



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING **Minor Variance**

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
 - Applicant/agent on file, or
 - Person likely to be interested in this application
-

APPLICATION NO.:	A-25:164	SUBJECT PROPERTY:	4869 Governors Road, Flamborough
ZONE:	A1, P7 & P8 (Agriculture & Conservation/Hazard Land Rural Zone)	ZONING BY-LAW:	Zoning By-law 05-200

APPLICANTS: Owner: Richard Charles Brooks
Applicant: William McCallum
Agent: A.J Clarke and Associates Ltd

The following variances are requested:

1. An Additional Dwelling Unit - Detached shall be permitted to be located within the front yard instead of the requirement no Additional Dwelling Unit - Detached shall be located within a front yard.
2. An Additional Dwelling Unit – Detached shall be permitted to project 6.0m from the front facade of the principal dwelling instead of the minimum required setback of 5.0 metres from the front facade of the principal dwelling.
3. A maximum Building Height of 7.0 metres shall be provided for an Additional Dwelling Unit - Detached instead of the maximum permitted 6.0 metres.
4. A maximum Gross Floor Area of 200 square metres for an Additional Dwelling Unit – Detached with a Principal Dwelling Gross Floor Area of 160 square metres instead of the required maximum gross floor area of an Additional Dwelling Unit - Detached shall not exceed the principal dwelling.

PURPOSE & EFFECT: To construct an Additional Dwelling Unit – Detached on a lot containing an existing Single Detached Dwelling.

Notes:

1. Please be advised that a portion of this property is within an area regulated by Grand River Conservation Authority. Please contact (519) 621-2761 or grca@grandriver.ca prior to any

A-25:164

development.

2. The proposed Additional Dwelling Unit – Detached is shown within the portion of the lands zoned A1.
3. The floor proposed partially below grade is considered a basement in Hamilton By-law 05-200 therefore the floor above is considered the first floor for this proposal when reviewed against Section 4.33.4 i) i).

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, September 4, 2025
TIME:	2:25 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon September 2, 2025

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon September 3, 2025

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:164, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: August 18, 2025

Justin Leung,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATING PROCEDURES

1. Written Submission Ahead of the Meeting

Members of the public who wish to provide input without speaking at the Hearing may submit written comments in advance of the meeting. Comments must be received by 12:00 p.m. (noon) on the deadline date for written comment submissions listed on the Notice of Public Hearing.

How to Submit Written Comments:

By Email:

Send to: cofa@hamilton.ca

By Mail:

Committee of Adjustment
City of Hamilton
71 Main Street West, 5th Floor
Hamilton, Ontario
L8P 4Y5

All written comments received will be made available to the Committee and the public by the Tuesday prior to the Hearing.

2. Oral Submissions During the Hearing

Interested members of the public, agents, and owners may provide oral comments on Committee of Adjustment Hearing items either virtually via Webex (computer or phone) or by attending in person.

Speaking Time Limit:

All participants providing oral submissions, either in person or virtually are limited to a maximum of 5 minutes to speak. This is to ensure all parties have an equal opportunity to be heard and that the meeting runs efficiently.

3. In-Person Oral Submissions

To participate in person, attend Council Chambers on the date and time listed in the Notice of Public Hearing. You will be required to provide your name and address for the record. It is recommended you arrive at least 10 minutes prior to the scheduled start time.

4. Virtual Oral Submissions

To participate virtually, you must register by 12:00 p.m. (noon) on the virtual oral submissions registration deadline date. This is listed on the Notice of Public Hearing.

- Committee of Adjustment file number
- Hearing date
- Name and mailing address of each person wishing to speak
- Method of participation (phone or video), and, if applicable, the phone number to be used
- Each person must register separately

Registered participants will receive a Webex link one business day before the Hearing. Only those registered will be called upon to speak.

5. Presentations

All presentations are permitted at the discretion of the Committee.

Virtual Presentations:

Presenters participating virtually may be granted permission to share their screen during the Hearing. A copy of the presentation must be submitted to cofa@hamilton.ca **by 12:00 p.m. (noon) on the business day prior to the Hearing**. The submission must be one document in PDF format only.

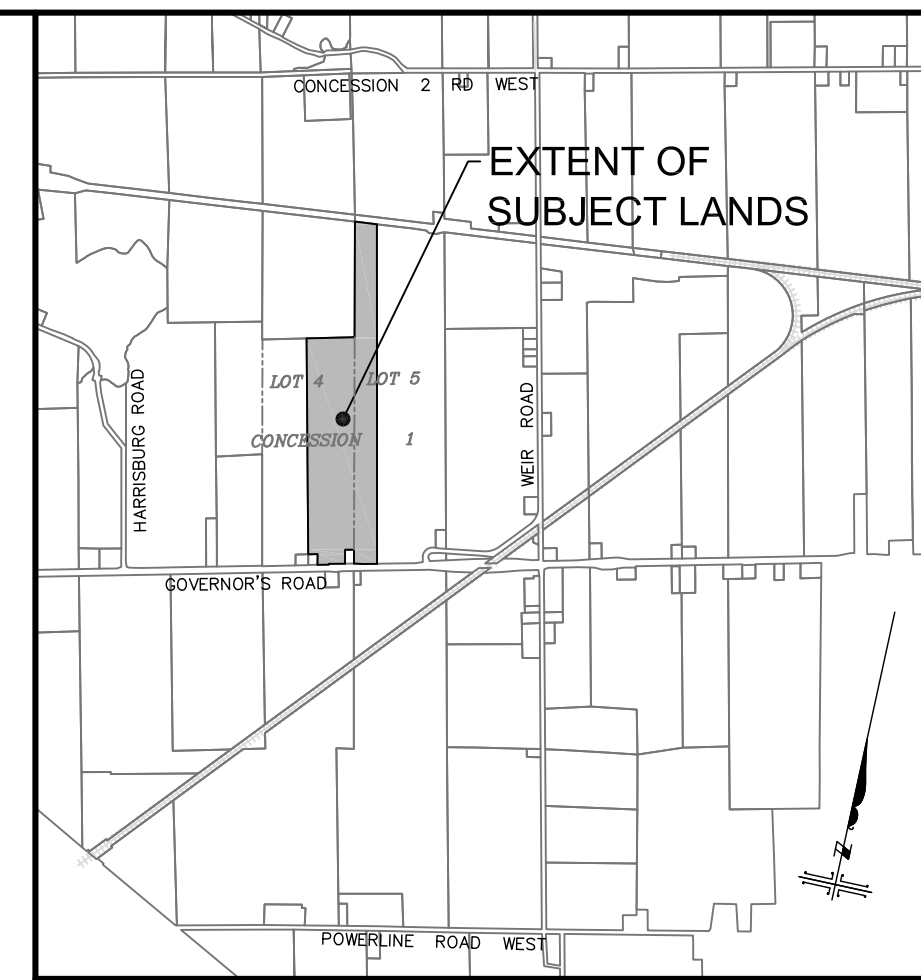
In-Person Presentations:

Presenters attending in person may be granted permission to use the presentation screen. Presentations must be brought on a USB device and opened by the owner/applicant. A copy of the presentation must also be sent to cofa@hamilton.ca **by 12:00 p.m. (noon) on the business day prior to the Hearing**. The submission must be one document in PDF format only. Handouts are permitted only if the same content can be displayed on the presentation screen.

6. Additional Notes

- Webex (video) participation requires a compatible computer or smartphone. The necessary application must be downloaded in advance.
- It is the interested party's responsibility to ensure their device is functional and compatible prior to the Hearing.

For any questions, contact staff at cofa@hamilton.ca or call 905-546-2424 ext. 4221.



KEY PLAN (NTS)

SKETCH FOR ZONING REVIEW FOR
4869 GOVERNOR'S ROAD
PART OF LOTS 4 & 5
CONCESSION 1

GEOGRAPHIC TOWNSHIP OF BEVERLY
IN THE

CITY OF HAMILTON

SCALE 1:400

JULY 28 2025


DATE _____

THIS SKETCH IS BASED ON A PLAN OF SURVEY
BY RASCH & HYDE LTD. DATED APRIL 1, 2025,
(FILE SURVEY: 25-004)

SEE INSET

PART 8 PLAN
62R-340 (P-3213-94)

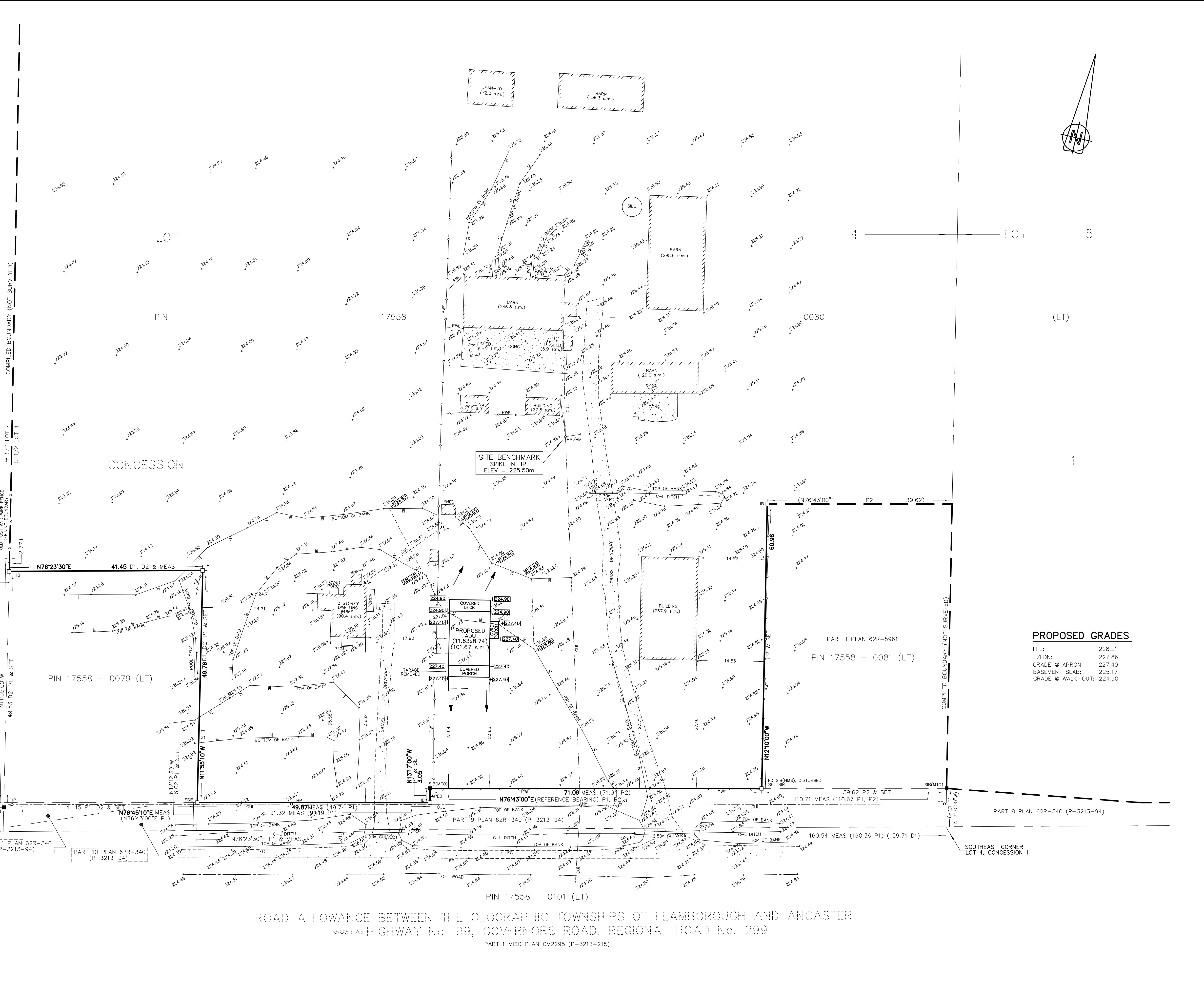
KNOWN AS *HIGHWAY No. 99, GOVERNORS ROAD, REGIONAL ROAD No. 299*
(ROAD ALLOWANCE BETWEEN THE GEOGRAPHIC TOWNSHIPS OF FLAMBOROUGH AND ANCASTER)

 *A. J. Clarke and Associates Ltd.*

SURVEYORS • PLANNERS • ENGINEERS
25 MAIN STREET WEST, SUITE 300
HAMILTON, ONTARIO, L8P 1H1
TEL. 905-528-8761 FAX 905-528-2289
email: ajc@ajclarke.com

DRAWN BY: LH

PROJECT No. 258039P



AS CONSTRUCTED GRADING

I HEREBY CERTIFY THAT I HAVE TAKEN THE FINISHED ELEVATIONS SHOWN () WITH RESPECT TO THE GRADING OF THIS LOT.

FURTHER, I HEREBY CERTIFY THAT THE LOT GRADING AS CONSTRUCTED SATISFIES THE OBJECTIVES OF THE LOT GRADING AND DRAINAGE POLICY OF THE MUNICIPALITY.

DATE LEVELS TAKEN _____

NAME _____

SIGNATURE _____

DATE _____

ACCEPTED BY MUNICIPALITY _____

DATE _____

PROPOSED GRADING

I HEREBY CERTIFY THAT THE PROPOSED BUILDING WILL BE COMPATIBLE WITH THE PROPOSED GRADING AND THE OBJECTIVES OF THE LOT GRADING AND DRAINAGE POLICY.

FURTHER, I CERTIFY THAT THE EXISTING DRAINAGE ONTO THIS PROPERTY HAS BEEN ACCOMMODATED AND THAT ALL DRAINAGE SHALL BE DIRECTED TO AN ACCEPTABLE OUTLET.

DATE LEVELS TAKEN JANUARY 13, 2025

NAME HAROLD D. HYDE O.L.S.

SIGNATURE *Harold Hyde*

DATE APRIL 1, 2025

ACCEPTED BY MUNICIPALITY _____

DATE _____

PARTIAL PLAN OF SURVEY SHOWING TOPOGRAPHICAL INFORMATION

PART OF LOTS 4 AND 5

CONCESSION 1

GEOGRAPHIC TOWNSHIP OF BEVERLY

CITY OF HAMILTON

SCALE 1:400

RASCH & HYDE LTD.

ONTARIO LAND SURVEYORS

GRADING NOTES

-NO ADVERSE IMPACT ON ADJACENT PROPERTIES

-MATCH EXISTING @ PROPERTY LINES

-MAINTAIN EXISTING DRAINAGE PATTERN

LEGEND & NOTES

□ DENOTES SURVEY MONUMENT PLANTED

■ DENOTES SURVEY MONUMENT FOUND

SIB DENOTES STANDARD IRON BAR (25mmX25mmX120cm)

SSIB DENOTES SHORT STANDARD IRON BAR (25mmX25mmX60cm)

IB DENOTES IRON BAR (15mmX15mmX60cm)

IBØ DENOTES ROUND IRON BAR (20mm DIA X 60cm)

CC DENOTES CUT CROSS

CM DENOTES CONCRETE MONUMENT

CP DENOTES CONCRETE PIN

PB DENOTES PLASTIC BAR

WIT DENOTES WITNESS

OJ DENOTES ORIGIN UNKNOWN

PIN DENOTES PROPERTY IDENTIFIER NUMBER

(HMS) DENOTES H. M. SMITH O.L.S.

(MTO) DENOTES MINISTRY OF TRANSPORTATION ONTARIO

P1 DENOTES PLAN 62R-340 (P-3213-94)

P2 DENOTES PLAN 62R-5961

D1 DENOTES INST. AB267868 (2NDLY), PIN 17558-0080 (LT)

D2 DENOTES INST. BV20886; PIN 17558-0079 (LT)

BF DENOTES BOARD FENCE

C-L DENOTES CENTRELINE

EDGE OF GRAVEL

EP DENOTES EDGE OF PAVEMENT

FFE DENOTES FINISHED FLOOR ELEVATION

GFE DENOTES GARAGE FLOOR ELEVATION

GM DENOTES GAS METER

HM DENOTES HYDRO METER

HP DENOTES HYDRO/UTILITY POLE

OUL DENOTES OVERHEAD HYDRO/UTILITY POLE LINE

PWF DENOTES POST AND WIRE FENCE

RF DENOTES RAIL FENCE

+100.00 DENOTES EXISTING GROUND ELEVATION

+100.00 DENOTES PROPOSED ELEVATION

→ DENOTES DIRECTION OF DRAINAGE

RWL DENOTES RAINWATER LEADER

S/D DENOTES SUMP DISCHARGE

N=SOUTH, S=SOUTH, E=EAST, W=WEST

ADU DENOTES AUXILIARY DWELLING UNIT

--- DENOTES COMPILED BOUNDARY (NOT SURVEYED)

ELEVATION NOTE

ELEVATIONS ARE GEODETIC, DERIVED BY GPS OBSERVATIONS, REFERRED TO GEODETIC SURVEY OF CANADA BENCHMARK 001975U080 HAVING AN ELEVATION OF 220.34m (CGVD-1928:1978).

LOCATION : HAMILTON-WENTWORTH IRON PIPE WITH BRASS CAP, ALONG HIGHWAY No. 99 AT INTERSECTION WITH BETHAL CHURCH ROAD, 4.9 KM WEST OF INTERSECTION WITH LYNDEN ROAD, 18.0 M NORTH OF CENTRE LINE OF HIGHWAY No. 99, 1.8 M EAST AND 2.1 M NORTH OF FENCE CORNER POST, 18 CM SOUTH OF BENCHMARK SIGN POST, 1 M BELOW ROAD LEVEL.

ALL FUTURE GRADE WORK ON SITE TO BE BASED ON SITE BENCHMARK. ANY ELEVATION DISCREPANCIES TO BE REPORTED TO RASCH & HYDE LTD.

BEARING NOTE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE NORTH LIMIT OF GOVERNORS ROAD AS SHOWN ON PLAN 62R-5961 HAVING A BEARING OF N76°43'00"E.

METRIC NOTE

DISTANCES AND ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

SURVEYOR'S CERTIFICATE

I CERTIFY THAT :

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT AND THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.

2. THIS SURVEY WAS COMPLETED ON THE 20th DAY OF FEBRUARY 2025.

APRIL 1, 2025

DATE HAROLD D. HYDE

ONTARIO LAND SURVEYOR

© COPYRIGHT, Rasch & Hyde Ltd., OLS's, 2025

RASCH + HYDE LTD.

Ontario Land Surveyors

P.O. Box 6, 1333 Highway #3 East, Unit B

DUNNVILLE, ONT. N1A 2X1

DUNNVILLE: 905-774-7188 FORT ERIE: 905-871-9757

(FAX 905-774-4000)

HAROLD D. HYDE O.L.S.

SCALE 1 : 400 SURVEY : 25-004 DRWN BY : T. Motheson

GENERAL STRUCTURAL NOTES

1.

ALL DESIGN AND CONSTRUCTION IS TO CONFORM TO THE ONTARIO BUILDING CODE (OBC) – 2012 (PART 9) INCLUDING ALL AMENDMENTS, AND THE LATEST REVISION OF APPLICABLE LISTED CSA STANDARDS.
2.

READ THESE DRAWINGS WITH ALL RELATED ARCHITECTURAL, MECHANICAL, ELECTRICAL, CIVIL AND GEO–TECHNICAL DRAWINGS, REPORTS AND OTHER APPLICABLE CONTRACT DOCUMENTS.
3.

BEFORE PROCEEDING WITH THE WORK, THE CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS AND MEASUREMENTS AT THE SITE AND REPORT IN WRITING ANY DISCREPANCIES OR CONDITIONS WHICH MAY ADVERSELY AFFECT THE PROPER COMPLETION OF THE WORK.
4.

DO NOT SCALE THE DRAWINGS.
5.

DESIGN SNOW AND LIVE LOADS FOR THE STRUCTURE ARE AS INDICATED ON THE DRAWINGS AND GENERAL NOTES. DO NOT EXCEED THESE LOADS DURING CONSTRUCTION.
6.

ALL LOADS STATED ARE UNFACTORED SERVICE LIMIT STATES (SLS) UNLESS NOTED.
7.

CONSTRUCTION, FABRICATION AND SHOP DRAWING REVIEW MUST BE PROVIDED WHERE APPLICABLE AS PER CODE.
8.

APPROVED SHALL MEAN ‘APPROVED IN WRITING’ BY THE STRUCTURAL ENGINEER OF RECORD.

9.

DELIVER, HANDLE AND STORE ALL MATERIALS TO AVOID DAMAGE OR DETERIORATION PRIOR TO AND DURING CONSTRUCTION..
10.

MAINTAIN A CURRENT SET OF DRAWINGS ON SITE AND UPDATE WITH CONSTRUCTION RECORD INFORMATION.
11.

PROVIDE TEMPORARY BRACING AS REQUIRED TO KEEP NEW AND EXISTING STRUCTURES STABLE, TRUE AND PLUMB DURING CONSTRUCTION.
12.

LOADS: (TYP. UNLESS NOTED ON PLANS)

ROOF: DL=15 PSF, SL=30.2 PSF
Ss=1.9 kPa
FLOOR: DL=20 PSF, LL=40 PSF

MATERIALS

UNLESS NOTED OTHERWISE ON THE DRAWINGS THE FOLLOWING MATERIALS SHALL BE USED FOR CONSTRUCTION:

CONCRETE:	30MPa – 28 DAY MIN. COMP. STRENGTH FOR SLABS 25MPa – 28 DAY MIN. COMP. STRENGTH OTHERWISE (ALL SURFACES EXPOSED TO FREEZE THAW CYCLES SHALL HAVE 4–7% AIR ENTRAINMENT)
BEARING GROUT:	35MPa – 28 DAY MIN. COMP. STRENGTH (NON SHRINK, NON METALLIC)
REINFORCING STEEL:	BILLET STEEL BARS TO G30.18–GRADE 400R CSA G30.5 (Fy=400 MPa)
WELDED WIRE FABRIC (WWF):	
ANCHOR BOLTS:	ASTM A307 & A36, OR ASTM F1554
NUTS AND WASHERS:	G40.21–350W FOR W & HSS SHAPES, 300W FOR OTHER U/N
STEEL SHAPES & PLATE:	ASTM A53, Fy=240 MPa MIN.
STEEL PIPE:	CSA G164 & ASTM A153 CLASS B2
GALVANIZING:	CSA W59, W55 AND W47 SERIES E49XX ELECTRODES
WELDING:	55MPa CLAY TO CSA A82 SERIES
BRICK	15MPa CONCRETE ON NET AREA TO CSA A165 SERIES
BLOCK:	TYPE S TO CSA A179
MORTAR:	TO CSA A179 AND TO STRENGTH OF 15MPa MIN.
MASONRY GROUT:	CSA G30.3 & ASTM A82 (HOT DIPPED GALVANIZED)
WIRE REINFORCING:	GRADED TO NLGA, SPF NO. 2 OR BETTER, S–DRY UNLESS NOTED.
WOOD LUMBER:	CSA O151 SOFTWOOD EXTERIOR GRADE
PLYWOOD:	CSA O437 GRADE 0–1 OR 0–2.
WAFFERBOARD:	MANUFACTURED BY WEYERHAEUSER TRUS–JOIST, OR EQUAL
COMPOSITE LUMBER:	PARALLAM (PSL) 2.0E MIN. MICROLAM (LVL) 2.0E MIN. TIMBERSTRAND (LSL) 1.5E MIN. BENDING fb=4805 PSI MINIMUM SHEAR fv=530 PSI MINIMUM

WINDOW AND GLAZING

1.

A MINIMUM OF ONE (1) WINDOW IN EACH SLEEPING AREA SHALL MEETS EMERGENCY EGRESS REQUIREMENTS. WINDOW CONTRACTOR SHALL PROVIDE EGRESS HARDWARE NECESSARY TO ALLOW WINDOWS TO MEET APPLICABLE EGRESS REQUIREMENTS.
2.

EVERY FLOOR LEVEL CONTAINING A BEDROOM AND NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST 1 WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 0.35M2 AND DIMENSION LESS THAN 1.25', WHICH IS OPERABLE FROM THE INSIDE WITHOUT TOOLS. MAXIMUM SILL HEIGHT (1000 MM) 3.28' FOR FINISH FLOOR ABOVE GRADE.
3.

3. EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 2000MM FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY. DOORS SHALL HAVE A DEADBOLT LOCK.4. THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOOR VIEWER, TRANSPARENT GLAZING OR A SIDELIGHT.

FOUNDATION:

1.

FOUND ALL SPREAD FOOTINGS ON NATIVE UNDISTURBED SOIL CAPABLE OF SUSTAINING 75 kPa (1570 PSF) UNLESS NOTED OR APPROVED ON SITE IN WRITING BY A GEO–TECHNICAL ENGINEER.
2.

FOUND ALL FOOTINGS WHICH WILL BE EXPOSED TO FROST A MINIMUM OF 1200mm (4'–0") BELOW FINISHED GRADE UNLESS NOTED OR APPROVED ON SITE IN WRITING BY A GEO–TECHNICAL ENGINEER.
3.

DO NOT EXCEED A RISE OF 7 IN A RUN OF 10 IN THE LINE OF SLOPE BETWEEN ADJACENT FOOTING EXCAVATIONS OR ALONG STEPPED FOOTINGS. USE STEPS NOT EXCEEDING 600mm (2') IN HEIGHT AND NOT LESS THEN 1200mm (4') IN LENGTH.
4.

ERECT, MAINTAIN, AND IF REQUIRED, REMOVE A SUPPORTING SHORING SYSTEM ALONG THE SIDES OF EXCAVATIONS. A GEO–TECHNICAL ENGINEER IS TO DESIGN SUCH SYSTEM IN ACCORDANCE WITH SOIL CONDITIONS.
5.

PROTECT SOIL FROM FREEZING ADJACENT TO AND BELOW ALL FOOTINGS.
6.

BACKFILL AGAINST FOUNDATION WALLS IN SUCH A MANNER THAT THE LEVEL OF FILL ON ONE SIDE OF THE WALL IS NEVER MORE THAN 600mm (2') FROM THE OTHER SIDE OF THE WALL EXCEPT WHERE TEMPORARY SUPPORT FOR THE WALL IS PROVIDED OR WALLS ARE DESIGNED AS Laterally UNSUPPORTED RETAINING WALLS.
7.

SOFT BEARING SOIL AREAS FOUND DURING EXCAVATION SHALL BE EXCAVATED TO SUITABLE BEARING MATERIAL, AND MAY BE BACKFILLED WITH ENGINEERED FILL APPROVED BY A GEOTECHNICAL ENGINEER OR WITH 500 kPa (10 KSF) MIN. LEAN MIX CONCRETE FILL.

CAST IN PLACE (CIP) CONCRETE

1.

CONCRETE MATERIAL AND METHODS OF CONCRETE CONSTRUCTION CAN/CSA–A23.1–LATEST CODE FOR THE DESIGN OF CONCRETE STRUCTURES FOR BUILDINGS CAN3–A23.3–LATEST
2.

THE CLEAR DISTANCE BETWEEN REINFORCING STEEL AND SURFACE OF CONCRETE SHALL BE:
SLABS (INT.) 25mm (1") TO TOP AND BOTTOM
SLABS (EXT.) 50mm (2") TO TOP AND BOTTOM
BEAMS 40mm (1½") TO STIRRUPS
COLUMNS 40mm (1½") TO TIES
WALLS 50mm (2") TO EXT. FACE; 25 (1") TO INT. FACE
CONCRETE PIERS 50mm (2") TO MAIN STEEL
FOOTINGS 75mm (3") TO MAIN STEEL
3.

REINFORCING STEEL TO BE GENERALLY DETAILED IN ACCORDANCE WITH THE REINFORCING STEEL INSTITUTE OF CANADA MANUAL OF STANDARD PRACTICE (LATEST EDITION).
4.

CONCRETE PLACING, CURING AND TESTING TO CONFORM TO CAN3–A23.1 AND A23.2. FORMWORK AND TOLERANCES TO CONFORM TO ACI 347.
5.

NO CUTTING OR DRILLING IN HARDENED CONCRETE IS PERMITTED WITHOUT WRITTEN APPROVAL.
6.

GROUT UNDERSIDE OF STEEL BEARING PLATES WITH 25mm (1") MIN TO 50mm (2") MAX THICKNESS OF DRY–PACK NON–SHRINK GROUT TO MANUFACTURERS INSTRUCTIONS.
7.

PLACE SLAB ON GRADE ON SOIL CAPABLE OF SUSTAINING 25 kPa (500 PSF) WITHOUT SETTLEMENT RELATIVE TO THE BUILDING FOUNDATION. AS A MINIMUM, PLACE SLAB ON 100mm (4") THICK CLEAR CRUSHED STONE OR GRANULAR 'A' COMPACTED TO 98% STANDARD PROCTOR MAXIMUM DRY DENSITY.
8.

MAINTAIN SLAB THICKNESSES AND REINFORCING STEEL AT ALL DEPRESSIONS.
9.

ALL SPICES SHALL BE CLASS 'B' U.N.O.
10.

OBTAIN APPROVAL AND DIRECTION FROM THE ENGINEER FOR DRILLED MECHANICAL OR ADHESIVE ANCHOR BOLTS IN POURED CONCRETE.
11.

ALL REINFORCING STEEL TO BE INSPECTED AND APPROVED WHERE REQUIRED BEFORE POURING CONCRETE. CONTRACTOR MUST CO–ORDINATE INSPECTION REQUIREMENTS WITH THE LOCAL BUILDING OFFICIALS.
12.

ISOLATION JOINT MATERIAL SHALL BE 10mm MIN. THICK ASPHALT IMPREGNATED FIBREBOARD., SAW CUT JOINT SEALANT FILLER SHALL BE AN ELASTOMERIC MATERIAL SUCH AS SIKa DUOFLEX SL, OR APPROVED EQUAL.

WOOD CONSTRUCTION

1.

WOOD FRAMING DESIGN AND CONSTRUCTION SHALL CONFORM TO THE CAN/CSA–086 'ENGINEERING DESIGN IN WOOD'. LUMBER SHALL BE SPF NO. 1 / 2 OR BETTER UNLESS NOTED OTHERWISE. MOISTURE CONTENT SHALL BE 19% OR LESS.
2.

WALL SHEATHING SHALL BE 9.5MM (3/8") PLYWOOD CONFORMING TO CSA O151" CANADIAN SOFTWOOD PLYWOOD" OR 11MM (7/16") 0–2 OSB TO CSA O452 'DESIGN RATED OSB', UNLESS NOTED OTHERWISE.
3.

ALL NAILS USED SHALL CONFORM TO STEEL WIRE NAILS AND SPIKES AS DEFINED IN CSA STANDARD B111 "WIRE NAILS, SPIKES AND STAPLES" UNLESS NOTED OTHERWISE
4.

ALL NAILS AND FASTENERS IN CONTACT WITH PRESSURE TREATED WOOD ARE TO BE HOT DIP GALVANIZED (TO CSA–G164) OR STAINLESS STEEL.
5.

FASTENERS SHALL PENETRATE A MINIMUM OF 50% OF THE LAST MEMBER OR NOT LESS THAN 89MM LONG, WHICHEVER IS GREATER.
7.

SCREWS MUST CONFORM TO ANSI/ASME B18.6.1 FOR WOOD SCREWS (INCH SERIES).
8.

ALL BUILT UP MEMBERS TO BE FASTENED TOGETHER WITH TWO 75MM (3") SPIRAL NAILS AT 300MM O.C. FOR EVERY PLY UNLESS NOTED OTHERWISE.
9.

ALL WOOD MEMBERS PERMANENTLY EXPOSED TO WEATHER, SILL PLATES, OR ANY WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
10.

BOLTS CONNECTING TO WOOD MEMBERS SHALL COMPLY WITH ASTM A307.FRAMING

STRUCTURAL STEEL

1.

ALL STRUCTURAL STEEL SHALL BE DESIGNED TO COMPLY TO THE REQUIREMENTS OF C.S.A. SPECIFICATIONS S16.1 (LATEST EDITION), AND FOLLOW CISC CODE OF STANDARD PRACTISE FOR STRUCTURAL STEEL.
2.

ALL STEEL TO BE SHOP PRIMED WITH AN APPROVED ANTI–CORROSIVE PRIMER (EXCEPT IN THE CONTACT AREAS OF CONNECTIONS) AND TOUCHED UP IN THE FIELD AS REQUIRED. EXTERIOR EXPOSED STEEL TO BE GALVANIZED, OR PRIMED AND PAINTED WITH SUITABLE ANTI–CORROSIVE ZINC–RICH OR EPOXY PAINT.
3.

CO–ORDINATE WITH ALL SUB–TRADES WHOSE WORK AFFECTS THE STRUCTURAL STEEL. DO NOT CUT OPENINGS IN STRUCTURAL STEEL WITHOUT APPROVAL.
4.

ALL CONNECTIONS TO BE DESIGNED BY THE FABRICATOR'S CONNECTION DESIGN ENGINEER UNLESS NOTED. ALL CONNECTIONS TO BE STANDARD FRAME CONNECTIONS DESIGNED FOR SHEAR (Vf) BASED ON MOMENT (Mr). [Vf = (4 x Mr)/SPAN]
5.

BOLTED CONNECTIONS TO BE MADE USING HIGH STRENGTH BOLTS (A325 MIN).
6.

COPIES OF THE ERECTION DRAWINGS TO BE SUBMITTED FOR REVIEW AND APPROVAL. ERECTION DRAWINGS MUST BE SEALED BY AN ENGINEER RESPONSIBLE FOR CONNECTION DESIGN. ALTERNATIVELY, AN ENGINEER SEALED LETTER REFERENCING THE DRAWINGS MAY BE SUBMITTED.
7.

WELD BEAMS TO STEEL BEARING PLATES WITH 50mm (2") X 5mm (⅜") FILLET WELD AND BUILD MASONRY AND CONCRETE WALLS TIGHT TO BEAM WEBS.

MASONRY:

1.

ALL MASONRY CONSTRUCTION SHALL CONFORM TO C.S.A. STANDARDS A371 AND A370–LATEST EDITIONS.
2.

OVER ALL OPENINGS OR RECESSES IN MASONRY WALLS, PROVIDE AND INSTALL LINTELS IN ACCORDANCE WITH THE LINTEL SCHEDULE OR OBC TABLES.
3.

FILL MASONRY VOIDS SOLID WITH GROUT AT ALL DOWELS, REINFORCING AND ANCHOR BOLTS. LAP REINFORCING AT LEAST 50X BAR DIAMETER.
4.

PROVIDE 200mm (8") MIN. LENGTH OF SOLID MASONRY AT BEARING OF STEEL, CONCRETE OR MASONRY LINTELS.
5.

ALL MASONRY SHALL BE SET WITH FULLY FILLED JOINTS.
6.

PROVIDE A 25mm (1") MIN. GROUT UNDER WALL AND BASE PLATES AND BEAR ON SOLID MASONRY 400mm (16") MIN. WIDE AND DEEP.
7.

FILL BLOCK CELLS WITH GROUT IN 1500mm (5'–0") HIGH LIFTS. IF CLEANOUTS ARE PROVIDED, 2400mm (8'–0") HIGH LIFTS ARE PERMITTED.
8.

REINFORCE LINTEL BLOCK COURSES WITH TWO 15M CONTINUOUS BARS AND FILL WITH GROUT.
9.

MASONRY WORK SHALL NOT BE PERMITTED WHEN TEMPERATURE IS BELOW 5°C UNLESS APPROVED PROVISIONS ARE MADE FOR PROTECTING THE MATERIALS AND COMPLETED WORK.
10.

PROVIDE GALVANIZED CONTINUOUS LADDER TYPE JOINT REINFORCING AT 400mm (16") c/c & USE "CORNER–LOK" AT ALL WALL INTERSECTIONS.

SHORING AND TEMPORARY STRUCTURE

1.

PROVIDE ALL ADEQUATE SHORING FOR THE SAFE COMPLETION OF THE WORK. ASSUME RESPONSIBILITY TO DESIGN AS WELL AS TO ERECT, MAINTAIN AND EVENTUALLY REMOVE ALL THE TEMPORARY WORKS NECESSARY FOR CARRYING OUT OF THIS CONTRACT.
2.

THE CONTRACTOR SHALL HAVE THE SOLE RESPONSIBILITY FOR THE DESIGN, ERECTION, OPERATION, MAINTENANCE AND REMOVAL OF TEMPORARY SUPPORTS, TEMPORARY BRACING, SHORING SYSTEM, AND FACILITIES AND THE DESIGN AND EXECUTION OF CONSTRUCTION METHODS REQUIRED IN THEIR USE.
3.

THE CONTRACTOR SHALL ENGAGE AND PAY FOR REGISTERED PROFESSIONAL ENGINEERING PERSONNEL SKILLED IN THE APPROPRIATE DISCIPLINES TO PERFORM THOSE FUNCTIONS REFERRED TO IN PARAGRAPH ABOVE OR AND IN ALL CASES WHERE SUCH TEMPORARY SUPPORTS, STRUCTURES, AND FACILITIES AND THEIR METHOD OF CONSTRUCTION ARE OF SUCH A NATURE THAT PROFESSIONAL ENGINEERING SKILL IS REQUIRED TO PRODUCE SAFE AND SATISFACTORY RESULTS.

WINDOW AND GLAZING

1.

A MINIMUM OF ONE (1) WINDOW IN EACH SLEEPING AREA SHALL MEETS EMERGENCY EGRESS REQUIREMENTS. WINDOW CONTRACTOR SHALL PROVIDE EGRESS HARDWARE NECESSARY TO ALLOW WINDOWS TO MEET APPLICABLE EGRESS REQUIREMENTS.
2.

EVERY FLOOR LEVEL CONTAINING A BEDROOM AND NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST 1 WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 0.35M2 AND DIMENSION LESS THAN 1.25', WHICH IS OPERABLE FROM THE INSIDE WITHOUT TOOLS. MAXIMUM SILL HEIGHT (1000 MM) 3.28' FOR FINISH FLOOR ABOVE GRADE.
3.

3. EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 2000MM FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY. DOORS SHALL HAVE A DEADBOLT LOCK.4. THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOOR VIEWER, TRANSPARENT GLAZING OR A SIDELIGHT.

WALL FRAMING

1.

A MINIMUM OF ONE (1) WINDOW IN EACH SLEEPING AREA SHALL MEETS EMERGENCY EGRESS REQUIREMENTS. WINDOW CONTRACTOR SHALL PROVIDE EGRESS HARDWARE NECESSARY TO ALLOW WINDOWS TO MEET APPLICABLE EGRESS REQUIREMENTS.
2.

EVERY FLOOR LEVEL CONTAINING A BEDROOM AND NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST 1 WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 0.35M2 AND DIMENSION LESS THAN 1.25', WHICH IS OPERABLE FROM THE INSIDE WITHOUT TOOLS. MAXIMUM SILL HEIGHT (1000 MM) 3.28' FOR FINISH FLOOR ABOVE GRADE.
3.

3. EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 2000MM FROM GRADE SHALL BE CONSTRUCTED TO RESIST FORCED ENTRY. DOORS SHALL HAVE A DEADBOLT LOCK.4. THE PRINCIPAL ENTRY DOOR SHALL HAVE EITHER A DOOR VIEWER, TRANSPARENT GLAZING OR A SIDELIGHT.

TIMBER NOTES:

1.

ALL WOOD MATERIALS, FABRICATION AND ERECTION TO BE IN ACCORDANCE WITH CAN/CSA–086.1 (LATEST EDITION). ALL TIMBER GRADING TO BE IN ACCORDANCE WITH NLGA.
2.

PRE–MANUFACTURED SPECIALTY WOOD PRODUCTS SUCH AS 'PSL' PARALLEL STRAND LUMBER, 'LVL' LAMINATED VENEER LUMBER, 'LSL' LAMINATED STRAND LUMBER, OR MANUFACTURED WOOD I–JOISTS, MUST BE STORED, HANDLED AND ERECTED AS PER MANUFACTURERS SPECIFICATIONS.
3.

FLAT JOIST AND PROFILED TRUSS FABRICATOR SHALL SUPPLY ERECTION DRAWINGS SHOWING LOCATION, LOADING, ALLOWABLE STRESSES, WIND UPLIFT FORCES, REQUIRED BEARING, TEMPORARY AND PERMANENT BRACING, AND CONNECTIONS. DRAWINGS SHALL BEAR THE SEAL OF A PROFESSIONAL ENGINEER RESPONSIBLE FOR THE DESIGN. ALL HANDLING AND ERECTION OF TRUSSES TO BE IN ACCORDANCE WITH TRUSS SUPPLIER'S REQUIREMENTS.
4.

ALL TRUSSES MUST BE ANCHORED TO SUPPORTS WITH TIE DOWN METAL ANCHORS. HANGER CONNECTIONS TO BE DESIGNED BY THE TRUSS DESIGN ENGINEER AND SUPPLIED BY THE TRUSS FABRICATOR UNLESS NOTED. ERECTION DRAWINGS TO INDICATE TYPE AND LOCATIONS FOR ALL TRUSS CONNECTION HARDWARE.
5.

PROVIDE DOUBLE JOISTS UNDER PARALLEL PARTITION WALLS.
6.

MAXIMUM BRIDGING SPACING: STD WOOD JOISTS – 2000mm (6'–6")
STUD WALLS – 1220mm (4'–0") TO MATCH SHEATHING JOINTS
7.

NAIL ALL BUILT–UP & LVL/PSL/LSL BEAMS WITH 75 (3") NAILS AT 300 (12") c/c IN ROWS NOT EXCEEDING 75mm (3") c/c UNLESS NOTED. ALTERNATIVELY FOR LVL/PSL/LSL, USE MINIMUM TWO ROWS OF 12ø (⅝") BOLTS AT 24" c/c, TOP AND BOTTOM ROWS LOCATED 50 (2") FROM TOP & BOTTOM OF BEAM.
8.

WHERE BEAMS FRAME FLUSH INTO SIDE OF BUILT–UP BEAMS, PROVIDE ADDITIONAL NAIL ROWS TO ACHIEVE FOUR ROWS SPACED AT 75 (3") AT THE BEAM HANGER LOCATION, OR ADDITIONAL BOLT ROWS SO THERE IS A ROW OF 12ø (⅝") BOLTS WITHIN 50 (2") BESIDE EACH SIDE OF THE HANGER.
9.

GLUE AND NAIL BUILT–UP POSTS AT 150mm (6") c/c IN ROWS NOT EXCEEDING 75mm (3") c/c UNLESS NOTED.
10.

SEPARATE ALL WOOD FROM CONCRETE WITH WATERPROOF BARRIER OR USE PRESSURE–TREATED WOOD.
11.

METAL CONNECTORS: – USE STEEL HANGERS AT ALL FLUSH JOIST, RAFTER, TRUSS AND BEAM FRAMING
– INSTALL WITH FASTENERS AS PER MANUFACTURER'S SPECIFICATIONS
– PROVIDE GALVANIZED CONNECTORS WHERE EXPOSED TO WEATHER. PROVIDE SUITABLE CONNECTORS APPROVED FOR USE IN CONTACT WITH PRESSURE TREATED OR OTHER TREATED LUMBER OR ENG'D WOOD PRODUCTS.
– FASTEN BEAMS TO TOP OF POSTS WITH POST CAPS AND ANCHOR BOTTOMS OF POSTS TO FOUNDATION WITH STEEL POST/COLUMN BASES WITH ANCHORS.
12.

ALL ROOF BEAMS, RAFTERS, TRUSSES AND GIRDERS MUST BE ANCHORED TO THE SUPPORTING STRUCTURE TO RESIST WIND UPLIFT USING SUITABLE METAL TIE DOWN ANCHORS BY SIMPSON OR USP, OR APPROVED EQUAL.
13.

ALL BEAMS AND LINTELS TO BEAR 75mm (3") MIN. EACH END UNLESS SPECIFIED. LVL/PSL BEAMS TO FULLY BEAR ON WALLS, POSTS AND POST CAP PLATES SPECIFIED ON THE DRAWINGS UNLESS NOTED.
14.

DRYWALL AND/OR WOOD SHEATHING MUST BE NAILED EACH SIDE OF WALL TO AT LEAST ONE PLY OF ALL BUILT–UP WOOD POSTS WITHIN STUD WALLS.
15.

PROVIDE JOIST BLOCKING AT 1200mm (4'–0") MAX. C/C BETWEEN RIMBOARD AND ADJACENT FLOOR JOIST WHERE FOUNDATION WALLS ARE PARALLEL TO FLOOR JOIST SPAN.
16.

PROVIDE BLOCKING AT 1800mm (6'–0") MAX. C/C BETWEEN GABLE END TRUSS BOTTOM CHORD OR ROOF RAFTER AND 1ST ADJACENT TRUSS/RAFTER WHERE TOP OF EXTERIOR STUD WALLS ARE PARALLEL TO ROOF FRAMING SPAN.
17.

PROVIDE BLOCKING FOR CONVENTIONAL WOOD JOISTS AS PER OBC 23.9.4.4 & PROVIDE I–JOIST BLOCKING AT MIDSPAN & 2400mm (8'–0") MAX. C/C ALONG SPAN OF PRE–ENGINEERED WOOD I–JOISTS.
18.

WHERE WOOD BEAMS ARE WIDER THAN SUPPORTING WOOD POSTS, PROVIDE STEEL SIMPSON POST OR COLUMN CAPS (OR EQUAL) TO MATCH BEAM WIDTH.

STAIRS AND GUARD RAIL NOTES

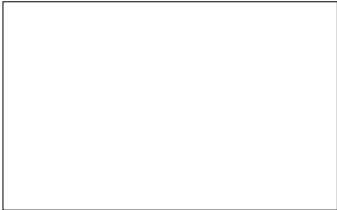
1.

ALL STAIRS SHALL CONFORM TO CODE FOR ALLOWBLE RISER HEIGHT AND TREAD DEPTH, (MINIMUM 10" TREAD AND MAXIMUM 7 ½" RISERS IN SINGLE FAMILY DWELLING). NOSING SHALL BE CONSIDERED AS REQUIRED BY CODE.
2.

HANDRAIL TO HAVE A DIAMETER OF 1 ½/2" MIN. 2" MAX ABOVE NOSE OF TREAD. THE SIZE AND SHAPE OF HANDRAIL SHALL CONFORM TO CURRENT CODE REQUIREMENT.
3.

BALUSTERS SHALL BE SPACED SO THAT A SPHERE WITH A DIAMETER OF 4" CANNOT PASS THROUGH ANY OPENING.
4.

2. MIN. OF 36" HIGH TO MAX OF 42" HIGH. ALL OTHER GUARD RAILS SHALL BE A MIN OF 42" HIGH(OR 36" IN SINGLE FAMILY DWELLING).



THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE INFORMATION CONTAINED WITHIN.

THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY, ELEVATIONS, STRUCTURAL, MECHANICAL, ELECTRICAL ETC. SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.

ALL WORK MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.

UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN CARRIED OUT OR REPORTED ON BY WITH RESPECT TO THE ENVIRONMENTAL CONDITION OF THE EXISTING SITE AND STRUCTURES.

NO.	MMDDYYYY	DESCRIPTION
1		
0		

APPROVED BY	APPROVED BY

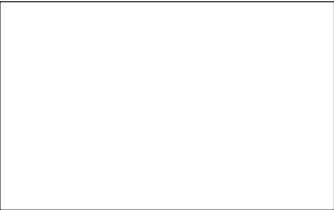
CLIENT	
William McCallum	
PROJECT	
4869 Governors Rd. Hamilton ON L0R 1T0	
TITLE	
GENERAL NOTES	
DISCIPLINE	NAME DISCIPL
PROJECT NUMBER	PROJECT
DATE	DATE
DRAWN BY	DRAWN BY
DESIGNED BY	DESIGNED BY
CHECKED BY	CHECKED BY
GN-001	
REVISION NO.	REV NO.
SCALE	NOTED

Nailing for Framing
Forming Part of Sentence 9.23.3.4.(1)

Column 1	Column 2	Column 3
Construction Detail	Minimum Length of Nails, mm	Minimum Number or Maximum Spacing of Nails
Floor joist to plate – toe nail	82.0	2.0
Wood or metal strapping to underside of floor joists	57.0	2.0
Cross bridging to joists	57.0	2 at each end
Double header or trimmer joists	76.0	300 mm (o.c.)
Floor joist to stud (balloon construction)	76.0	2.0
Ledger strip to wood beam	82.0	2 per joist
Joist to joist splice (See also Table 9.23.13.8.)	76.0	2 at each end
Header joist end nailed to joists along perimeter	101.0	3.0
Tail joist to adjacent header joist	82.0	5.0
(end nailed) around openings	101.0	3.0
Each header joist to adjacent trimmer joist	82.0	5.0
(end nailed) around openings	101.0	3.0
Stud to wall plate (each end) toe nail	62.0	4.0
or end nail	82.0	2.0
Doubled studs at openings, or studs at walls or wall intersections and corners	76.0	750 mm (o.c.)
Doubled top wall plates	76.0	600 mm (o.c.)
Bottom wall plate or sole plate to joists or blocking (exterior walls)(1)	82.0	400 mm (o.c.)
Interior walls to framing or subflooring	82.0	600 mm (o.c.)
Horizontal member over openings in non-loadbearing walls – each end	82.0	2.0
Lintels to studs	82.0	2 at each end
Ceiling joist to plate – toe nail each end	82.0	2.0
Roof rafter, roof truss or roof joist to plate – toe nail	82.0	3.0
Rafter plate to each ceiling joist	101.0	2.0
Rafter to joist (with ridge supported)	76.0	3.0
Rafter to joist (with ridge unsupported)	76.0	See Table 9.23.13.8.
Gusset plate to each rafter at peak	57.0	4.0
Rafter to ridge board – toe nail – end nail	82.0	3.0
Collar tie to rafter – each end	76.0	3.0
Collar tie lateral support to each collar tie	57.0	2.0
Jack rafter to hip or valley rafter	82.0	2.0
Roof strut to rafter	76.0	3.0
Roof strut to loadbearing wall – toe nail	82.0	2.0
38 mm × 140 mm or less plank decking to support	82.0	2.0
Plank decking wider than 38 mm × 140 mm to support	82.0	3.0
38 mm edge laid plank decking to support (toe nail)	76.0	1.0
38 mm edge laid plank to each other	76.0	450 mm (o.c.)

DOOR SCHEDULE		LEGENDS FOR PROPOSED ACCESSORY UNIT			
<div>D1</div>	36" x 80" -30 MIN. FIRE RATED. DOOR W/ SELF CLOSER	WALL ASSEMBLY		LEGEND	
<div>D2</div>	30" x 80" INTERIOR. DOOR	<div>W1</div>	NEW 5/8" 45 MIN. TYPE X FIRE RATED DRYWALL	<div>W3</div>	NEW WALL ASSEMBLY NEW. VINYL SIDING NEW. BUILDING PAPER NEW. 1 1/2 " RIGID INSULATION W/ TAPED JOINTS
<div>D3</div>	36" x 80" INTERIOR. DOOR	<div>W2</div>	NEW 2" x 4" INT. WALL: NEW 2" x 4" STUD WALL @ 16" O.C. NEW 1/2" MOISTURE RESISTANT GYPSUM	<div></div>	50 CFM EXHAUST FAN
<div>D4</div>	32" x 80" EXTERIOR. DOOR			<div></div>	NEW RETURN AIR GRILLE
<div>D5</div>	48" x 80" EXTERIOR. DOOR			<div></div>	NEW AIR SUPPLY OUTLET
		CEILING ASSEMBLY		<div></div>	INTER CONNECTED SMOKE DETECTOR
		<div>C1</div>	NEW 1/2" DRYWALL W/ CONTINUOUS INSULATION	<div></div>	INTER CONNECTED CARBON MONOXIDE DETECTOR
				<div></div>	EXTERIOR LIGHTING OUTLET OPERATED FROM INSIDE

LINTEL SCHEDULE			
LINTEL	SECTION	SPAN	MIN BEARING
L1	3-2"x10"	UPTO 3'	0'-6"
L2	3-2"x12"	FROM 3' TO 6'	0'-6"



THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE INFORMATION CONTAINED WITHIN.

THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY, ELEVATIONS, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC. SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.

ALL WORK MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.

UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN CARRIED OUT OR REPORTED ON BY WITH RESPECT TO THE ENVIRONMENTAL CONDITION OF THE EXISTING SITE AND STRUCTURES.

NO.	MMDDYYYY	DESCRIPTION
1		
0		

APPROVED BY	APPROVED BY

CLIENT
William McCallum

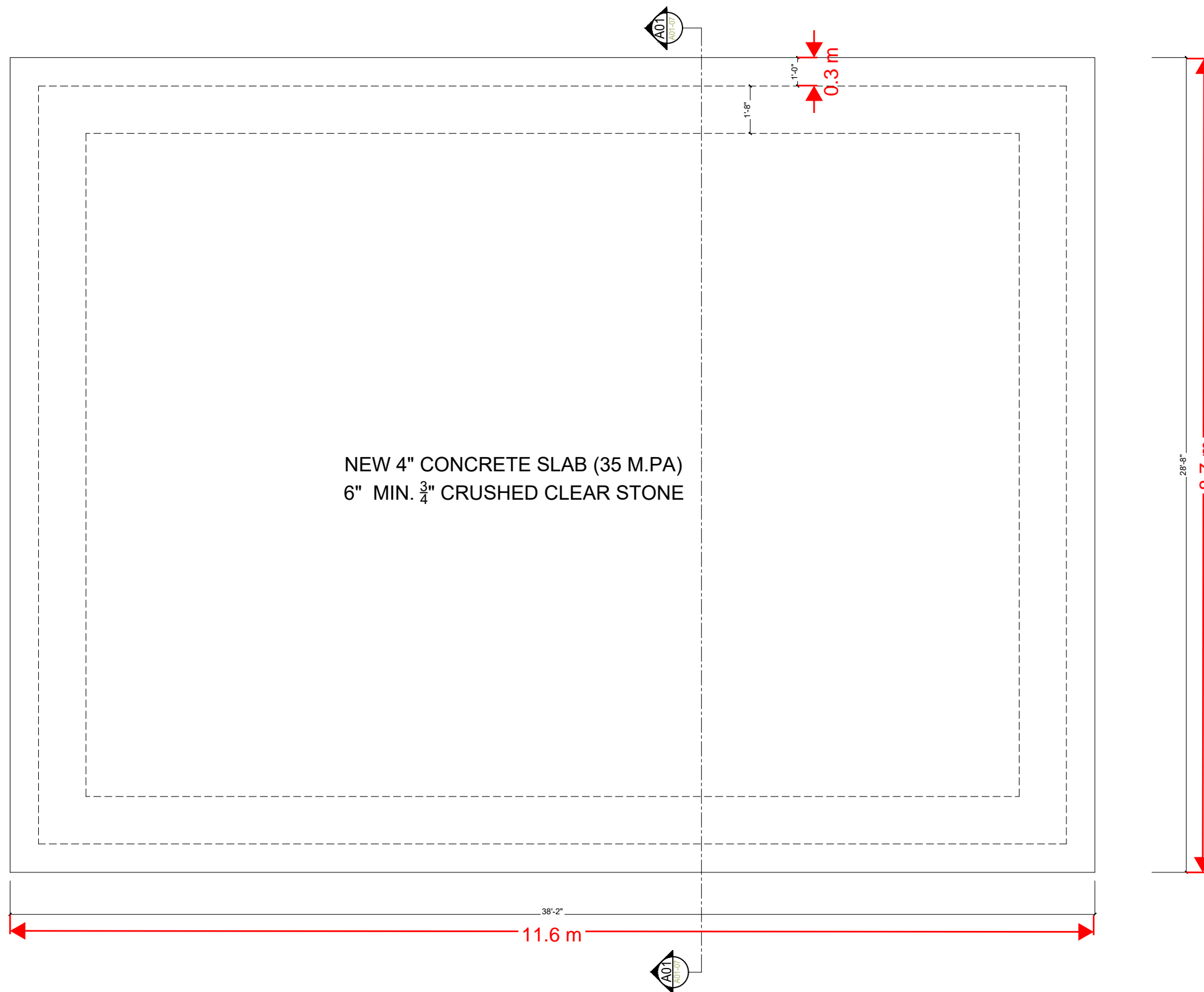
PROJECT
4869 Governors Rd. Hamilton ON L0R 1T0

TITLE
SCHEDULE AND ABBREVIATIONS

DISCIPLINE	NAME	DISCIPL
PROJECT NUMBER		PROJECT
DATE		DATE
DRAWN BY		DRAWN_BY
DESIGNED BY		DESIGNED_BY
CHECKED BY		CHECKED_BY

GN-002

REVISION NO.	REV_NO.
SCALE	NOTED



NEW 4" CONCRETE SLAB (35 M.PA)
6" MIN. $\frac{3}{4}$ " CRUSHED CLEAR STONE

A01 FOUNDATION LAYOUT
A-011 SCALE: 1/50" = 1'-0"

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE INFORMATION CONTAINED WITHIN.

THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY, ELEVATIONS, STRUCTURAL, MECHANICAL, ELECTRICAL ETC. SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.

ALL WORK MUST CONFORM TO ALL APPLICABLE
CODES AND REQUIREMENTS OF THE AUTHORITIES
HAVING JURISDICTION.

UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN CARRIED OUT OR REPORTED ON BY WITH RESPECT TO THE ENVIRONMENTAL CONDITION OF THE EXISTING SITE AND STRUCTURES.

NO.	MM/DD/YYYY	DESCRIPTION
1		
0		

APPROVED BY

CLIENT _____

William McCallum

PROJECT

4869 Governors Rd. Hamilton ON L0R 1T0

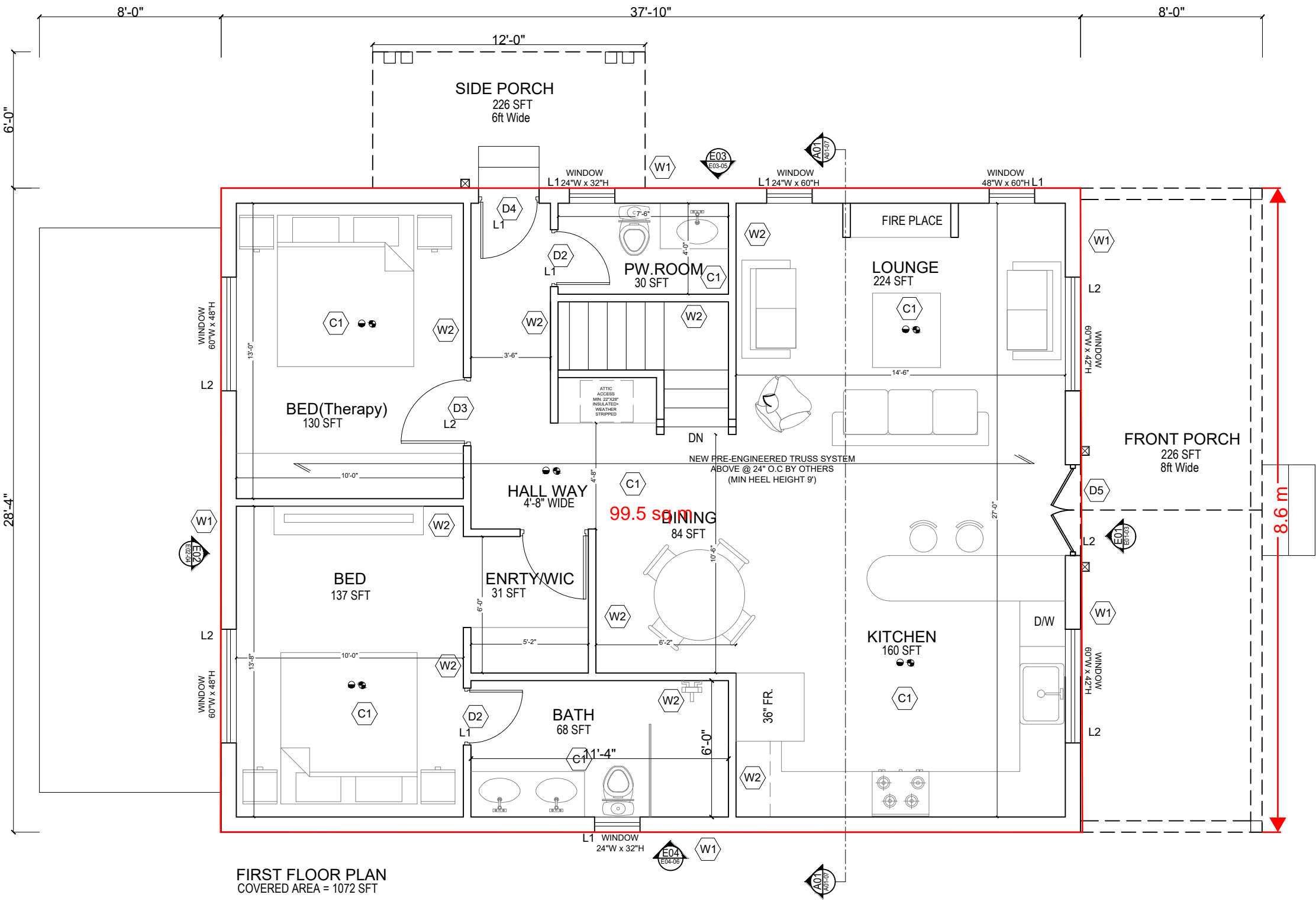
TITLE

FOUNDATION LAYOUT

DISCIPLINE	NAME_DISCIPL
PROJECT NUMBER	PROJECT
DATE	DATE
DRAWN BY	DRAWN_BY
DESIGNED BY	DESIGNED_BY
CHECKED BY	CHECKED_BY

A-001

REVISION NO.	REV_NO.
SCALE	NOTED



FIRST FLOOR PLAN
COVERED AREA = 1072 SFT

99.5 sqm

Gross Floor Area = 199 sqm

Description of Space	Allowable Area as per OBC	Proposed Area (m²)	Proposed Area (ft²)
Living Room	Minimum 13.5 m² for the combined area	20.8	224
Kitchen	Minimum 4.2 m²	14.86	160
Hallway	Minimum 0.86 m in width	1.42	4'-8"
Bedroom 1	Minimum 7 m²	12.07	130
Master Bedroom	Minimum 9.8 m²	15.6	168
Dining	Minimum 3.25 m² for the combined area	7.8	84

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE INFORMATION CONTAINED WITHIN.

THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY, ELEVATIONS, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC. SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.

ALL WORK MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.

UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN CARRIED OUT OR REPORTED ON BY WITH RESPECT TO THE ENVIRONMENTAL CONDITION OF THE EXISTING SITE AND STRUCTURES.

NO.	MMDD/YYYY	DESCRIPTION
1		
0		

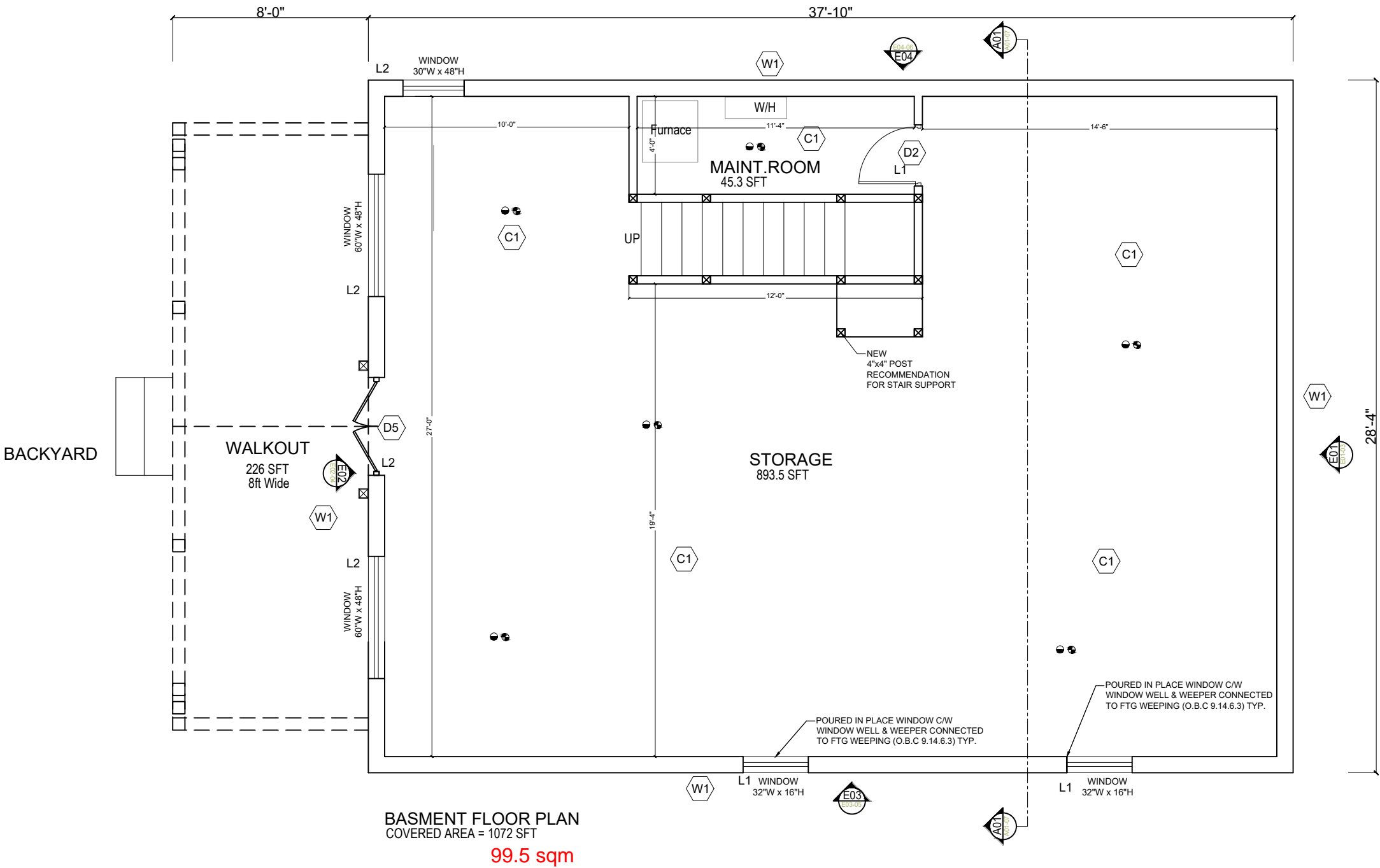
APPROVED BY	APPROVED BY

CLIENT
William McCallum
PROJECT

4869 Governors Rd. Hamilton ON L0R 1T0
TITLE

FIRST FLOOR PLAN	
DISCIPLINE	NAME_DISCIPL
PROJECT NUMBER	PROJECT
DATE	DATE
DRAWN BY	DRAWN_BY
DESIGNED BY	DESIGNED_BY
CHECKED BY	CHECKED_BY

A-003	
REVISION NO.	REV_NO.
SCALE	NOTED



BASMENT FLOOR PLAN
COVERED AREA = 1072 SFT
99.5 sqm

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE INFORMATION CONTAINED WITHIN.

THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY, ELEVATIONS, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC. SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.

ALL WORK MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.

UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN CARRIED OUT OR REPORTED ON BY WITH RESPECT TO THE ENVIRONMENTAL CONDITION OF THE EXISTING SITE AND STRUCTURES.

NO.	MM/DD/YYYY	DESCRIPTION
1		
0		

APPROVED BY

CLIENT

William McCallum

PROJECT

4869 Governors Rd. Hamilton ON L0R 1T0

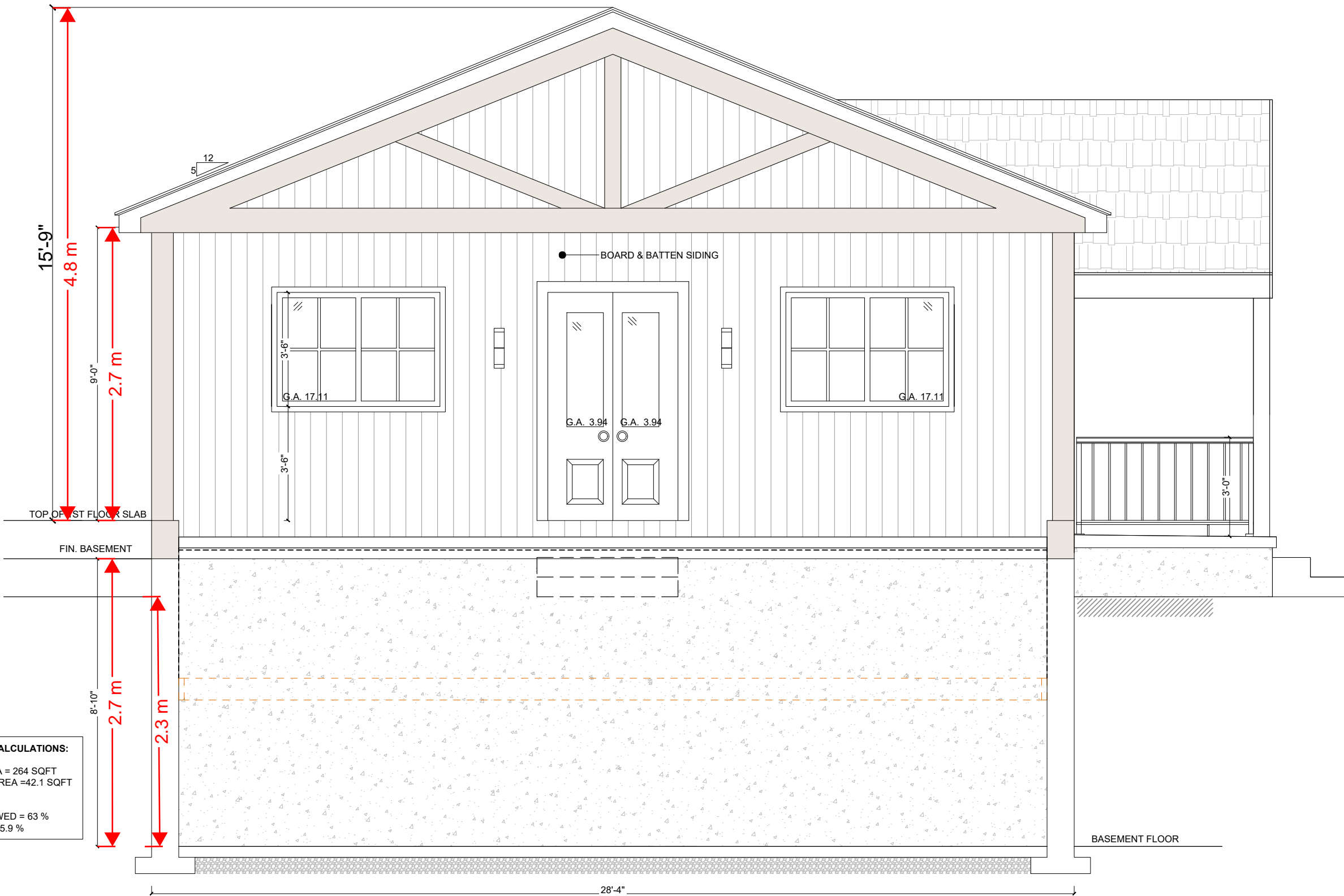
TITLE

BASMENT FLOOR PLAN

DISCIPLINE	NAME	DISCIPL
PROJECT NUMBER		PROJECT
DATE		DATE
DRAWN BY		DRAWN_BY
DESIGNED BY		DESIGNED_BY
CHECKED BY		CHECKED_BY

A-002

REVISION NO.	REV_NO.
SCALE	NOTED



NO.	MMDDYYYY	DESCRIPTION
1		
0		

APPROVED BY

APPROVED BY

CLIENT

William McCallum

PROJECT

4869 Governors Rd. Hamilton ON L0R 1T0

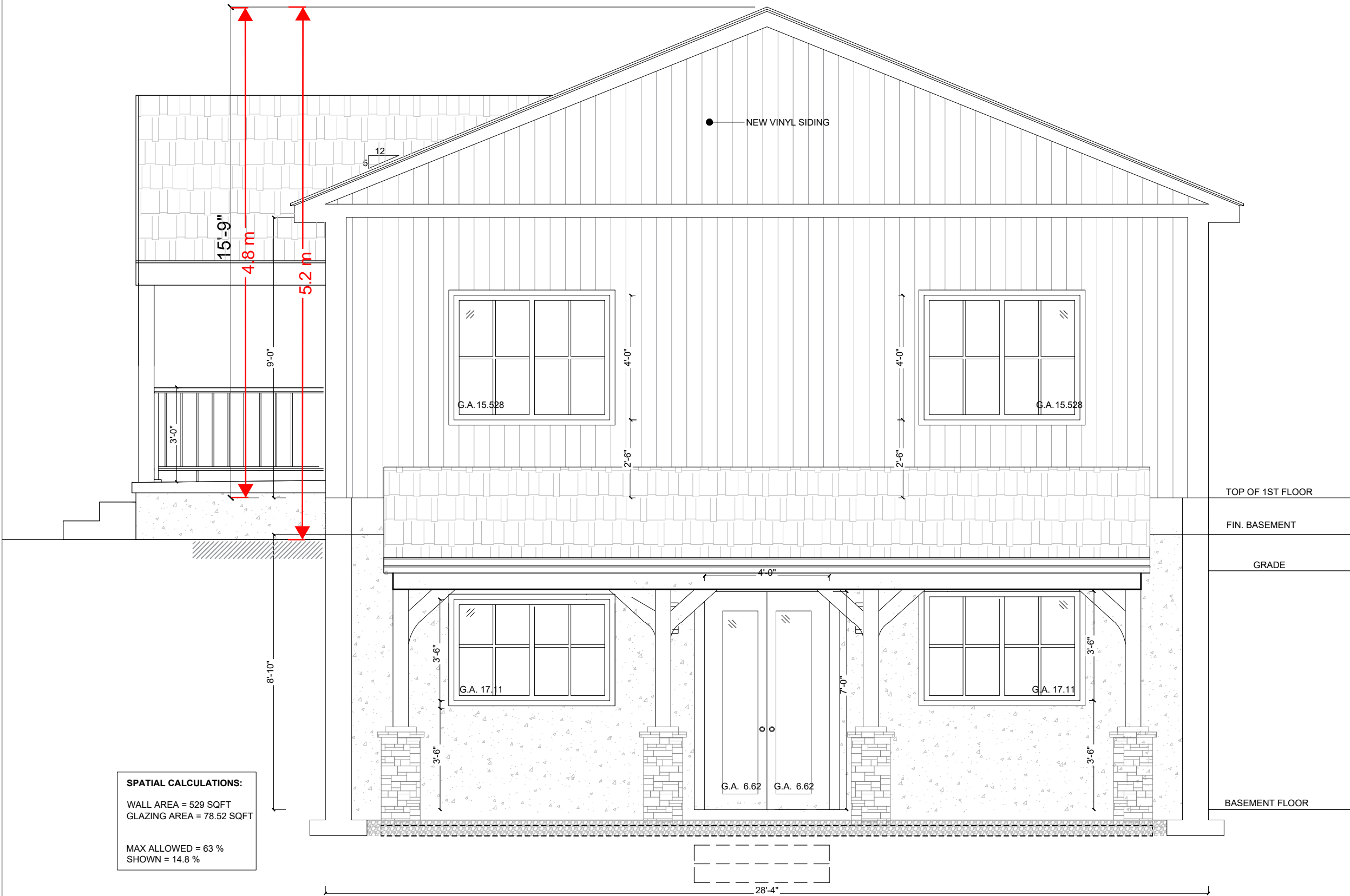
TITLE

FRONT ELEVATION E01

DISCIPLINE	NAME_DISCIPL
PROJECT NUMBER	PROJECT
DATE	DATE
DRAWN BY	DRAWN_BY
DESIGNED BY	DESIGNED_BY
CHECKED BY	CHECKED_BY

A-004

REVISION NO.	REV_NO.
SCALE	NOTED



SPATIAL CALCULATIONS:
WALL AREA = 529 SQFT
GLAZING AREA = 78.52 SQFT

MAX ALLOWED = 63 %
SHOWN = 14.8 %

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE INFORMATION CONTAINED WITHIN.

THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY, ELEVATIONS, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC. SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.

ALL WORK MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.

UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN CARRIED OUT OR REPORTED ON BY WITH RESPECT TO THE ENVIRONMENTAL CONDITION OF THE EXISTING SITE AND STRUCTURES.

NO.	MMDDYYYY	DESCRIPTION
1		
0		

APPROVED BY APPROVED BY

CLIENT

William McCallum

PROJECT

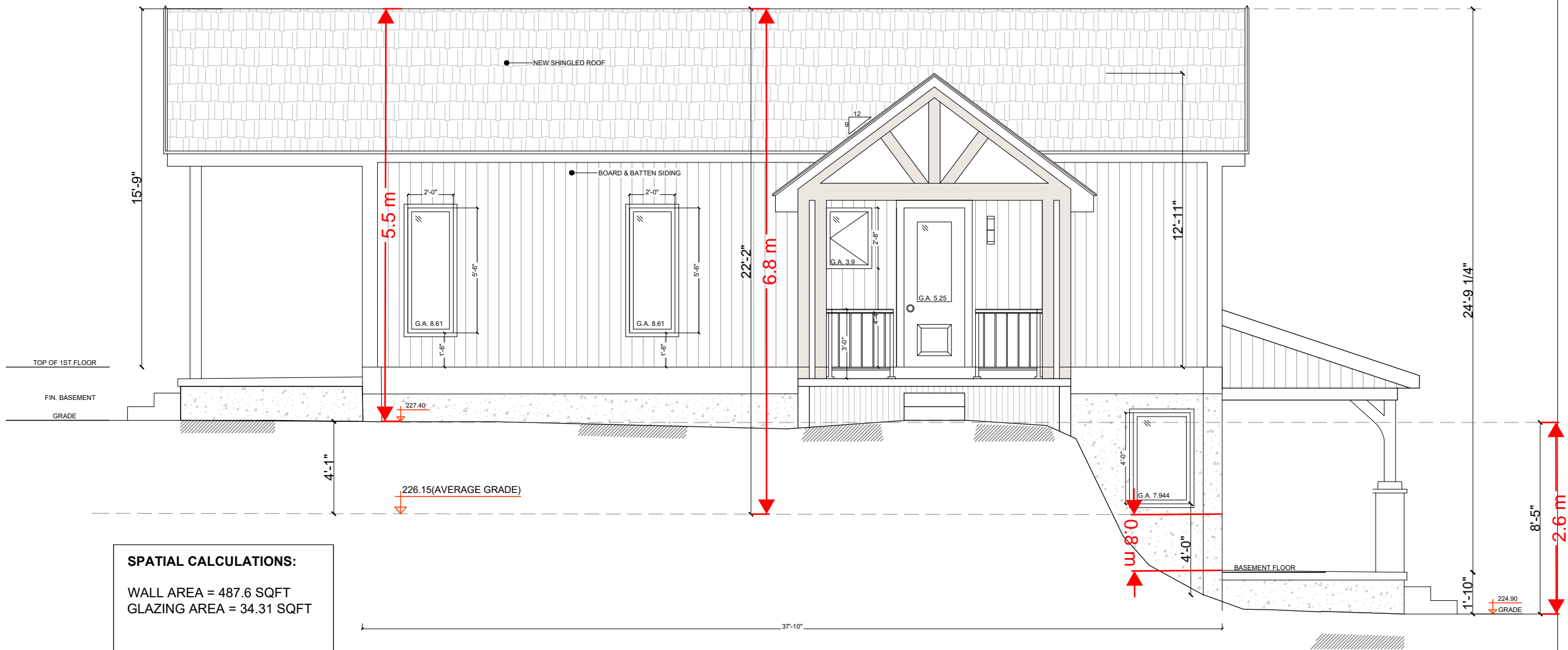
4869 Governors Rd. Hamilton ON L0R 1T0

TITLE

REAR ELEVATION-E02

DISCIPLINE	NAME_DISCIPL
PROJECT NUMBER	PROJECT
DATE	DATE
DRAWN BY	DRAWN_BY
DESIGNED BY	DESIGNED_BY
CHECKED BY	CHECKED_BY

A-005
REVISION NO. REV_NO.
SCALE NOTED



SPATIAL CALCULATIONS:

WALL AREA = 487.6 SQFT
GLAZING AREA = 34.31 SQFT

MAX ALLOWED = 63 %
SHOWN = 7.03%

THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE INFORMATION CONTAINED WITHIN.

THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY, ELEVATIONS, STRUCTURAL, MECHANICAL, ELECTRICAL ETC. SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.

ALL WORK MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.

UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN CARRIED OUT OR REPORTED ON BY WITH RESPECT TO THE ENVIRONMENTAL CONDITION OF THE EXISTING SITE AND STRUCTURES.

NO.	MM/DD/YYYY	DESCRIPTION
1		
0		

APPROVED BY	APPROVED BY

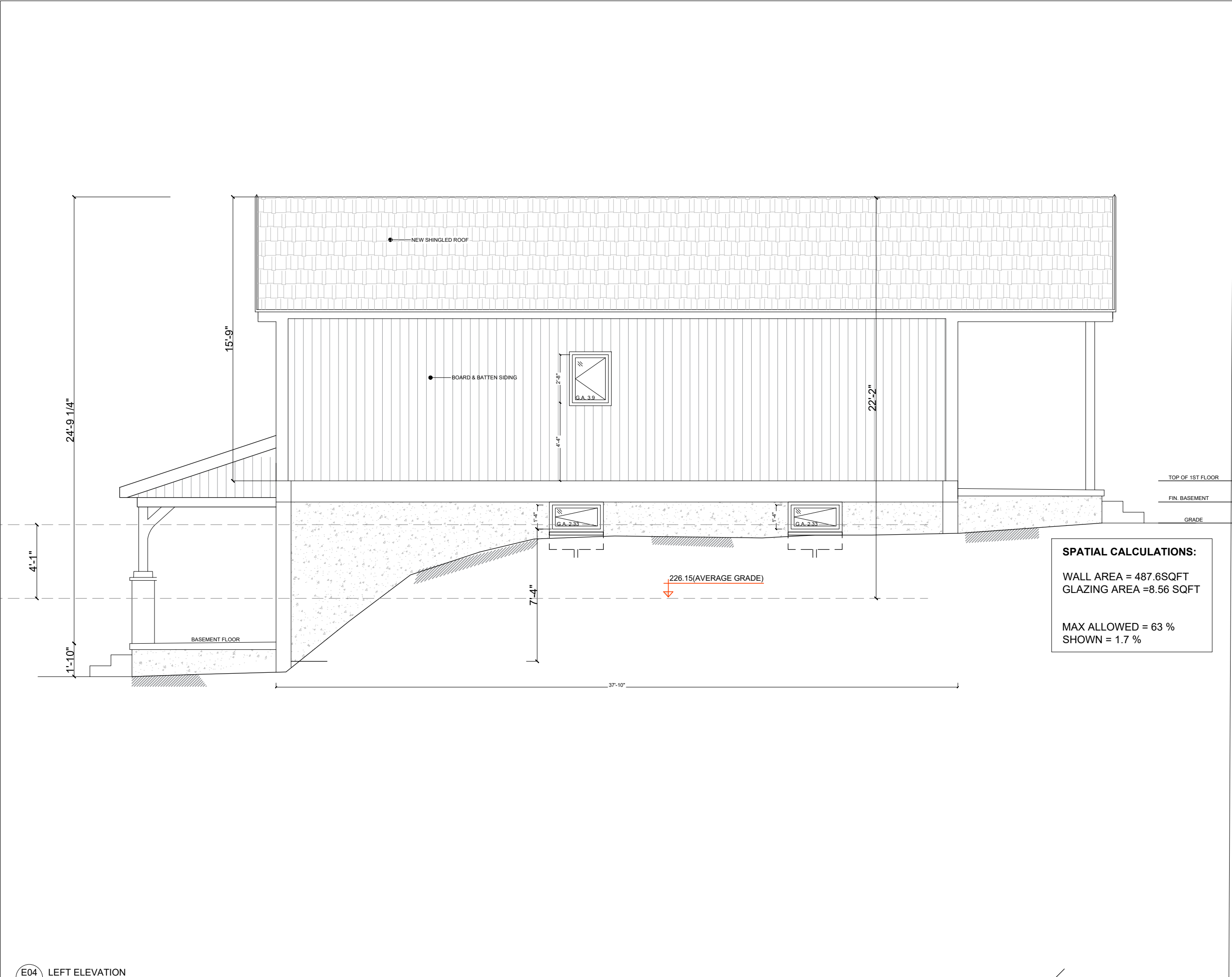
CLIENT
William McCallum
PROJECT

4869 Governors Rd. Hamilton ON L0R 1T0
TITLE

RIGHT ELEVATION-E03

DISCIPLINE	NAME	DISCIPLINE
PROJECT NUMBER		PROJECT
DATE		DATE
DRAWN BY		DRAWN BY
DESIGNED BY		DESIGNED BY
CHECKED BY		CHECKED BY

A-006	
REVISION NO.	REV. NO.
SCALE	NOTED



THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE INFORMATION CONTAINED WITHIN.

THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY, ELEVATIONS, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC. SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.

ALL WORK MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.

UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN CARRIED OUT OR REPORTED ON BY WITH RESPECT TO THE ENVIRONMENTAL CONDITION OF THE EXISTING SITE AND STRUCTURES.

NO.	MMDD/YYYY	DESCRIPTION
1		
0		

APPROVED BY	APPROVED BY

CLIENT

William McCallum

PROJECT

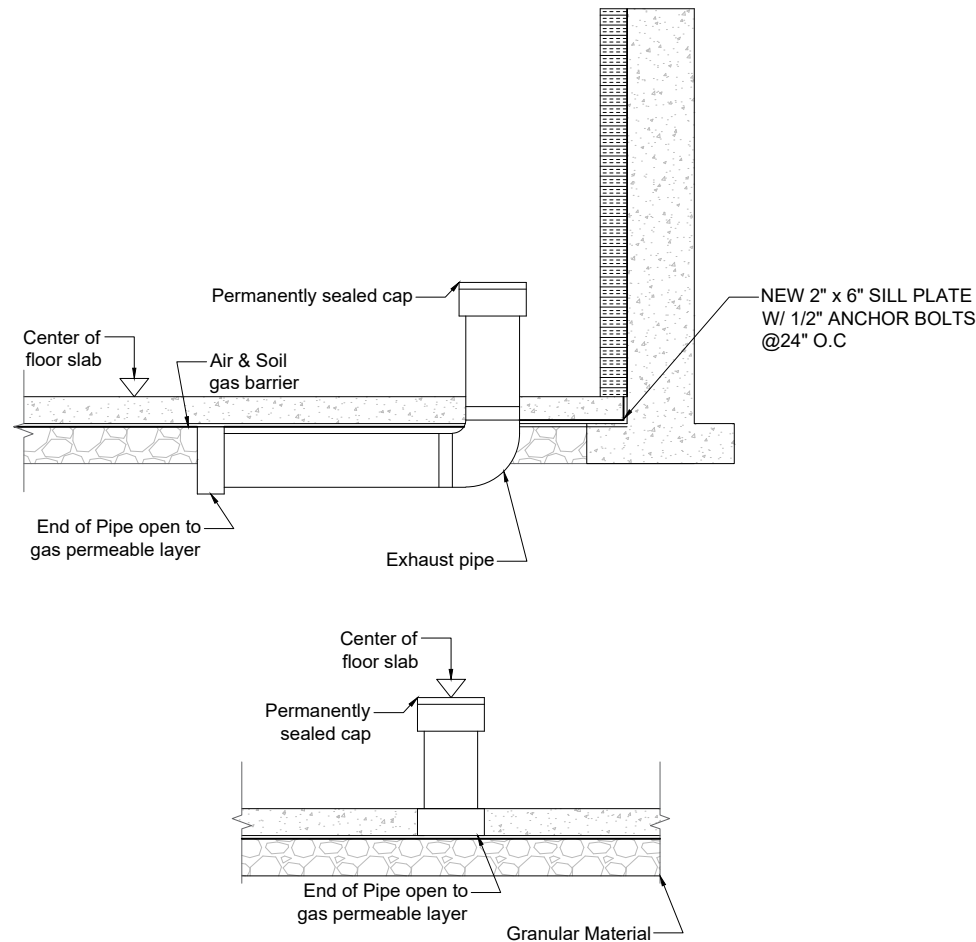
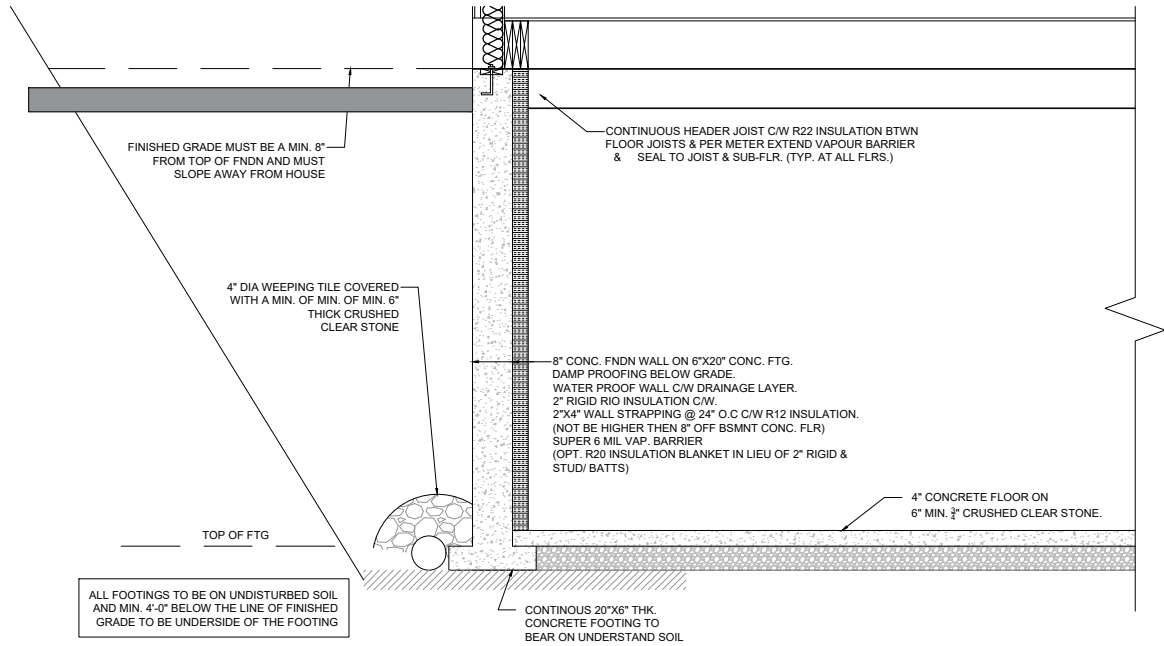
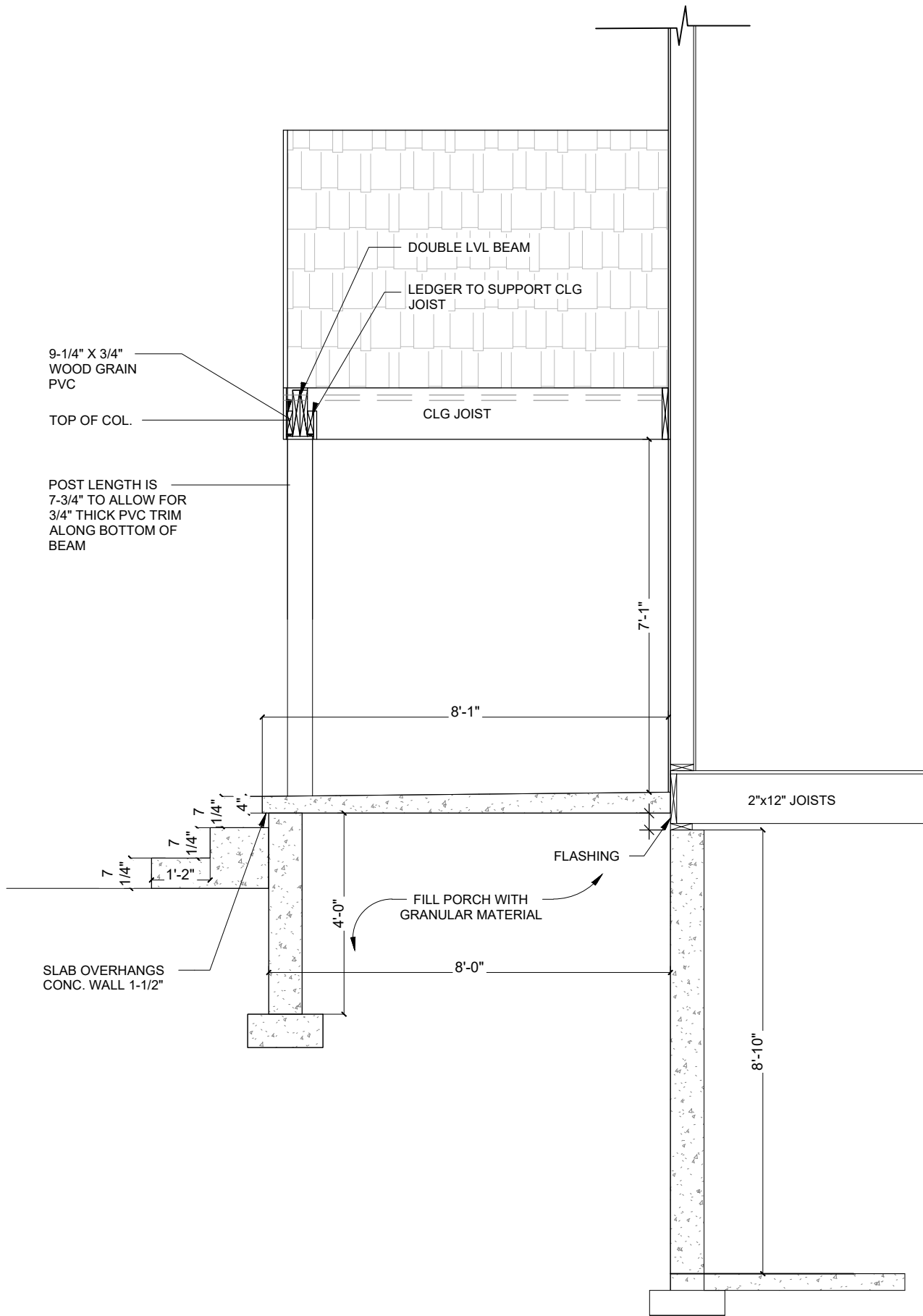
4869 Governors Rd. Hamilton ON L0R 1T0

TITLE

LEFT ELEVATION E-04

DISCIPLINE	NAME	DISCIPLINE
PROJECT NUMBER		PROJECT
DATE		DATE
DRAWN BY		DRAWN BY
DESIGNED BY		DESIGNED BY
CHECKED BY		CHECKED BY

A-007	
REVISION NO.	REV. NO.
SCALE	NOTED



THE CONTRACTOR MUST VERIFY AND ACCEPT RESPONSIBILITY FOR ALL DIMENSIONS AND CONDITIONS ON SITE AND MUST NOTIFY THE DESIGNER OF ANY VARIATIONS FROM THE INFORMATION CONTAINED WITHIN.

THE DESIGNER IS NOT RESPONSIBLE FOR THE ACCURACY OF THE SURVEY, ELEVATIONS, STRUCTURAL, MECHANICAL, ELECTRICAL, ETC. SHOWN ON THIS DRAWING. REFER TO THE APPROPRIATE ENGINEERING DRAWINGS PRIOR TO PROCEEDING WITH THE WORK.

ALL WORK MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.

UNLESS OTHERWISE NOTED, NO INVESTIGATION HAS BEEN CARRIED OUT OR REPORTED ON BY WITH RESPECT TO THE ENVIRONMENTAL CONDITION OF THE EXISTING SITE AND STRUCTURES.

NO.	MM/DD/YYYY	DESCRIPTION
1		
0		

APPROVED BY

CLIENT
William McCallum

PROJECT
4869 Governors Rd. Hamilton ON L0R 1T0

TITLE
TYPICAL SECTIONAL DETAILS

DISCIPLINE	NAME	DISCIPL.
PROJECT NUMBER	PROJECT	
DATE	DATE	
DRAWN BY	DRAWN BY	
DESIGNED BY	DESIGNED BY	
CHECKED BY	CHECKED BY	

A-009

REVISION NO.	REV. NO.
SCALE	NOTED



A. J. Clarke and Associates Ltd.
SURVEYORS • PLANNERS • ENGINEERS

City of Hamilton Planning and Development
City Hall 5th Floor
71 Main St W, Hamilton, ON L8P 4Y5

July 17, 2025

Attn: Justin Leung
Secretary-Treasurer, Committee of Adjustment

**Re: 4869 Governors Road, Hamilton
Minor Variance Application Submission**

Dear Sir/Madam:

A.J. Clarke and Associates Ltd. has been retained by Richard Charles Brooks (C/O William McCallum) for the purposes of submitting the enclosed Minor Variance Application to facilitate the construction of a Detached - Additional Dwelling Unit on the subject lands municipally known as 4869 Governors Road, within the City of Hamilton.

The following supporting materials are submitted to your attention, in support of the subject application:

- One (1) digital copy of the required filled and signed Minor Variance Application Form;
- One (1) digital copy of the Architectural Drawing Package;
- One (1) digital copy of the Site Sketch, prepared by A.J. Clarke and Associates Ltd;
- One (1) digital copy of the Zoning Compliance Review 25-110;

Please note that payment for the required application fees will be provided with credit card over the phone by the applicant William McCallum as indicated within the Minor Variance Application forms.

Proposed Development:

The proposed development consists of a one (1) Storey Detached Additional Dwelling Unit (ADU) which will be accessory to the existing two (2) storey primary dwelling. The proposed development has been located in the location of the existing shed/garage which will be demolished to facilitate the proposed detached ADU. Variances are required to the performance standards of the ADU due to the site specific constraints of the property.



Figure 1: View of Subject lands, 4869 Governors Road, Hamilton.

The subject lands are comprised of one parcel of land municipally known as 4869 Governors Road within the City of Hamilton.

The subject lands are generally located to the west of Lynden along Governors Road between Weir Road and Harrisburg Road. The subject lands are an irregular shaped parcel, with a lot area of ± 93 acres (37 hectares) which is used for agricultural and residential purposes. The subject lands are currently occupied with a single detached dwelling (4869 Governors Road) and associated farm structures which support agricultural operations. The residential dwelling and the agricultural operation are separated naturally by a large hill.

The subject lands are designated “Agriculture” on Schedule D of the Rural Hamilton Official Plan. The primary intent of the Agriculture designation is to protect the prime agricultural areas for agricultural use over the life of this Plan. Within this designation permitted uses are generally limited to agricultural uses, agricultural related commercial or industrial uses, and on farm secondary uses.

The immediate surrounding land uses include:

North	Agriculture / Conservation, Hazard Lands
South	Agriculture
West	Agriculture, Residential Single Detached Dwelling
East	Residential Single Detached Dwelling

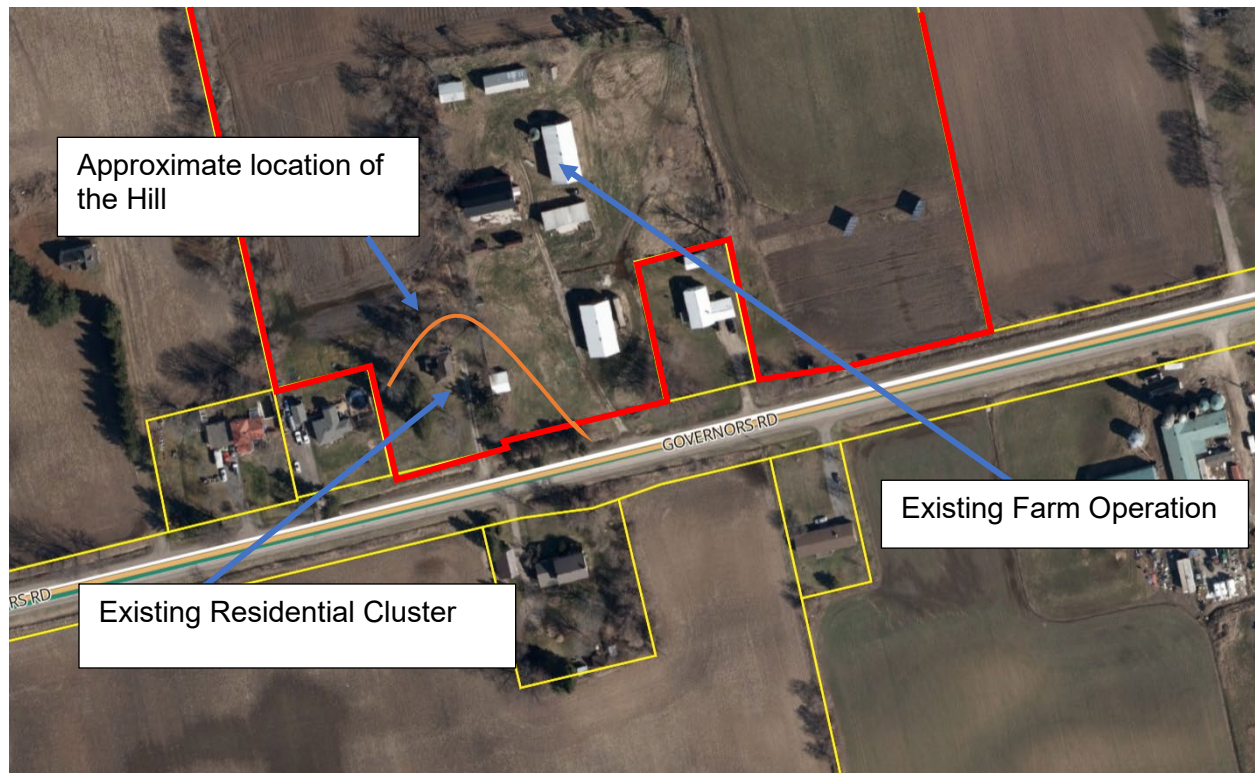


Figure 2: Aerial View of 4869 Governors Road, Hamilton. (VuMap)

A review of the applicable planning policies has been included below.

Planning Policy Overview

Rural Hamilton Official Plan (RHOP)

The Rural Hamilton Official Plan is the guiding document for the lands within the rural area of the City. Rural Hamilton combines diverse geographies, communities, economies, resources, and land uses. Rural Hamilton's primary land use function is resource related. It provides opportunities for agriculture, non-renewable and natural heritage resources.

The subject lands are designated "Agriculture" on Schedule D of the Rural Hamilton Official Plan. The primary intent of the Agriculture designation is to protect the prime agricultural areas for agricultural use over the life of this Plan. Within this designation permitted uses are generally limited to agricultural uses, agricultural related commercial or industrial uses, and on farm secondary uses.

Additionally, the policies within C.3.0 General Land Use Provisions and Designations, are applicable to the subject lands which provides additional policies for Rural Areas.



3.1 Rural Area General Provisions

3.1.2 *The following uses shall be permitted in the Agriculture, Specialty Crop, Rural and Rural Settlement Area designations, provided the applicable conditions are met: (OPA 5)*

e) An additional dwelling unit - detached shall be permitted in Rural Hamilton subject to the following: (OPA 39)

i) One additional dwelling unit - detached may be permitted on a lot with a minimum lot area of 1.5 hectares.

ii) The primary dwelling and the additional dwelling unit – detached can achieve the minimum servicing requirements of Policy C.5.1 of this Plan.

iii) The minimum lot area established in e) i) above may be reduced where it can be demonstrated that the minimum servicing requirements of Policy C.5.1 of this Plan can be achieved.

As per Section C.3.1.2 e) Detached – Additional Dwelling Units are permitted within the Agriculture Designation and are subject to additional policy requirements. The subject lands of 4869 Governors Road have a lot area of 37 hectares which is beyond the minimum lot area required of 1.5 hectares within the RHOP.

Additionally, the proposed development can achieve the minimum servicing requirements set out within the RHOP. The proposed detached ADU will be serviced independently of the existing development

The proposed development is permitted by the RHOP and conforms to the Policies listed under C.3.1.2.

City of Hamilton Zoning By-law 05-200

The subject lands are zoned Agriculture (A1) Zone within the City of Hamilton 05-200 Zoning By-law.

A review of the applicable zone provisions will be included below:

Regulation	Requirement	Proposed – 4869 Governors Road
Maximum Height for Detached ADU	6 m	6.8 m
Location of Detached ADU	An Additional Dwelling Unit – Detached shall only be permitted in a Rear and/or interior Side Yard.	Front Yard & Interior Yard
Where a Detached ADU is located within the Interior Yard the following is required	B) An Additional Dwelling Unit – Detached shall be set back a minimum 5.0 metres from the front façade of the principal dwelling.	Projection of 5.7m from the façade of principal dwelling unit.
Size	The maximum gross floor area shall not exceed the principal dwelling.	Principal Dwelling GFA 160 m2 Proposed Detached ADU 199 m2

Minor Variance



These variances are required to facilitate the proposed development, which are as follows:

1. To permit a maximum height of 7.0 metres whereas a maximum height 6.0 metres is required. **It is important to note that this variance is required as the maximum height is determined based on the average grade.**
2. To permit an Additional Dwelling Unit – Detached to be located in the front yard whereas a Additional Dwelling Unit – Detached shall only be permitted in the rear or interior yard.
3. To permit an Additional Dwelling Unit – Detached to be 200 square metres whereas 160 square metres is permitted.
4. To permit an Additional Dwelling Unit – Detached to be located in front of the façade of the Principal Dwelling Unit with a projection of 6.0 metres, whereas a An Additional Dwelling Unit – Detached shall be set back 5.0 metres from the façade of the Principal Dwelling Unit.

This minor variance application is made under the authority of Section 45(1) of the Planning Act. Accordingly, a minor variance must meet the requisite four tests as described in Section 45 (1) of the Act. The tests and professional opinion are outlined below:

1. Do the proposed variances maintain the intent and purpose of the Rural Hamilton Official Plan?

The proposed variances maintain the intent and purpose of the Rural Hamilton Official Plan. The subject lands are designated Agriculture as per Schedule D of the Rural Hamilton Official Plan.

Within the Agriculture Designation Additional Dwelling Units both detached and attached permitted as of right. The minor variances are technical in nature and seek to facilitate implementation of the design policies with the Official Plan.

It is my professional that the proposed development and proposed minor variances maintain the intent and purpose of the Rural Hamilton Official Plan.

2. Do the proposed variances maintain the intent and purpose of the City of Hamilton 05-200 Zoning By-law, as amended?

The required variances to the City of Hamilton 05-200 Zoning By-law, as amended, are intended to facilitate the development of a Detached – Additional Dwelling Unit.

Maximum Height

The proposed development requires a variance to permit a maximum height of 7.0 metres whereas 6.0 metres is permitted.

The overall intent of this zoning by law provision is to ensure that the proposed development is consistent with the size and scale of development within the Neighbourhood, and the Detached Additional Dwelling Unit is accessory to the Principal Dwelling Unit.

Grade as defined within the Zoning By-law *"Shall mean the average level of the proposed or finished ground adjoining a building calculated along the perimeter of all exterior walls."*

Height as defined within the Zoning By-law *"Shall mean the vertical distance from grade to the uppermost point of the building but not including any mechanical penthouse or any portion of a building designed, adapted or used for such features as a chimney, smokestack, fire wall, stair tower, fire tower, water tower, tank, elevator bulkhead, ventilator, skylight, cooling tower, derrick, conveyor, antenna, or any such requisite appurtenance, or a flagpole, display sign, ornamental figure, parapet, bell tower or other similar structure."*

On the property there is a change in grade, of approximately 2.5metres. As a result, the proposed ADU includes a walk out on the rear of the building. The average grade has been calculated and shown on the attached architectural drawings, which results in a maximum building height of 6.75 metres, whereas the maximum height permitted is 6.0 metres. However, from the Street View the proposed dwelling is a single storey and the height from the grade at the front steps to the peak of the roof is 5.5 metres which consistent with the intent of the Zoning By-law.

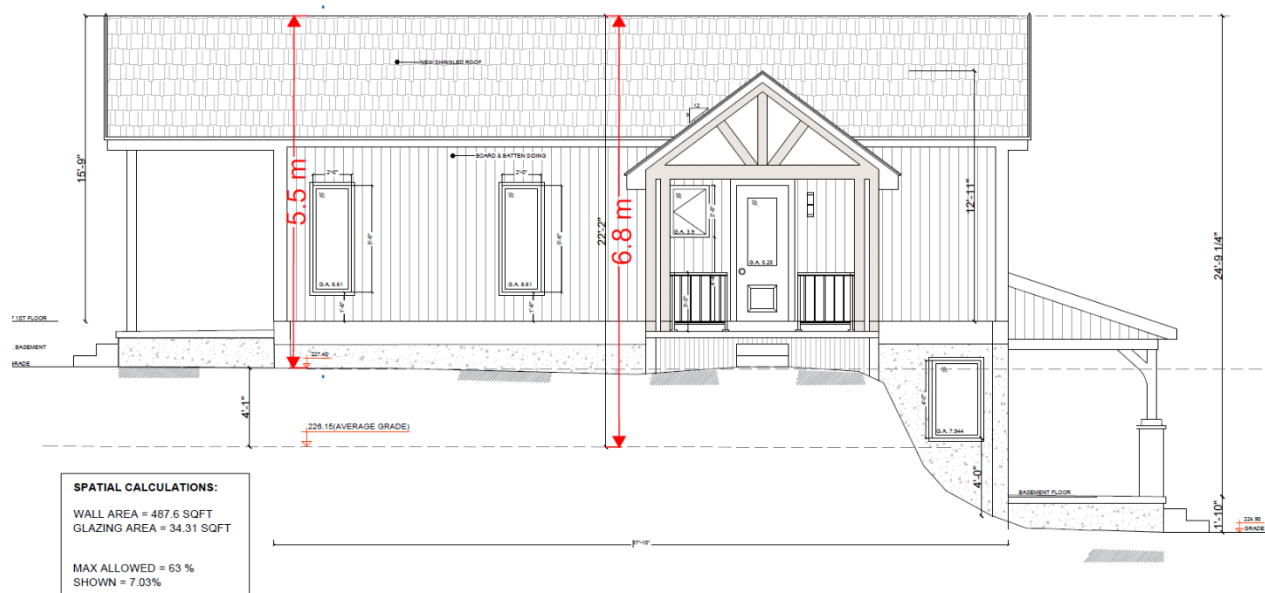


Figure 3: Side profile of the proposed Detached ADU which shows the average height as required per the By-law of 6.8m and the height of the dwelling of 5.5, which is the front profile, seen from the street.

The requested variance is for height, and the proposed built form is a single storey Detached – Additional Dwelling Unit which is consistent with the intent of the Zoning By-law. The proposed development is smaller in size and scale to the existing two storey dwelling unit which is consistent with the intent of the Zoning By-law. The additional 1.0m requested will not have any tangible effect on the adjacent land uses. The variance is technical in nature due to the topography of the lands.

It is my professional opinion that the proposed development and variances requested maintain the intent and purpose of the City of Hamilton 05-200 Zoning By-law.



Location of the proposed ADU

The proposed development requires a variance to permit an Additional Dwelling Unit – Detached to be located in the front yard whereas an Additional Dwelling Unit – Detached shall only be permitted in the rear or interior yard.

To permit An Additional Dwelling Unit – Detached to be located in front of the façade of the principal dwelling unit with a projection of 6.0 metres, whereas a An Additional Dwelling Unit – Detached shall be set back 5.0 metres from the façade of the Principal Dwelling Unit

The overall intent of these Zoning By-law provision is to ensure the proposed Detached Additional Dwelling Unit does not impact the existing streetscape and is accessory to the Principal Dwelling Unit. Front Yard as defined within the Zoning By-law *“shall mean a yard extending across the full width of a lot measured between the front lot line and the nearest part of a building on the lot”*.

The proposed Detached ADU is located within both the front yard and the interior side yard per the Zoning By-law.

In order to facilitate the development of the proposed Detached – ADU, the existing Accessory Structure (Shed/Garage) will be demolished.

The existing condition on site includes an accessory building which is located in front of the principal dwelling unit. Notably the proposed Detached ADU has been pushed back as far as possible, which provides some improvements to the streetscape such that the ADU is with a projection of 5.7 metres in front of the façade of the Principal Dwelling Unit. Due to the topography of the lands, the ADU has been pushed back as far as possible from the street.

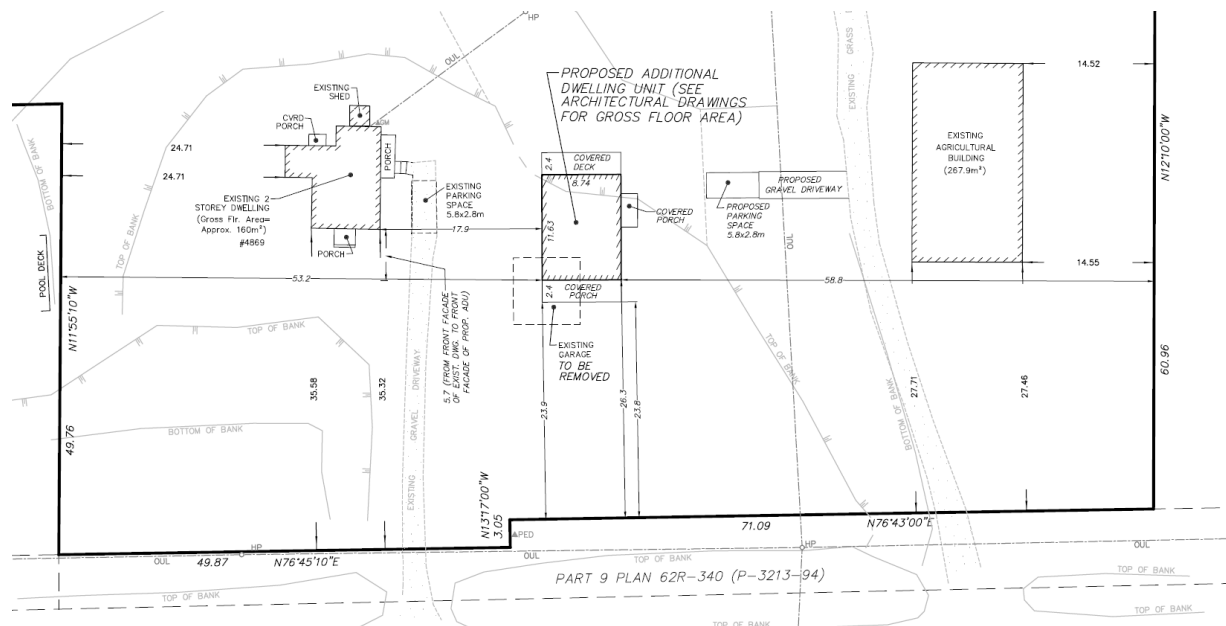


Figure 4: Site Plan of 4869 Governors Road which show the location of the existing shed which will be demolished to facilitate the proposed ADU.

Additionally, this condition is seen across the Street at 4886 Governors Road, where is accessory building is located in front of the façade of the Principal Dwelling by approximately 9.5 metres.



Figure 5: Existing Streetscape conditions at 4886 Governors Road, Hamilton where the accessory structure is located in front of the façade of the Principal Dwelling Unit.

Further the location of the proposed dwelling unit is in keeping with the existing character of the streetscape with significant setbacks to Governors Road. The proposed Additional Dwelling Unit is setback 23 metres from the Street Line.

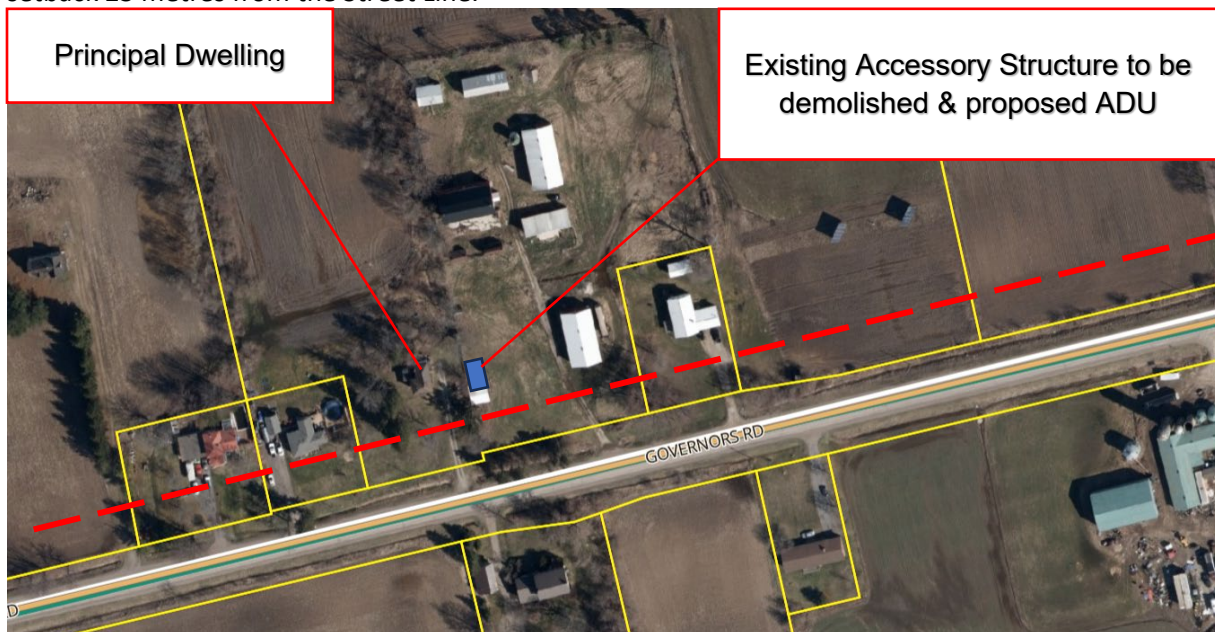


Figure 6: Proposed ADU and Existing Streetscape along Governors Road.



It is my professional opinion that the proposed development and variances related to the proposed location of the Detached Additional Dwelling Unit requested maintain the intent and purpose of the City of Hamilton 05-200 Zoning By-law.

Gross Floor Area

The proposed development requires a variance to permit an Additional Dwelling Unit – Detached to be 200 square metres where as 160 square metres is permitted.

As per the Zoning By-law an Additional – Detached Dwelling Unit the maximum Gross Floor Area shall not exceed the Gross Floor Area of the Principal Dwelling. The Principal Dwelling Unit of 4869 is a two-storey dwelling unit with a gross floor area of 160 square metres.

Within the Zoning By-law Gross Floor Area *“Shall mean the aggregate horizontal area measured from the exterior faces of the exterior walls of all floors of a building (excluding any cellar or floor area having a ceiling height of 2.0 metres or less or devoted exclusively to parking) within all buildings on a lot but shall not include any area devoted to mechanical equipment”*

The proposed Additional Detached Dwelling Unit has an overall Gross Floor Area of 199 square metres which is comprised of the first floor and the walkout basement level which results in a larger GFA when compared to the existing principal dwelling unit. However, the floor area of the ADU is approximately 100m² which is less than the area of the primary dwelling. The inclusion of the “basement” in the calculation of GFA is only a result of the walk out basement.

The intent of the Gross Floor Area restrictions is to ensure that the proposed additional detached Additional Dwelling Units are secondary to the exiting dwelling, with minimal impacts from the Streetscape. When comparing these two built forms and the existing dwelling is a two storey dwelling whereas the proposed ADU, is a single storey.

Although based on the definition of Gross Floor Area the proposed dwelling unit has a large over GFA, the ADU has been designed to be secondary to the existing dwelling unit with respect to bulk and massing.

It is my professional opinion that the proposed development and variances requested maintain the intent and purpose of the City of Hamilton 05-200 Zoning By-law.

3. Are the proposed variances appropriate for the development of the subject lands?

As noted above the variances will facilitate the development of a Detached – Additional Dwelling Unit. The proposed development represents a desired form of gently residential intensification which is permitted in the rural area of the City of Hamilton.

The requested variances are appropriate for the development of the subject lands to increase the residential density with the neighbourhood in a size and scale that is appropriate to its surroundings. The proposed development is consistent with the size and scale of the exiting single detached dwellings in the neighbourhood and provides a consistent streetscape along Governors Road while providing one additional dwelling unit on the property.



The proposed development has been designed with the existing topography and has been oriented to reduce the bulk and massing of the proposed ADU. Overall, the variances are appropriate for the development of an Detached – Additional Dwelling.

It is my professional opinion that the proposed variances are appropriate for the development of the subject lands.

4. Are the proposed variances minor in nature?

The proposed variances are minor in nature and represent good planning. The proposed variances maintain the intent of the Official Plan, and the Zoning by-law which will facilitate the development of an Additional Detached Dwelling unit which reflect the scale and character of the neighbourhood and the direction within the Rural Hamilton Official Plan.

There are no perceived impacts stemming from the variances as the built form is in keeping with the existing built form of the neighbourhood. Adequate separation and landscape treatment has been proposed to ensure a harmonious interface with adjacent land uses. Accordingly, it is my professional planning opinion that the variances are minor in nature.

I trust that you will find the enclosed satisfactory for your purposes. Please confirm receipt of this submission and we look forward to being scheduled for the next available hearing date. If you have any questions or require additional information, please do not hesitate to contact our office.

Sincerely,

Ryan Ferrari, MCIP, RPP
Senior Planner
A. J. Clarke and Associates Ltd.

Encl. William McCallum



Hamilton

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT
Building Division
71 Main Street West
Hamilton, Ontario, Canada, L8P 4Y5
Phone: 905.546.2720 Fax: 905.546.2764
www.hamilton.ca

July 9th, 2025

FOLDER: ALR
ATTENTION OF: Morgan Gowans
EMAIL: morgan.gowans@hamilton.ca

A.J. Clarke and Associates Ltd. - Chloe Andre
25 Main Street West, Suite 300
Hamilton, ON L8N 4J5

Attention:

Re: Applicable Law Review – Zoning By-law Compliance
Zoning: Agriculture (A1) & Conservation/Hazard Land – Rural Zone (P7) (P8)
Zoning By-law: Hamilton Zoning By-law No. 05-200
Address: 4869 Governors Road

An Applicable Law Review respecting zoning by-law compliance pursuant to application for minor variance has been completed and the following comments are provided.

COMMENTS:

1. The proposal is to construct a Additional Dwelling Unit – Detached on a lot with a existing single detached dwelling with a lot area of 93 aces (37.63 ha.).
2. The property is zoned Agriculture (A1) and the rear portion of the property is zoned Conservation/Hazard Land – Rural Zone (P7) (P8), the additional dwelling unit and existing single detached dwelling are within the A1 Zone of the property which are permitted.
3. Please note a basement is proposed as part of the Additional Dwelling Unit – detached and it is considered a basement because more then one half of its height from grade to ceiling is above grade therefore will count towards the Gross Floor Area of the Additional Dwelling Unit detached, please see the definition of Basement and Gross Floor Area below:

Basement - Shall mean that portion of a building which is partially below grade but which has more than one half of its height, from the floor to the underside of the finished ceiling located above grade.

Gross Floor Area - Shall mean the aggregate horizontal area measured from the exterior faces of the exterior walls of all floors of a building (excluding any cellar or floor area having a ceiling height of 2.0 metres or less or devoted exclusively to parking) within all buildings on a lot but shall not include any area devoted to mechanical equipment.

4. Please be advised that the Electric Vehicle Parking requirements under By-law 24-052, remain under appeal and are not covered under Section 1.12 of the “Transitional Provisions” of the Hamilton Zoning By-law 05-200. At present, a review of the Electric Parking requirements has not been included in the following zoning chart. If the remaining portions of By-law 24-052 become

- final before issuance of a building permit, the Electric Vehicle Parking requirements may be applicable upon review for such building permit.
5. Please be advised that a portion of this property is within an area regulated by Grand River Conservation Authority. Please contact (519) 621-2761 or grca@grandriver.ca prior to any development.
 6. All Yard Encroachments shall conform to Section 4.6 "Permitted Yard Encroachments" of the Hamilton Zoning By-law No. 05-200.
 7. All mechanical and unitary equipment shall conform to Section 4.9 of the Hamilton Zoning By-law No. 05-200.
 8. All new fences proposed for this development must comply with the regulations contained within the Fence By-law.
 9. All new signs proposed for this development must comply with the regulations contained within the Sign By-law.
 10. The designer shall ensure that the fire access route conforms to the Ontario Building Code.
 11. The proposed development has been reviewed and compared to the standards of the Additional Dwelling Unit regulations, as indicated in the following chart:

No alterations to the existing dwelling is proposed

Section 4.33			
Additional Dwelling Unit and Additional Dwelling Unit - Detached <i>Section 4.33 a)</i>	All the regulations of this By-law applicable to the principal dwelling shall continue to apply unless specifically provided in Section 4.33.	Please note	Please note
<i>Section 4.33 b)</i>	A Single Detached Dwelling, Duplex Dwelling, or Triplex Dwelling built in conformity with this By-law, may be converted to contain a fourth Additional Dwelling Unit.	N/A	N/A
<i>Section 4.33 c)</i>	Notwithstanding any applicable regulations of this By-law, no more than four Dwelling Units shall be permitted on a lot that contains an Additional Dwelling Unit and/or Additional Dwelling Unit – Detached. (By-law No. 24-051, April 10, 2024)	N/A	N/A
Additional Dwelling Unit - Detached in Agriculture (A1), Rural (A2) and Settlement Residential (S1) Zones			
Section 4.33.4			
<i>Section 4.33.4 a)</i>	For lands within an A1, A2, S1 Zone, a maximum of one Additional Dwelling Unit – Detached shall be permitted on a lot	On a lot with a existing single detached dwelling that has a 93 acre (37 ha.)	Conforms

	containing a Single Detached Dwelling having a minimum lot area of 1.5 hectares. i) Notwithstanding 4.33.4 a) above, an Additional Dwelling Unit – Detached shall not be permitted on lands identified in Figures 24.1 to 24.5 of Schedule “F” – Special Figures.	lot area	
Section 4.33.4 b)	In addition to Section 4.33.4 a), a legally established accessory building existing as of May 12, 2021, may be converted to the one Additional Dwelling Unit – Detached permitted on a lot containing an existing Single Detached Dwelling subject to the following provision: i) Any additions over 10% of the existing gross floor area of the legally established accessory building converted to an Additional Dwelling Unit – Detached shall be in accordance with the regulations of Section 4.33.4.	N/A new building proposed	N/A
Section 4.33.4 c)	All the regulations of the By-law applicable to the existing dwelling shall continue to apply unless specifically provided in Section 4.33.4.	Please note	Please note
Section 4.33.4 d)	An Additional Dwelling Unit – Detached shall only be permitted in a Rear and/or interior Side Yard.	Located on the front yard	Non-conforming
Section 4.33.4 e)	A minimum 1.2 metre setback shall be provided from the interior Side Lot Line and Rear Lot Line i) Notwithstanding Section 4.33.4 e), an eave or a gutter may extend a maximum of 0.45 metres into a required minimum setback area. ii) In addition to Section 4.33.4 e), a landscaped strip is required to be provided within the required side yard adjacent to an Additional Dwelling Unit – Detached and shall be limited to sod, ground cover, permeable pavers, or a planting strip, and may include a visual barrier.	53.2m from side lot line Greater than 1.2m from rear lot line Gutters are 0.3m projecting It appears the lands not shown for parking are to be sod and grass	Conforms Conforms Conforms
Section 4.33.4 f)	An Additional Dwelling Unit – Detached shall not be located closer to the flankage street than the principal dwelling.	N/A interior lot	N/A
Section 4.33.4 g)	An unobstructed path with a minimum 1.0 metre width and minimum 2.1 metre clearance in height from a street line to the entrance of the Additional Dwelling Unit – Detached shall be provided and maintained.	Unable to determine if there is a 1.0m unobstructed path from the street line	Unable to determine compliance
Section 4.33.4 h)	The following building separation shall be provided: i) Where an Additional Dwelling Unit – Detached is in the Rear Yard, a	i) N/A within interior side yard	N/A

	<p>minimum distance of 7.5 metres shall be required between the rear wall of the principal dwelling and the Additional Dwelling Unit – Detached.</p> <p>ii) Where an Additional Dwelling Unit – Detached is in an Interior Side Yard, the following is required:</p> <p>A) A minimum distance of 4.0 metres shall be provided between the side wall of the principal dwelling and an Additional Dwelling Unit – Detached; and,</p> <p>B) An Additional Dwelling Unit – Detached shall be set back a minimum 5.0 metres from the front façade of the principal dwelling.</p>	<p>ii)</p> <p>A) 17.9m provided between the side wall of principal dwelling and ADU-D</p> <p>B) projects out 5.7m from the front façade of the principal dwelling</p>	<p>Conforms</p> <p>Non-conforming</p>
Section 4.33.4 i)	<p>A maximum height of 6.0 metres shall be permitted.</p> <p>i) Notwithstanding Section 4.33.4 i), balconies and rooftop patios shall be prohibited above the first floor level.</p>	6.8m	Non-conforming
Section 4.33.4 j)	The maximum gross floor area shall not exceed the principal dwelling.	<p>GFA of principal dwelling – 160 sq m</p> <p>GFA of ADU-D – 199 sq m</p>	Non-conforming
Section 4.33.4 k)	Notwithstanding 4.33.4 g) above, the maximum combined lot coverage of all accessory buildings, Farm Labour Residence(s) and the Additional Dwelling Unit – Detached shall be 25%.	All accessory building including ADU-D is a total of 0.3% of the lot area	Conforms
Section 4.33.4 l)	The waste disposal and water supply systems shall be in accordance with Section 4.22 iii).	Applicant to note	Applicant to note
5.1 PARKING SUPPLY REQUIREMENTS AND RESTRICTIONS			
Minimum Number of Required Parking Spaces [as per section 5.1.1 (a) of Hamilton Zoning By-law 05-200]	<p>The minimum number of required parking spaces which must be provided shall be the result of applying:</p> <p>i) The minimum amount in accordance with the Minimum Required Parking Rate Schedule in Section 5.7.1;</p> <p>ii) Any eligible exception in this Section; and,</p> <p>iii) Any eligible deductions in this Section</p>	Please note	Please note
Exception for Existing Buildings in All Zones [as per section 5.1.1 (b) of Hamilton Zoning By-law 05-200]	Notwithstanding Section 5.7.1, for any use located in all or part of a building existing on the effective date of this By-law, no parking spaces are required, provided that the number of parking spaces which existed on the effective date of this By-law shall continue to be provided, except that:	Please note	Please note

	<p>i) a use shall not be required to provide additional parking beyond that which is required by Section 5.7.1; and,</p> <p>ii) where an addition, alteration or expansion of an existing building is proposed, the parking requirements of Section 5.7.1 shall only apply to the increased gross floor area of the building.</p>		
Rounding Calculations [as per section 5.1.1 (c) of Hamilton Zoning By-law 05-200]	<p>i) Where the application of the parking standards in Section 5.7.1, 5.7.2, 5.7.4, and 5.7.5 results in a numeric fraction, fractions shall be rounded down to the nearest whole number.</p> <p>ii) Where the application of the minimum accessible parking standards in Section 5.7.3 results in a numeric fraction, fractions shall be rounded up to the nearest whole number.</p> <p>iii) Where the calculations in Sections 5.7.1, 5.7.2, 5.7.3, 5.7.4 or 5.7.5 apply to multiple uses, rounding shall only be applied to the sum of the requirements for all uses on the lot.</p>	Please note	Please note
Required Parking to be Provided on Same Lot [as per section 5.1.1 (d) of Hamilton Zoning By-law 05-200]	All required parking spaces shall be located on the same lot as the use for which they are required, unless the parking spaces are provided on another lot in compliance with Section 5.6.1.	Required parking provided on the same lot	Conforms
Provision of Parking on a Lot Subject to Multiple Zones [as per section 5.1.1 (e) of Hamilton Zoning By-law 05-200]	<p>Where more than one zone applies to a lot, parking spaces provided for any use on the lot may be located within any zone within the boundaries of the lot, except:</p> <p>i) where a portion of a lot is within one of the Open Space and Park Zones, no parking spaces may be located within such portion of the lot except parking spaces required for a permitted use located within such portion.</p>	No parking spaces located within Open space zone	Conforms
Minimum Required Number of Electric Vehicle Parking Spaces [as per section 5.1.4 of Hamilton Zoning By-law 05-200]	<p><u>a) Minimum Required Number of Electric Vehicle Parking Spaces</u></p> <p>Where parking spaces are provided, Electric Vehicle Parking Spaces shall be provided in accordance with:</p> <p>i) The minimum rates in accordance with the Parking Schedule in Section 5.7.4; and,</p> <p>ii) Any eligible exception in this Section.</p> <p><u>b) Exception for the Agriculture (A1) Zone, Rural (A2) Zone, and any Open</u></p>	PLEASE NOTE: The definition of Parking Space, Electric Vehicle is under appeal. The electric vehicle parking requirements of Section 5 that are not subject to a City-wide appeal shall be deemed to come into force and effect at the same time the definition of Parking Space, Electric Vehicle comes into force and effect.	

	<p><u>Space and Park Zone</u></p> <p>The minimum requirement for Electric Vehicle Parking Spaces shall not apply to any parking space located within one of the following Zones:</p> <p>i) Agriculture (A1) Zone; ii) Rural (A2) Zone; and, iii) Any Open Space and Park Zone.</p> <p><u>c) Exception for Existing Buildings in All Zones</u></p> <p>Notwithstanding Section 5.7.4, for any use within any Zone, located in all or part of a building existing on the effective date of this By-law, no Electric Vehicle Parking Spaces are required, except that:</p> <p>i) where an addition or expansion of an existing building is proposed, the Electric Vehicle Parking requirements of Section 5.7.4 shall only apply to such addition or expansion.</p> <p><u>d) Exception for Existing Parking Lots in All Zones</u></p> <p>Notwithstanding Section 5.7.4, for any Parking Lot or portion thereof within any Zone, existing on the effective date of this By-law, no Electric Vehicle Parking Spaces are required, except that: i) where an expansion or enlargement of such parking is proposed, the electric vehicle parking requirements of Section 5.7.4 shall only apply to such expansion or enlargement.</p> <p><u>e) Regulations for Electric Vehicle</u></p> <p>Parking Spaces Electric Vehicle Parking Spaces shall be subject to the regulations in Section 5.6.7.</p>	
5.2 FUNCTIONAL DESIGN REQUIREMENTS		
<p>Minimum Parking Space Dimensions [as per section 5.2.1 of Hamilton Zoning By-law 05-200]</p>	<p><u>a) Minimum Parking Space Dimensions</u></p> <p>Unless permitted by another regulation in this By-law, parking space sizes shall be a minimum of 2.8 metres in width and 5.8 metres in length.</p>	<p>2.8m x 5.8m</p> <p>Conforms</p>
<p>Drive Aisle Requirements [as per section 5.2.3 of Hamilton Zoning By-law 05-200]</p>	<p><u>a) Minimum Drive Aisle Width</u></p> <p>The drive aisle abutting any parking space shall be designed and provided in accordance with the following minimum width requirements</p>	<p>6.0m drive aisle provided behind parking spaces</p> <p>Conforms</p>
	<p>Parking Angle</p> <p>One-Way and Two-</p>	

	Degree	Way Aisle Width		
	0°	3.7m		
	15°	3.7m		
	30°	3.7m		
	45°	4.5m		
	60°	5.5m		
	75°	6.0m		
	90°	6.0m		
Access Requirements [as per section 5.2.4 of Hamilton Zoning By-law 05-200]	<u>a) Access Design Requirements</u> Access to all parking shall: i) be arranged so as to not interfere with normal public use of the street or laneway; ii) be provided by means of an access driveway: 1. located on the lot; or, 2. located partly on the lot in the case of a mutual driveway; or, 3. by means of a Right-of-Way; and, iii) in the case of a Parking Lot, provide ingress and egress of vehicles to and from a street in a forward motion only.		i) does not interfere with the normal public use of the street ii) provided by means of driveway located on the lot iii) N/A not a parking lot	Conforms Conforms Conforms
	<u>b) Minimum Access Driveway Width</u> The width of any driveway providing access to a parking space shall be a minimum of 2.7 metres		Existing driveway access	Existing Condition
	5.3 LOCALONAL, LANDSCAPING AND SURFACE MATERIAL REQUIRMENTS			
Parking Facility Surface Material Requirements [as per section 5.3.4 of Hamilton Zoning By-law 05-200]	<u>a) Parking Spaces, Driveways and Widening(s) in All Zones</u> Parking spaces, driveways and widening(s) in all zones shall be provided and maintained with stable surfaces such as asphalt, concrete or other hardsurfaced material, crushed stone, permeable pavers or gravel, and shall be maintained in a dust free condition. i) Notwithstanding Section 5.3.4 a), on a lot containing a residential use in a Residential Zone, any parking provided beyond that which is required by Section 5.7.1 of this Bv-law shall be maintained		Gravel driveway existing	Existing Condition

	<p>with permeable material and shall not be deemed landscaped area in the calculation of total landscaped area on a lot.</p> <p>ii) Notwithstanding Section 5.3.4 a), in the Industrial Zones, where crushed stone or gravel is provided, the access driveway shall be designed such that a minimum of 10.0 metres extending from the streetline shall be constructed and maintained with asphalt, concrete or other hard surfaced material, and shall be maintained in a dust free condition.</p>		
	<p><u>c) Parking Lots in the Rural Zones</u></p> <p>Parking lots in the Rural Zones shall be designed and maintained with stable surfaces such as asphalt, concrete or other hard-surfaced material, crushed stone, permeable pavers, or gravel, except that:</p> <p>i) Where crushed stone or gravel is provided, the access driveway shall be designed such that a minimum of 10.0 metres extending from the streetline shall be constructed and maintained with asphalt, concrete or other hard surfaced material, and shall be maintained in a dust free condition.</p>	Gravel driveway access existing	Existing Condition
5.6 GENERAL PARKING REGULATIONS			
<p>Electric Vehicle Parking Space Regulations [as per section 5.6.7 of Hamilton Zoning By-law 05-200]</p>	<p><u>a) Permission for Chargers to Encroach Within Required Landscaping Features and Planting Strips</u></p> <p>Notwithstanding any other Section of this By-law, except Section 5.6.7 b) below, a charging device associated with an Electric Vehicle Parking Space, including any such space required by Section 5.1.4, may be located within any of the following required features and will not constitute a reduction of that feature's provision:</p> <p>i) Planting Strip; ii) Landscape Strip; iii) Landscaped Area; and, iv) Landscaped Parking Island.</p> <p><u>b) Restrictions for Chargers Encroaching Within Required Landscaping Features and Planting Strips</u></p> <p>Despite Section 5.6.7 a) above, the permission to encroach within the noted features shall not apply to any of the following:</p> <p>i) A transformer or mechanical</p>	<p>PLEASE NOTE: The definition of Parking Space, Electric Vehicle is under appeal. The electric vehicle parking requirements of Section 5 that are not subject to a City-wide appeal shall be deemed to come into force and effect at the same time the definition of Parking Space, Electric Vehicle comes into force and effect.</p>	

	<p>enclosure other than a charging device; or,</p> <p>ii) A charging device with a hard-surfaced base exceeding an area of 1.0 square metres.</p> <p><u>c) Permission for Chargers to Encroach Within any Required Yard</u></p> <p>Notwithstanding any other Section of this By-law, a charging device associated with an Electric Vehicle Parking Space may be located within any required yard, except that any such charging device may not be located:</p> <p>i) less than 0.6 metres from any lot line; or,</p> <p>ii) within a visibility triangle.</p>			
5.7 PARKING SCHEDULES				
<p>Minimum Required Parking Rate Schedule [as per section 5.7.1 of Hamilton Zoning By-law 05-200]</p>	<p><u>a) Minimum Required Parking Rate Schedule</u></p> <p>Parking spaces shall be provided in the minimum quantity specified in Column 2 hereunder for each use listed in Column 1:</p> <p>Single Detached Dwelling – 1 per unit</p> <p>Additional Dwelling Unit – 1 per unit</p>	<table><tr><td><p>1 parking spaces provided for the principal dwelling</p><p>1 parking space provided for the additional dwelling unit detached</p></td><td><p>Conforms</p></td></tr></table>	<p>1 parking spaces provided for the principal dwelling</p> <p>1 parking space provided for the additional dwelling unit detached</p>	<p>Conforms</p>
<p>1 parking spaces provided for the principal dwelling</p> <p>1 parking space provided for the additional dwelling unit detached</p>	<p>Conforms</p>			

Yours truly

Morgan Gowans

 for the Manager of Zoning and Committee of Adjustment



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS
Registered Owners(s)	Richard Charles Brooks	
Applicant(s)	William McCallum	
Agent or Solicitor	A.J. Clarke and Associates Ltd.	

1.2 Primary contact

☐ Applicant

☐ Owner

☒ Agent/Solicitor

1.3 Sign should be sent to

☐ Applicant

☐ Owner

☒ Agent/Solicitor

1.4 Request for digital copy of sign

☒ Yes*

☐ No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email

☒ Yes*

☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will be sent by email.

1.6 Payment type

☐ In person

☒ Credit over phone*

☐ Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	4869 Governors Road		
Assessment Roll Number	251830111008000		
Former Municipality	FLAMBOROUGH		
Lot		Concession	1
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	PT LT 4& 5

2.2 Are there any easements or restrictive covenants affecting the subject land?

☐ Yes ☒ No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Minor Variance to permit the development of a detached ADU. Please see cover letter for more details.

☒ Second Dwelling Unit

☐ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Please see attached cover letter.

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes

☒ No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
+/- 220 m	+/- 1495m	37 ha	+/- 30 m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Single Detached Dwelling	+/- 35m	+/- 960m	+/- 24.7 m , 75m	estimated 1850's

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Detached ADU	+/- 23.94m	+/- 970m	+/- 53.2m, 58.8m	to be determined

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Single Detached Dwelling	+/- 90.4 sq m	+/- 160 sqm	2	+/- 10.5m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Detached ADU	+/- 101 sqm	+/- 199 sqm	1	6.8m

- 4.4 Type of water supply: (check appropriate box)
- ☐ publicly owned and operated piped water system
- ☒ privately owned and operated individual well

- ☐ lake or other water body
- ☐ other means (specify)
- _____

- 4.5 Type of storm drainage: (check appropriate boxes)
- ☐ publicly owned and operated storm sewers
- ☐ swales

- ☒ ditches
- ☐ other means (specify)
- _____

Minor Variance Application				
Section 4.2	Front Yard Setback	Rear Yard Setback	Side Yard Setback	Date of Construction
Existing -Agricultural Building 1	±27.46 m	±1465m	±104 m, ±14.5m	2003
Existing -Agricultural Building 2	±93m	±1462m	±60m, ±141m	2002
Existing -Agricultural Building 3	±88m	±1429m	±105m , ±109m	Unknown - between 1916 - 2003
Existing -Agricultural Building 4	±88m	±1429m	±93m, ±120m	Unknown - between 1916 - 2003
Existing -Agricultural Building 5	±109m	±1409m	±89m, ±106m	1916
Existing -Agricultural Building 6	±113m	±1384m	±59m , ±149m	2003
Existing -Agricultural Building 7	±159m	±1359m	±75m, ±105m	1951
Existing -Agricultural Building 8	±161m	±1359m	±106m, ±128m	Unknown - between 1916 - 2003

4.6 Type of sewage disposal proposed: (check appropriate box)

- ☐ publicly owned and operated sanitary sewage
☒ system privately owned and operated individual
☐ septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- ☐ provincial highway
☐ municipal road, seasonally maintained
☒ municipal road, maintained all year
- ☐ right of way
☐ other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Detached - Additional Dwelling Unit

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
Single Detached Dwelling

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:
1999

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Agricultural Lands

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Agricultural

7.4 Length of time the existing uses of the subject property have continued:
unknown

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): Agriculture

Rural Settlement Area: N/A

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.
Please see attached cover letter. Conforms with policies 3.1.2 e)

7.6 What is the existing zoning of the subject land? Agriculture (A1)

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

☐ Yes ☒ No

If yes, please provide the file number: Agriculture (A1)

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes

☒ No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

Please see attached Cover letter, Site Plan, Architectural Drawings and Zoning Compliance Review.

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- ☒ Application Fee
- ☒ Site Sketch
- ☒ Complete Application form
- ☒ Signatures Sheet

11.4 Other Information Deemed Necessary

- ☐ Cover Letter/Planning Justification Report
- ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- ☐ Minimum Distance Separation Formulae (data sheet available upon request)
- ☐ Hydrogeological Assessment
- ☐ Septic Assessment
- ☐ Archeological Assessment
- ☐ Noise Study
- ☐ Parking Study
