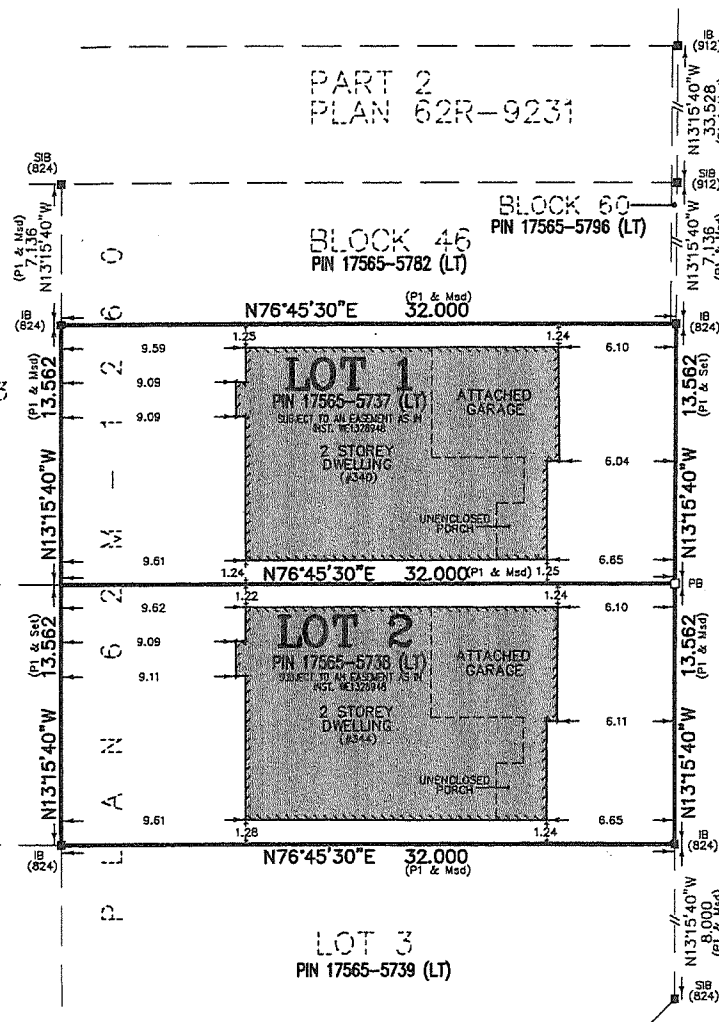
LOT 8
PIN 17565-5744 (LT)

LOT 7

PART 2
PLAN 62R-9231

BLOCK 46
PIN 17565-5782 (LT)

BLOCK 60
PIN 17565-5796 (LT)



SPRINGBROOK AVENUE

(ESTABLISHED BY UNREGISTERED BY-LAW NO. 127, 2012M, RIGHT-OF-WAY AS IN DIST. NO. 13734 A.M.C.)
PIN 17565-5737 (LT)

SURVEYOR'S REAL PROPERTY REPORT (PART 2)

LOTS 1 & 2, PLAN 62M-1260, ARE SUBJECT TO AN EASEMENT IN GROSS AS IN WE1326948 AS ILLUSTRATED ON THE PLAN.

THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS.

THIS PLAN WAS PREPARED FOR 1639142 ONTARIO INC.

ASSOCIATION OF ONTARIO
LAND SURVEYORS
PLAN SUBMISSION FORM
2188264



THIS PLAN IS NOT VALID
UNLESS IT IS AN EMBOSSED
ORIGINAL COPY
ISSUED BY THE SURVEYOR
In accordance with
Regulation 1026, Section 29(3).

METRIC NOTE:

DISTANCES SHOWN ON THIS
PLAN ARE IN METRES AND
CAN BE CONVERTED TO FEET
BY DIVIDING BY 0.3048

NOTE:

A.T.M. CONTROL POINTS 20, 37 AND 38
HAVE BEEN USED TO RE-ESTABLISH THE
BOUNDARIES OF LOT 1 & 2.

LEGEND:

□	DENOTES	MONUMENT SET
■		MONUMENT FOUND
IB		IRON BAR
PB		PLASTIC BAR
SB		STANDARD IRON BAR
SSB		SHORT STANDARD IRON BAR
824		A.T. McLAREN, O.L.S.
Med		MEASURED
P1		PLAN 62M-1260
//		NOT TO SCALE

BEARING NOTE:

BEARINGS ARE GRID AND ARE REFERRED
TO UTM 17, NAD83, (CSRS) (2010.0).

BEARINGS ARE GROUND AND CAN BE
CONVERTED TO GRID BY MULTIPLYING BY
THE COMBINED SCALE FACTOR OF
0.99965806.

SURVEYOR'S CERTIFICATE:

I CERTIFY THAT:
1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH
THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS
MADE UNDER THEM
2. THE SURVEY WAS COMPLETED ON THE 20TH DAY OF DECEMBER, 2021

May 16, 2022
DATE

S. DAN McLAREN, O.L.S.

© S.D. McLAREN, O.L.S. - 2022. NO PERSON MAY COPY
REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN
PART WITHOUT THE WRITTEN PERMISSION OF S.D. McLAREN, O.L.S.



A.T. McLaren Limited
LEGAL AND ENGINEERING SURVEYS

69 JOHN STREET SOUTH, SUITE 230
HAMILTON, ONTARIO, L8N 2B9
PHONE (905) 527-8559 FAX (905) 527-0032

Drawn TC	Checked JM	Crew Chief TV	Scale 1:200	Dwg.No. 36133-1&2F
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Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS	
Registered Owners(s)	Shiraz Jawhar Qahar Tuena Taha		
Applicant(s)	Shiraz Jawhar Qahar		
Agent or Solicitor			Phone: E-mail:

1.2 Primary contact

☐ Applicant

☒ Owner
☐ Agent/Solicitor

1.3 Sign should be sent to

☐ Applicant

☒ Owner
☐ Agent/Solicitor

1.4 Request for digital copy of sign

☐ Yes*

☐ No

Want physical copy

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email

☒ Yes*

☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will be sent by email.

1.6 Payment type

☒ In person
☐ Cheque

☐ Credit over phone*

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	340 Springbrook Ave.		
Assessment Roll Number			
Former Municipality	ANCASTER		
Lot 1		Concession	
Registered Plan Number	62M-1260	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for: RELIEF FROM THE MAXIMUM LOT COVERAGE OF 45% TO ALLOW A COVERAGE OF 50.4% AND TO ALLOW THE PROPOSED STRUCTURE TO ENCROACH 2.68M INSTEAD OF THE MAXIMUM ALLOWABLE OF 1.50M
☐ Second Dwelling Unit ☐ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?
LOT ISN'T DEEP ENOUGH TO ALLOW A STRUCTURE OF ADEQUATE DEPTH.

3.3 Is this an application 45(2) of the Planning Act.
☐ Yes ☒ No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
13.562m	32.00m	425.3m ²	

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
my house (SINGLE FAMILY DWELLING)	6.10M	9.60M	1.24	2023

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Roof over deck (ADDITION)	/	4.825M	1.32M (SOUTH) 3.07M (NORTH)	TO BE BUILT.

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
house (SINGLE FAMILY DWELLING)	130.25M ² (LIVING AREA)	175.2M ² (FOOTPRINT) 298.5M ² (TOTAL BOTH FLOORS)	2	9.5M

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Roof over deck (ADDITION TO DWELLING)	39.12M ²	39.12M ²	1	5.11M

- 4.4 Type of water supply: (check appropriate box)
- ☒ publicly owned and operated piped water system
- ☐ privately owned and operated individual well

- ☐ lake or other water body
- ☐ other means (specify)
- _____

- 4.5 Type of storm drainage: (check appropriate boxes)
- ☐ publicly owned and operated storm sewers
- ☒ swales

- ☐ ditches
- ☐ other means (specify)
- _____

4.6 Type of sewage disposal proposed: (check appropriate box)

- ☒ publicly owned and operated sanitary sewage
☐ system privately owned and operated individual
☐ septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- ☐ provincial highway
☒ municipal road, seasonally maintained
☒ municipal road, maintained all year
- ☐ right of way
☐ other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

my house

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Residential s

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

2023

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Residential

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

my house

7.4 Length of time the existing uses of the subject property have continued:

~~to~~ I moved in on May 2023

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): Neighbour

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Neighbourhood

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? R4-562

7.8 Has the owner previously applied for relief in respect of the subject property?

(Zoning By-law Amendment or Minor Variance)

☐ Yes

☒ No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes

☒ No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 0

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- ☒ Application Fee
- ☒ Site Sketch
- ☒ Complete Application form
- ☒ Signatures Sheet

11.4 Other Information Deemed Necessary

- ☐ Cover Letter/Planning Justification Report
- ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- ☐ Minimum Distance Separation Formulae (data sheet available upon request)
- ☐ Hydrogeological Assessment
- ☐ Septic Assessment
- ☐ Archeological Assessment
- ☐ Noise Study
- ☐ Parking Study
