

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

| | | | |
|-------------------------|------------------------------|--------------------------|-------------------------------|
| APPLICATION NO.: | A-25:156 | SUBJECT PROPERTY: | 18 Pleasant Avenue, Ancaster |
| ZONE: | R1 (Low Density Residential) | ZONING BY-LAW: | Hamilton Zoning By-law 05-200 |

APPLICANTS: Owner: Gary Van Es, Sarah Van Es, Joshua Van Es
Applicant: Gary Van Es and Sarah Van Es

The following variances are requested:

1. A maximum gross floor area of 117.2 square metres shall be permitted for and Additional Dwelling unit- Detached instead of the maximum permitted 75 square metre gross floor area.
2. A maximum Additional Dwelling unit- Detached ground floor area of 48.3 square metres shall be permitted instead of the maximum 70% of the ground floor area of the principal dwelling permitted.

PURPOSE & EFFECT: To facilitate the establishment of a new Additional Dwelling Unit – Detached.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

| | |
|---------------|--|
| DATE: | Thursday, September 4, 2025 |
| TIME: | 2:30 p.m. |
| PLACE: | Via video link or call in (see attached sheet for details) |
| | City Hall Council Chambers (71 Main St. W., Hamilton) |
| | To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment |

A-25:156

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

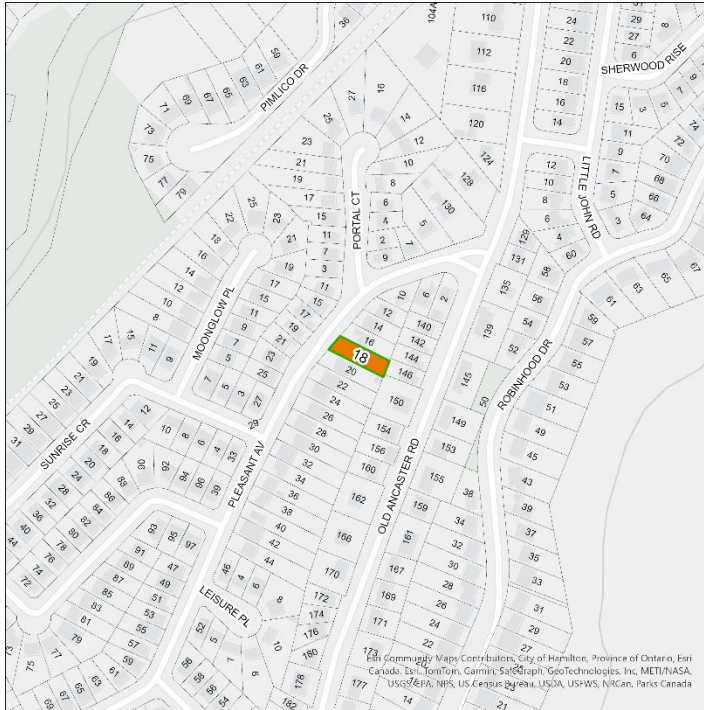
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon September 2, 2025

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon September 3, 2025

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:156, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



Subject Lands

DATED: August 18, 2025

Justin Leung,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATING PROCEDURES

1. Written Submission Ahead of the Meeting

Members of the public who wish to provide input without speaking at the Hearing may submit written comments in advance of the meeting. Comments must be received by 12:00 p.m. (noon) on the deadline date for written comment submissions listed on the Notice of Public Hearing.

How to Submit Written Comments:

By Email:

Send to: cofa@hamilton.ca

By Mail:

Committee of Adjustment
City of Hamilton
71 Main Street West, 5th Floor
Hamilton, Ontario
L8P 4Y5

All written comments received will be made available to the Committee and the public by the Tuesday prior to the Hearing.

2. Oral Submissions During the Hearing

Interested members of the public, agents, and owners may provide oral comments on Committee of Adjustment Hearing items either virtually via Webex (computer or phone) or by attending in person.

Speaking Time Limit:

All participants providing oral submissions, either in person or virtually are limited to a maximum of 5 minutes to speak. This is to ensure all parties have an equal opportunity to be heard and that the meeting runs efficiently.

3. In-Person Oral Submissions

To participate in person, attend Council Chambers on the date and time listed in the Notice of Public Hearing. You will be required to provide your name and address for the record. It is recommended you arrive at least 10 minutes prior to the scheduled start time.

4. Virtual Oral Submissions

To participate virtually, you must register by 12:00 p.m. (noon) on the virtual oral submissions registration deadline date. This is listed on the Notice of Public Hearing.

- Committee of Adjustment file number
- Hearing date
- Name and mailing address of each person wishing to speak
- Method of participation (phone or video), and, if applicable, the phone number to be used
- Each person must register separately

Registered participants will receive a Webex link one business day before the Hearing. Only those registered will be called upon to speak.

5. Presentations

All presentations are permitted at the discretion of the Committee.

Virtual Presentations:

Presenters participating virtually may be granted permission to share their screen during the Hearing. A copy of the presentation must be submitted to cofa@hamilton.ca **by 12:00 p.m. (noon) on the business day prior to the Hearing**. The submission must be one document in PDF format only.

In-Person Presentations:

Presenters attending in person may be granted permission to use the presentation screen. Presentations must be brought on a USB device and opened by the owner/applicant. A copy of the presentation must also be sent to cofa@hamilton.ca **by 12:00 p.m. (noon) on the business day prior to the Hearing**. The submission must be one document in PDF format only. Handouts are permitted only if the same content can be displayed on the presentation screen.

6. Additional Notes

- Webex (video) participation requires a compatible computer or smartphone. The necessary application must be downloaded in advance.
- It is the interested party's responsibility to ensure their device is functional and compatible prior to the Hearing.

For any questions, contact staff at cofa@hamilton.ca or call 905-546-2424 ext. 4221.

CITY OF HAMILTON ZONING BY-LAW 05-200 ZONING REGULATION - R1

| ZONE | REQUIRED | PROVIDED |
|-----------------------------------|--|---|
| LOT WIDTH (# 6.0m) | 12.0 m (min) | 15.72 m |
| LOT AREA | 360.0 sq.m. (min) | 761.3 sq.m. |
| FRONT YARD | 4.0 m (min) | 12.52 m |
| REAR YARD | 7.5 m (min) | 30.42 m |
| SIDE YARD | 1.2 m (min) (EAST) 1.2 m (min) (WEST) | 3.48 m 1.91 m |
| BUILDING AREA | 48.3 sq.m. (max) | 69.1 sq.m. (EXISTING DWELLING) 48.3 sq.m. (PROPOSED ADU) 117.4 sq.m. (TOTAL AREA) |
| LOT COVERAGE | 45.0% (max) | 14.8% |
| BUILDING HEIGHT | 10.5 m (max) | EXISTING |
| GROSS FLOOR AREA | | 112.7 sq.m. |
| LANDSCAPE AREA | 30.0% (min) | ±56.8% |
| LANDSCAPE AREA - FRONT YARD | 50.0% (min) | ±57.9% |
| ADDITIONAL DWELLING UNIT-DETACHED | | |
| REAR YARD | 1.2 m (min) | 8.25 m |
| SIDE YARD | 1.2 m (min) (EAST) 1.2 m (min) (WEST) | 2.52 m 4.81 m |
| MAIN DWELLING | 4.0 m (min) | 18.09 m |
| BUILDING HEIGHT | 6.0 m (max) | 8.00 m |
| GROSS FLOOR AREA | 50.0 sq.m. (max) | ± 117.2 sq.m. |

PROPOSED WALKOUT AND ADDITIONAL DWELLING UNIT
* VARIANCE MAY BE REQUIRED

PERSPECTIVE VIEW

PLAN

JOINT DETAIL

SECTION A-A

NOTE:
A All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING Nov 2015 Rev 12

LIGHT-DUTY SILT FENCE BARRIER

OPSD 219.110

SITE PLAN GUIDELINES

October

TEMPORARY PROTECTION FENCING PLAN VIEW, NTS

TEMPORARY TREE PROTECTION FENCING

October 2003

SITE PLAN GUIDELINES

October 2003

SITE PLAN SCALE 1:200

LOT 12 PIN 17453-0370

LOT 11 PIN 17453-0371

LOT 10 PIN 17453-0372

LOT 1 PIN 17453-0381

PART OF LOT 50 CONCESSION 1 TOWNSHIP OF ANCASTER

REGISTERED

1:200

GRADING PLAN SCALE 1:200

LOT 12 PIN 17453-0370

LOT 11 PIN 17453-0371

LOT 10 PIN 17453-0372

LOT 1 PIN 17453-0381

PART OF LOT 50 CONCESSION 1 TOWNSHIP OF ANCASTER

REGISTERED

1:200

Tree Protection Zone Chart

| Trunk Diameter | Protection Distance (minimum required) |
|----------------|--|
| < 10 cm | 1.8 m |
| 11 - 40 cm | 2.4 m |
| 41 - 50 cm | 3.0 m |
| 51 - 60 cm | 3.6 m |
| 61 - 70 cm | 4.2 m |
| 71 - 80 cm | 4.8 m |
| 81 - 90 cm | 5.4 m |
| 91 - 100 cm | 6.0 m |

AVERAGE GRADE

| POINT No. | BEGIN ELEV (±1) | END ELEV (±2) | LENGTH (L) | FACTORED LENGTH (L x W x L) |
|---------------|-----------------|---------------|----------------------------------|-----------------------------|
| A - B | 112.85 | 112.85 | 7.82 | 893.77 |
| B - C | 112.85 | 113.05 | 8.10 | 899.00 |
| C - D | 113.05 | 113.05 | 7.82 | 895.36 |
| D - A | 113.05 | 112.85 | 8.10 | 899.00 |
| TOTAL | | | 28.04 | 3167.13 |
| AVERAGE GRADE | | | TOTAL FACTOR LENGTH/TOTAL LENGTH | 112.85 |

TYPICAL SWALE CROSS-SECTION

0.90m Wth.
0.15m Hth.
SLOPED SIDS & BOTTOM ON 10mm FIPSCM

18 PLEASANT AVENUE

SITE & GRADING PLAN FOR BUILDING PERMIT

KEYPLAN

GEOGRAPHIC LOCATION NOTE

LOT 11

REGISTERED PLAN 1194

CITY OF HAMILTON

SCALE 1 : 200

MacKAY, MacKAY & PETERS LIMITED - ONTARIO LAND SURVEYORS

© 2025

METRIC DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048 **COLOUR** THE ORIGINAL SIGNED PRINT OF THIS SITE PLAN CONTAINS COLOUR

BENCHMARK NOTE

BENCHMARK No. 07720020092
ELEVATION = 112.877 METRES (CGVD28/78 ADJUSTMENT)

LOCATED IN DUNDAS AT THE SOUTHEAST CORNER OF MERCER STREET & JOYA PLACE, 7 METRES SOUTH OF CENTRELINE OF MERCER STREET AND 9 METRES EAST OF CENTRELINE OF JOYA PLACE, 0.5 METRES SOUTHEAST OF CURB AND 10 METRES FROM THE MOST NORTHWESTERLY CORNER OF HOUSE No. 18 MERCER STREET

LEGEND

FFE DENOTES FINISHED FLOOR ELEVATION
TFW DENOTES TOP OF FOUNDATION WALL
TBS DENOTES TOP OF BASEMENT SLAB
USF DENOTES UNDERSIDE OF FOOTING
S DENOTES SUMP PUMP
B DENOTES BELL PEDESTAL
DS DENOTES DOOR SILL
HP DENOTES HIGH POINT
FP DENOTES FLAG POLE
T.B.R. DENOTES TO BE REMOVED
DOWNPOUT DENOTES DIRECTION OF DRAINAGE
EXISTING ELEVATIONS DENOTES EXISTING ELEVATIONS
PROPOSED ELEVATIONS DENOTES PROPOSED ELEVATIONS
PROPERTY IDENTIFICATION NUMBER DENOTES DECIDUOUS TREE SCALED TO CANOPY, TRUNK SIZE SHOWN IN METRES

MH DENOTES MANHOLE
CB DENOTES CATCH BASIN
FH DENOTES FIRE HYDRANT
ULS DENOTES UTILITY LIGHT STANDARD
UCP DENOTES UTILITY CABLE PEDESTAL
BP DENOTES BELL PEDESTAL
CRW DENOTES CONCRETE RETAINING WALL
TRW DENOTES FLAG POLE
ADU DENOTES ADDITIONAL DWELLING UNIT
DENOTES TREE PROTECTION ZONE
DENOTES FIRE DEPARTMENT ACCESS
42.8 m LONG

NOTES

- PROPOSED TIES SHOWN HEREON ARE TO FOUNDATION ONLY
- BUILDING DIMENSIONS WERE TAKEN FROM PLANS SUPPLIED BY THE CLIENT
- ELEVATIONS ARE GEODETIC AND ARE REFERRED TO THE BENCHMARK NOTED ABOVE
- LOT GRADING SHALL MATCH WITH THE EXISTING DRAINAGE PATTERNS
- BUILDER TO VERIFY ALL EXISTING GRADES PRIOR TO CONSTRUCTION INCLUDING ROAD AND LOT LINE GRADES
- SUMP PUMP AND DOWNSPOUTS TO DRAIN TO PERMEABLE SURFACE VIA SPLASH PADS
- ALL UNDERGROUND SERVICES MUST BE LOCATED BY CONTRACTOR PRIOR TO ANY CONSTRUCTION
- CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK
- BOUNDARY DIMENSIONS ARE AS SHOWN ON SURVEYOR'S REAL PROPERTY REPORT BY MMP LIMITED DATED MAY 9, 2025
- PROPOSED BUILDING IS POSITIONED BY CALCULATION, NOT BY AN ACTUAL SURVEY
- THIS PROPOSED PLAN IS PRELIMINARY UNTIL THE APPROPRIATE BUILDING DEPARTMENT'S SIGNED APPROVAL HAS BEEN OBTAINED
- ANY AMENDMENT OR ALTERATION OF THIS PLAN MUST BE REPORTED TO MMP LIMITED PRIOR TO LAYOUT OF BUILDING IN THE FIELD
- UTILITIES AND SERVICES SHOWN ON THIS SKETCH ARE APPROXIMATE AND MUST BE VERIFIED BEFORE CONSTRUCTION
- ALL UTILITIES TO BE COORDINATED ON SITE DURING CONSTRUCTION. THE INSTALLATION OF UTILITIES SHALL NOT DISRUPT TREE PROTECTION ZONES. THE BUILDER SHALL COORDINATE INSTALLATION WITH INDIVIDUAL UTILITY PROVIDERS ACCORDINGLY
- NO NEW SERVICE CONNECTIONS ARE PROPOSED

CAUTION

- THIS IS NOT ORIGINAL COPY UNLESS EMBOSSED
- THIS PRODUCT SHALL NOT BE USED EXCEPT FOR THE PURPOSES INDICATED IN TITLE BLOCK
- THIS PRODUCT IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED FOR TRANSACTION OR MORTGAGE PURPOSES
- THIS PRODUCT IS PROTECTED BY COPYRIGHT INCLUDING ALL RELATED DIGITAL PRODUCTS

CERTIFICATION NOTE

BOUNDARY DIMENSIONS SHOWN HEREON ARE DERIVED FROM LAND REGISTRY OFFICE RECORDS AND SURVEY RECORDS OF MMP LIMITED

WE HAVE REVIEWED THE PLANS FOR CONSTRUCTION OF A WALKOUT & ADU LOCATED AT 18 PLEASANT AVENUE AND CERTIFY THAT THE GRADING SHOWN HEREON IS COMPATIBLE WITH THE ADJACENT PROPERTIES AND EXISTING MUNICIPAL SERVICES

PROPOSED BUILDING SETBACKS AS SHOWN

PROPOSED LOT COVERAGE AS SHOWN

PROPOSED BUILDING SITE STATISTICS AS SHOWN

JULY 9, 2025

DATE

FOR: MACKAY, MACKAY & PETERS LIMITED

ASSOCIATION OF ONTARIO LAND SURVEYORS

AIASAR BHERI

2020

MMP

MacKay, MacKay & Peters Limited
LAND SURVEYORS & MAPPERS
SINCE 1906

3380 South Service Road
Unit 101
Burlington, ON
L7N 3J5
(905) 639-1375
halton@mmplimited.com
mmplimited.com

REVISIONS

| No. | DATE | REVISIONS |
|-----|---------------|------------------------------|
| 3 | JUNE 19, 2025 | REVISED AS PER CITY COMMENTS |
| 2 | MAY 22, 2025 | REVISED AS PER CITY COMMENTS |
| 1 | MAY 13, 2025 | SITE PLAN COMPLETED |

DRAWN BY: A.S. **CHECKED BY:** A.B. **PROJECT No.** 25-054-SP **DWG. No.** 1

THESE DOCUMENTS ARE NOT TO BE SCALED. THE DESIGN AND DOCUMENTS REMAIN THE PROPERTY OF "THE BUILDING PERMIT GUY" AND ARE PROTECTED BY LAW. THEY MAY NOT BE ALTERED, ISSUED, OR REPRODUCED IN ANY WAY WITHOUT THE WRITTEN CONSENT OF THE DESIGNER AND "TBPg" ALL DOCUMENTS ARE TO BE USED FOR THE CONSTRUCTION PROPOSED. ONLY SIGNED SEALED AND STAMPED DOCUMENTS ARE TO BE USED FOR THE CONSTRUCTION PROPOSED. ANY DEVIATIONS FROM THESE PLANS AND DETAILS WILL REQUIRE REVISED DRAWINGS AND CLEARANCE BY THE BUILDING DEPARTMENT. CONTRACTOR TO SITE VERIFY ANY AND ALL DETAILS AND DIMENSIONS AND REPORT ANY AND ALL DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING WITH THAT RELATED PORTION OF THE WORK.

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND FOR MAKING ARRANGEMENTS FOR ALL REQUIRED INSPECTIONS. ALL CONSTRUCTION & MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE. ANY CHANGES TO DESIGN OR USE OF OTHER BUILDING MATERIALS SHALL BE APPROVED BY THE DESIGNER AND/OR APPROVED BY THE ENGINEER IF REQUIRED. IF DURING THE COURSE OF THE WORK UNKNOWN CONDITIONS ARE DISCOVERED WHICH WOULD NOT BE REASONABLY ASSUMES TO HAVE BEEN PRESENT OR ANTICIPATED, THE CONTRACTOR SHALL NOTIFY THE DESIGNER.

EXCAVATION AND BACKFILL

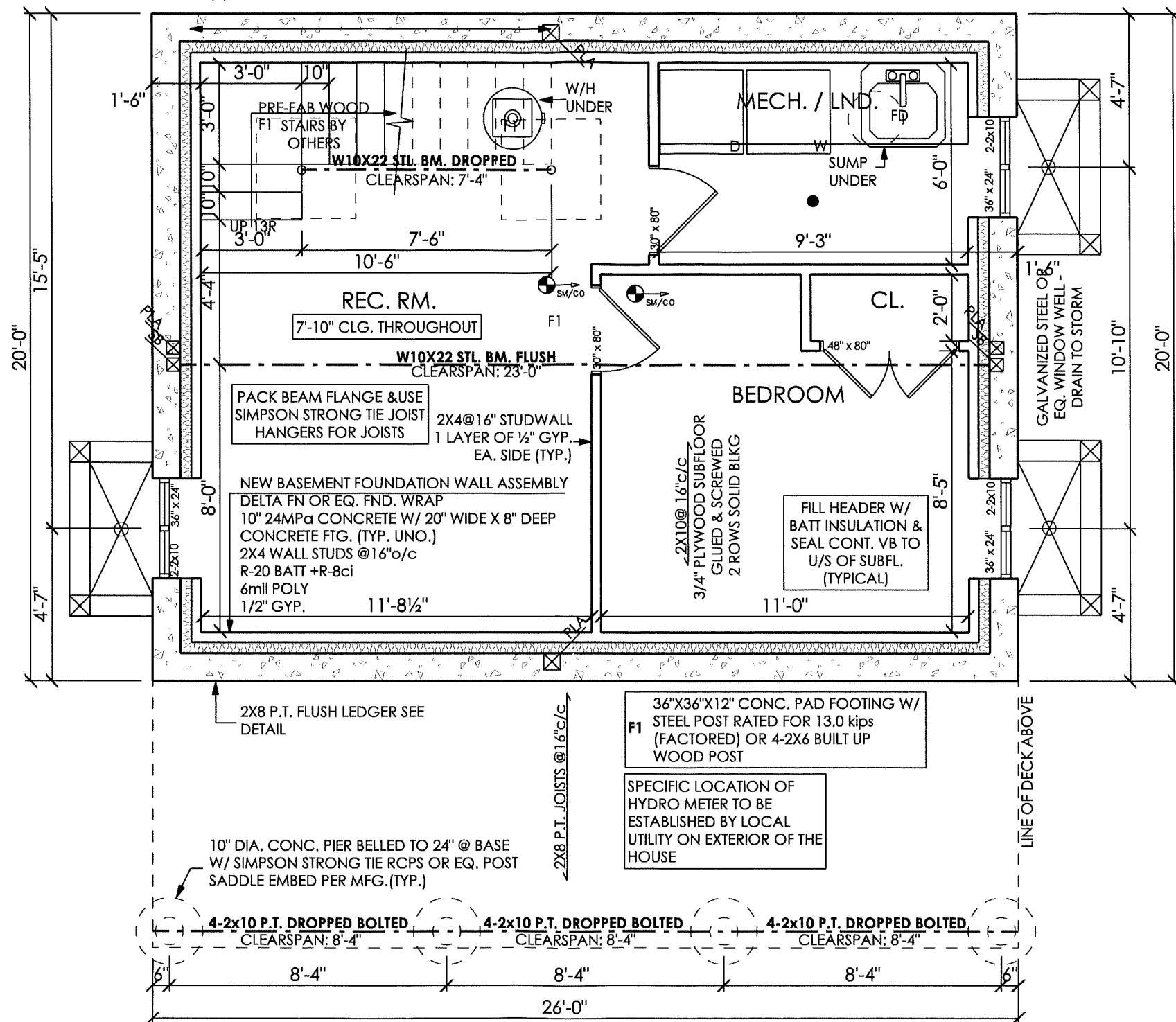
- EXCAVATION SHALL BE UNDERTAKEN IN SUCH A MANNER SO AS TO PREVENT DAMAGE TO EXISTING STRUCTURES, ADJACENT PROPERTY AND UTILITIES.
- THE TOPSOIL AND ANY ORGANIC MATTER IN UNEXCAVATED AREAS UNDER A BUILDING SHALL BE REMOVED. THE BOTTOM OF EXCAVATIONS FOR FOUNDATIONS SHALL BE FREE OF ALL ORGANIC MATERIAL.
- IF TERMITES ARE KNOWN TO EXIST, ALL STUMPS, ROOTS AND WOOD DEBRIS SHALL BE REMOVED TO A MINIMUM OF DEPTH OF 11 3/4" IN EXCAVATED AREAS UNDER A BUILDING, AND THE CLEARANCE BETWEEN UNTREATED STRUCTURAL WOOD ELEMENTS AND THE GROUND SHALL BE NO LESS THAN 18"
- BACKFILL WITHIN 24" OF THE FOUNDATION WALLS SHALL BE FREE OF DEBRIS AND BOULDERS OVER 10" IN DIAMETER.

- ALL FOOTINGS TO BEAR ON NATIVE UNDISTURBED SOIL AND BE A MIN. OF 4'-0" BELOW FINISHED GRADE.
- SOIL BEARING CAPACITY TO BE A MIN. OF 3000 PSF

- MINIMUM 20"X6" CONTINUOUS KEYED POURED CONCRETE FOOTING, UNLESS NOTED OTHERWISE.
- MINIMUM 4'-0" BELOW FINISHED GRADE IN ACCORDANCE WITH O.B.C. TABLE 9.12.2.2 MINIMUM BEARING CAPACITY OF 1570 PSF
- THE PROJECTION OF AN UNREINFORCED FOOTING BEYOND THE WALL SUPPORTED SHALL BE GREATER OR EQUAL THAN ITS THICKNESS.

- TO BE POURED CONCRETE OR UNIT MASONRY (REFER TO DRAWINGS FOR TYPE AND THICKNESS)
- DAMPPROOFING SHALL BE A HEAVY COAT OF BITUMINOUS MATERIAL.
- FOUNDATION WALL TO EXTEND MINIMUM 6" ABOVE FINISHED GRADE.
- A DRAINAGE LAYER IS REQUIRED ON THE OUTSIDE OF A FOUNDATION WALL WHERE THE INTERIOR INSULATION EXTENDS MORE THAN 2'-11" BELOW EXTERIOR GRADE. A DRAINAGE LAYER SHALL CONSIST OF:
 1. MIN. 3/4" MINERAL FIBER INSULATION WITH MIN. DENSITY OF 3.6 LB/FT² OR
 2. MIN. 4" OF FREE DRAINAGE GRANULAR MATERIAL OR
 3. AN APPROVED SYSTEM WHICH PROVIDES EQUIVALENT PERFORMANCE.
- FOUNDATION WALLS SHALL BE BRACED OR HAVE THE FLOOR JOISTS INSTALLED BEFORE BACKFILLING.
- SILL PLATES SHALL BE PROVIDED WHERE FLOORS/WALLS DIRECTLY BEAR ON THE FOUNDATION WALLS.
- SILL PLATES SHALL BE CONTINUOUS 2X4 OR 2X6 WOOD (REFER TO DRAWINGS) MOUNTED ON A CONTINUOUS SILL GASKET C/W 1/2" Ø ANCHOR BOLTS, 12" LONG, EMBEDDED A MIN. OF 4" INTO THE CONCRETE @ 7'-10" O/C AND BE DESIGNED TO PREVENT TIGHTENING WITHOUT WITHDRAWING THEM FROM THE FOUNDATION

LATERALLY UNSUPPORTED FND. WALL @ STAIRS
15M BARS @16" c/c EA. WAY W/ 1/4" CLEAR COVER FROM INSIDE OF WALL.
EXTEND BARS MIN. 32" PAST STAIR OPENING. PROVIDE 24"X24" 10M HOOKED
DOWELS c/c VERTICALLY LAPPED & TIED TO HORIZONTAL BARS @ THE CORNER.
PROVIDE (3) 1/2" dia. OBC ANCHOR BOLTS @16" c/c JUST PAST THE STAIR OPENING



SCALE: 1/4" = 1'-0"

| |
|---------------------|
| GROSS FLOOR AREA |
| BASEMENT: 520sf |
| MAIN FLOOR: 488.5sf |
| SECOND FLOOR: 253f |

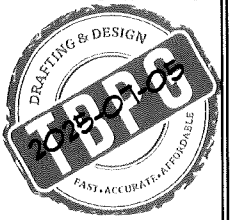
· BASEMENT SLABS TO BE 3" THICK 20 MPa POURED CONCRETE WITH DAMPPROOFING (REFER TO SECTIONS) ON 6" COURSE CLEAN GRANULAR MATERIAL.
· ALL FILL OTHER THAN COURSE CLEAN MATERIAL PLACED BENEATH CONCRETE SLABS SHALL BE COMPACTED TO PROVIDE UNIFORM SUPPORT.

ALL ELECTRICAL PANELS &
COMPONENTS TO COMPLY WITH
OBC, 9.34. &
SPECIFIC REQUIREMENTS OF THE
LOCAL UTILITY SUPPLIER

ALL WOOD FRAMING MEMBERS THAT ARE NOT PRESSURE TREATED & WHICH ARE SUPPORTED ON CONC. IN CONTACT WITH GROUND OR FILL SHALL BE SEPARATED FROM THE CONC. BY MIN. 5mil POLYETHYLENE OR TYPE S ROLL ROOFING AS PER OBC. 9.23.2.3.(1) & (2)

FOUNDATION DRAINAGE
LAYER TO COMPLY WITH
ONT. REG. 350/06 AND
SUBSECTION 9.14.2. AND
9.14.4.

TYPICAL BASEMENT
FLOOR :
-3" CONCRETE SLAB
c/w 6mil
POLY VAPOR BARRIER
-5" GRANULAR FILL



GPBT

DRAFTING & DESIGN

220 BROAD STREET EAST
DUNNVILLE, ON. N7A 1G2

289.308.6442
INFO@THEBIII.DINGPERMITGUY.CA

THE UNDERSIGNED HAS THE REVIEWED AND TAKES RESPONSIBILITY FOR THE DESIGN, AND HAS THE QUALIFICATIONS AND MEETS THE REQUIREMENTS SET OUT IN THE ONTARIO BUILDING CODE TO ACT AS A DESIGNER.

QUALIFICATION INFORMATION REQUIRED UNLESS THE DESIGN IS EXEMPT UNDER DIV. C. 3.2.5.1. OF THE 2012 ONTARIO BUILDING CODE

1773

1773

362

VANES

DETACHED ADU

18 PLEASANT AVENUE, DUNDAS, ON.

DRAWN BY:
J. BARNHART

A-1

GENERAL NOTES CONT...

DAMPPROOFING AND DRAINAGE

- IN NORMAL SOIL CONDITIONS, THE EXTERIOR SURFACES OF FOUNDATION WALLS ENCLOSING BASEMENTS AND CRAWLSPACES SHALL BE DAMPPROOFED. WHERE HYDROSTATIC PRESSURE OCCURS, A WATERPROOFING SYSTEM IS REQUIRED.
- MASONRY FOUNDATION WALLS SHALL BE PARGED WITH 1/4" OF MORTAR COVERED OVER THE FOOTING PRIOR TO DAMPPROOFING.
- 4" Ø PERFORATED WEEPING TILE WRAPPED WITH FILTER SOCK IN ACCORDANCE WITH O.B.C. 9.14.3. FOUNDATION DRAINS SHALL BE LAID ON LEVEL, UNDISTURBED GROUND ADJACENT TO THE FOOTINGS AT OR BELOW THE TOP OF THE BASEMENT SLAB OR CRAWLSPACE FLOOR AND SHALL BE COVERED WITH 6" OF CRUSHED STONE
- FOUNDATION DRAINS SHALL FRAIN TO A STORM SEWER, DRAINAGE DITCH, DRY WELL OR SUMP.
- WINDOW WELLS SHALL BE DRAINED TO THE FOOTING
- DOWNSPOUTS NOT DIRECTLY CONNECTED TO A STORM SEWER SHALL HAVE EXTENSIONS TO CARRY WATER AWAY FROM THE BUILDING AND PROVISIONS SHALL BE MADE TO PREVENT SOIL EROSION.
- CONCRETE SLABS IN ATTACHED GARAGES SHALL BE SLOPED TO DRAN TO EXTERIOR.
- THE BUILDING SITE SHALL BE GRADED SO THAT SURGACE, SUMP AND ROOF DRAINAGE WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

SOIL GAS CONTROL

- WHERE METHANE OR RADON GASES ARE KNOWN TO BE PRESENT, A SOIL GAS BARRIER SHALL BE INSTALLED AT WALLS, FLOORS AND ROOFS IN CONCTACT WITH THE GROUND ACCORDING TO SUPPLEMENTARY STANDARDS SB-9.

INSULATION/VENTILATION & WEATHERPROOFING

- INSULATION SHALL BE PROTECTED WITH GYPSUM BOARD OR AN EQUIVALENT INTERIOR FINISH, EXCEPT FOR UNFINISHED BASEMENTS WHERE 6mil POLY IS SUFFICIENT FOR FIBERGLASS TYPE INSULATIONS.
- DUCTS PASSING THROUGH UNHEATED SPACE SHALL BE MADE AIRTIGHT WITH TAPE AND SEALANT.
- CAULKING SHALL BE PROVIDED FOR ALL EXTERIOR DOORS AND ACCESS HATCHES TO THE EXTERIOR, EXCEPT DOORS FROM A GARAGE TO THE EXTERIOR.
- WEATHER STRIPPING SHALL BE PROVIDED ON ALL DOORS AND ACCESS HATCHES TO THE EXTERIOR, EXCEPT DOORS FROM A GARAGE TO THE EXTERIOR.
- EXTERIOR WALLS, CEILINGS AND FLOORS SHALL BE CONSTRUCTED SO AS TO PROVIDE A CONTINUOUS BARRIER TO THE PASSAGE OF WATER VAPOUR FROM THE INTERIOR AND TO THE LEAKAGE OF AIR FROM THE EXTERIOR.

NATURAL VENTILATION

- EVERY ROOF SPACE ABOVE AN INSULATED CEILING SHALL BE VENTILATED WITH UNOBSTRUCTED OPENINGS EQUAL TO AND/OR NOT LESS THAN 1/300 OF INSULATED AREA.
- INSULATED ROOF SPACES NOT INCORPORATING AN ATTIC SHALL BE VENTILATED WITH NOT LESS THAN 1/250 OF UNSULATED AREA.
- ROOF VENTS SHALL BE UNIFORMLY DISTRIBUTED AND DESIGNED TO PREVENT THE ENTRY OF RAIN, SNOW OR INSECTS.
- UNHEATED CRAWL SPACES SHALL BE PROVIDED WITH 1.1 ft2 OF VENTILATION FOR EACH 538 ft2

MECHANICAL VENTILATION

- PROVIDE MECHANICAL VENTILATION SYSTEMS PER O.B.C. 9.32.
- EXHAUST FANS TO CONFORM TO PART 6 O.B.C.
- SUPPLEMENTAL EXHAUST SHALL BE INSTALLED SO THAT THE TOTAL CAPACITY OF ALL KITCHEN, BATHROOM AND OTHER EXHAUSTS, LESS THE PRINCIPAL EXHAUST, IS NOT LESS THAN THE TOTAL REQUIRED CAPACITY.
- ALL EXHAUST FANS SHALL BE DIRECTLY VENTED TO THE OUTDOORS.
- A HEAT RECOVERY VENTILATOR MAY BE EMPLOYED IN LIEU OF EXHAUST TO PROVIDE VENTILATION. AN HRV IS REQUIRED IF ANY SOLID FUEL BURNING APPLIANCES ARE INSTALLED.
- SUPPLEMENTARY AIR INTAKES SHALL BE LOCATED SO AS TO AVOID CONTIMINATION FROM EXHAUST OUTLETS.

STRUCTURAL

TRUSSES AND LVL

- SUPPLIERS OF ALL LVL MEMBERS TO PROVIDE ENGINEERED SHOP DRAWINGS.

POINT LOADS

- POINT LOADS IN WALLS DUE TO GIRDER TRUSSES OR BEAM ENDS TO HAVE TRIPLE STUDS WHICH ARE TO BE CARRIED DOWN TO THE FOUNDATION.

STUD WALL REINFORCEMENT

- PROVIDE STUD WALL REINFORCEMENT IN MAIN BATHROOM CONFORMING TO O.B.C. 9.5.2.3.

BEAMS & COLUMNS

- ALL LUMBER AND WOOD PRODUCTS SHALL CONFORM TO 9.3.2.
- BUILT UP WOOD COLUMNS SHALL CONFORM WITH 9.17.4.2.(2). ALL MEMBERS SHALL BE SO FRAMED, ANCHORED, FASTENED, TIED AND BRACED SO AS TO PROVIDE THE NECESSARY STRENGTH AND RIGIDITY.
- COLUMNS SHALL BE SECURELY FASTENED TO BEAMS TO PREVENT LATERAL MOVEMENT. ANCHORAGE OF EXTERIOR COLUMNS AND POSTS SHALL CONFORM WITH O.B.C. 9.23.6.2
- PROVIDE ADEQUATE LEVEL BEARING FOR ALL BEAMS AT THE END SUPPORTS PER O.B.C. 9.23.8.1.

STAIRS

- ALL INTERIOR AND EXTERIOR STAIRS TO CONFORM WITH O.B.C. 9.8.2.

- MIN STAIR WIDTH TO BE 2'-10" PER O.B.C. 9.8.2.1.(2).
- ALL STAIRS TO BE UNIFORM IN RISE AND RUN
- MIN. RISE = 4 7/8" MAX RISE = 7 7/8"
- MIN. RUN = 10" MAX RUN = 14"

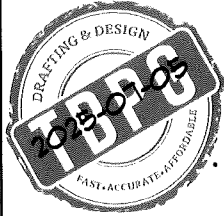
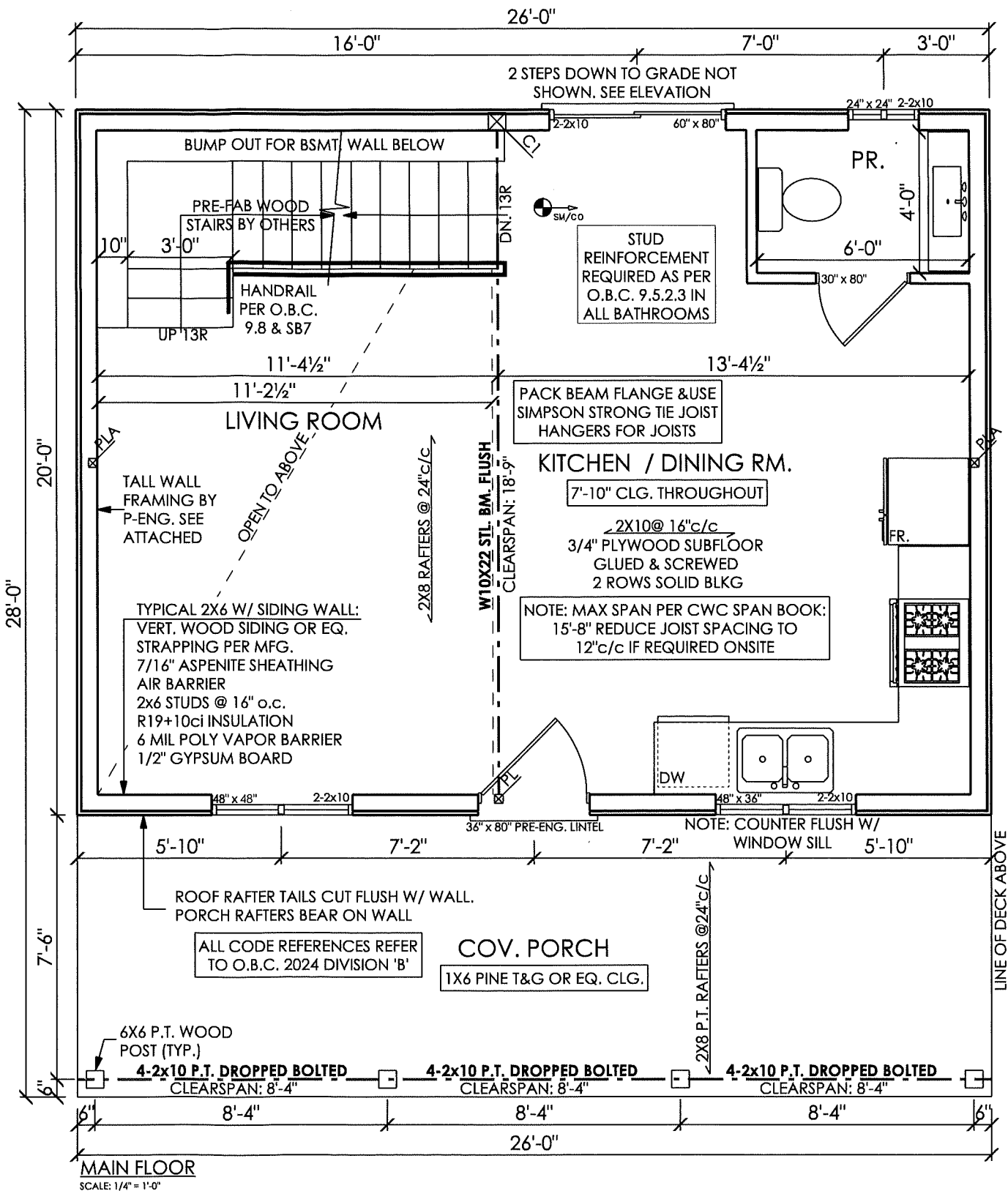
CONCRETE

- ALL CONCRETE TO HAVE ULTIMATE COMPRESSIVE STRENGTH @ 28 DAYS OF:

- 20 MPA FOR FOOTINGS AND WALLS
- 25 MPA FOR BASEMENT FLOORS
- 32 MPA FOR GARAGE FLOORS AND ALL EXTERIOR CONCRETE WITH 5%-8% AIR ENTRAINMENT.

GUARDS

- ALL HANDRAILS AND GUARDS TO BE INSTALLED PER O.B.C. SB-1 HANDRAILS PER O.B.C. 9.8.7.
- HANDRAILS SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38" IN HEIGHT.
- IF STAIRS ARE OPEN ON BOTH SIDES OF STAIRS, GUARDS ARE REQUIRED ON ONE SIDE. IF STAIR WIDTH EXCEEDS 43" RAILINGS ARE REQUIRED ON BOTH SIDES IN ADDITION TO GUARDS.
- STAIRS WITH WALLS ON BOTH SIDES REQUIRE A HANDRAIL ON ONE SIDE, IF THE STAIR WIDTH EXCEEDS 3'-7" RAILINGS ARE REQUIRED ON BOTH SIDES OF THE STAIRS.
- EXTERIOR GUARDS AS PER O.B.C. 9.8.8.1.
- MIN. RAILING HEIGHT TO BE 36" IF DECK HEIGHT IS LESS THAN 5'-11" ABOVE GRADE.
- MIN. RAILING HEIGHT TO BE 42" IF DECK HEIGHT IS MORE THAN 5'-11" ABOVE GRADE.
- NO GUARD REQUIRED FOR DECKS LESS THAN 24" ABOVE GRADE.



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DRAFTING & DESIGN

220 BROAD STREET EAST
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JOHN BARNHART
41773
103362
BCIN

VAN ES

DETACHED ADU

18 PLEASANT AVENUE, DUNDAS, ON.

DRAWN BY:
J. BARNHART

A-2

THE BUILDING PERMIT GUY DRAFTING & DESIGN

GENERAL NOTES CONT...

DOORS & WINDOWS

- EVERY FLOOR LEVEL CONTAINING A BEDROOM AND NOT SERVED BY AN EXTERIOR DOOR SHALL CONTAIN AT LEAST 1 WINDOW HAVING AN UNOBSTRUCTED OPEN AREA OF 3.8 f12 WITH NO DIMENSION LESS THN 15" AND IS OPENABLE WITHOUT THE USE OF TOOLS OR SPECIALIZED KNOWLEDGE.
- EXTERIOR HOUSE DOORS AND WINDOWS WITHIN 6'-7" FROM GRADE SHALL BE CONSTRUCTED TO RESIST ENTRY. DOORS SHALL HAVE A DEADBOLT LOCK.
- THE PRINCIPAL ENTRY DOOR SHALL HAVE A DOOR VIEWER, TRANSPARENT GLAZING OR A SIDELIGHT.

SMOKE ALARMS & DETECTORS

- SHALL BE INSTALLED ON ANY STOREY OF A DWELLING UNIT THAT CONTAINS SLEEPING ROOMS PER O.B.C. 9.10.19.3.
- IN EACH SLEEPING ROOM.
- IN A LOCATION BETWEEN THE SLEEPING ROOMS AND THE REMAINDER OF THE STOREY, AND IF THE SLEEPING ROOMS ARE SERVED BY A HALLWAY, THE SMOKE ALARM SHALL BE LOCATED IN THE HALLWAY.
- ALL SMOKE ALARMS ARE TO BE INTERCONNECTED AND PROVIDED WITH 7 DAYS OF BATTERY BACKUP PER O.B.C. 9.10.19.
- CO DETECTOR SHALL BE INSTALLED AS PER O.B.C. 9.33.4.2. WHICH STATES: UNITS SHALL BE INSTALLED ON OR NEAR THE CEILING ON EACH FLOOR AND BASEMENT LEVEL 2'-11" OR MORE ABOVE AN ADJACENT LEVEL.

BASEMENT WINDOWS

- PROVIDE WEEPING TILE AT ALL WINDOWS PER O.B.C.
- ALL BASEMENT BEDROOMS SHALL HAVE A WINDOW CONFORMING TO O.B.C. 9.9.10.1
- IS OPENABLE WITHOUT THE USE OF TOOLS OR SPECIALIZED KNOWLEDGE
- PROVIDES AND INDIVIDUAL, UNOBSTRUCTED OPEN PORTION HAVING A MIN. AREA OF 3.78 f12 WITH NO DIMENSION LESS THAN 15"
- WINDOW SILL HEIGHT TO BE A MAX. 39" ABOVE THE FLOOR
- WINDOW WELLS MAY BE REQUIRED DUE TO FINAL GRADE. CONFIRM WITH BUILDER. WINDOW WELLS MUST CONFORM WITH O.B.C. 9.14.6.3.
- PROVIDE WEEPING TILE IN ALL WINDOW WELLS AND FILL WITH A MIN. OF 6" CRUSHED CLEAR STONE.

ELECTRICAL

- ELECTRICAL OUTLET BOX SHALL BE INSTALLED IN THE GARAGE OR CARPORT OR ADJACENT TO THE DRIVEWAY AND TO BE PROVIDED WITH A MIN:
- 200 AMP PANEL BOARD
- CONDUIT NOT LESS THAN 27mm TRADE SIZE AND IS EQUIPPED WITH A MEANS TO ALLOW CABLES TO BE PULLED INTO THE CONDUIT, AND
- A SQUARE 4 11/16" TRADE SIZE ELECTRICAL OUTLET BOX.

LIGHTING / ELECTRICAL

LIGHTING

- CONFIRM ALL PLACEMENT OF OUTLETS, SWITCHES AND LIGHT FIXTURES WITH HOME OWNER PRIOR TO INSTALLATION.
- PROVIDE AN EXTERIOR LIGHT AT ALL EXITS.
- AN EXTERIOR LIGHT CONTROLLED BY AN INTERIOR SWITCH IS REQUIRED AT EVERY ENTRANCE AS PER O.B.C. 9.34.2.1.
- A LIGHT CONTROLLED BY A SWITCH IS REQUIRED IN EVERY KITCHEN, BEDROOM, LIVING ROOM, UTILITY ROOM, LAUNDRY ROOM, DINING ROOM, BATHROOM, VESTIBULE, HALLWAY, GARAGE AND CARPORT. A SWITCHED RECPTICLE MAY BE PROVIDED INSTEAD OF A LIGHT IN BEDROOMS AND LIVING ROOMS.
- STAIRS SHALL BE LIGHTED. AND EXCEPT WHERE SERVING AN UNFINISHED BASEMENT SHALL BE CONTROLLED BY A 3 WAY SWITCH AT THE HEAD AND FOOT OF THE STAIRS.
- BASEMENTS REQUIRE A LIGHT FOR EACH 323 f12, CONTROLLED BY A SWITCH AT THE HEAD OF THE STAIRS.
- EVERY STAIR WAY GREATER THAN 4 RISERS IN A DWELLING UNIT SHALL BE LIGHTED AND CONTROLLED WITH A 3 WAY SWITCH PER O.B.C. 9.34.2.3.

PLUMBING NOTES

- ALL PLUMBING TO BE COMPLETED AS PER O.B.C. 9.31. AND PART 7.
- ALL THERMOSTATICALLY CONTROLLED MIXING VALVES SHALL BE PROVIDED FOR ALL FAUCETS OR WATER HEATER SOURCE.
- PRESSURE BALANCED OR THERMOSTATICALLY CONTROLLED MIXING VALVES SHALL BE PROVIDED FOR ALL SHOWER UNITS PER O.B.C. 7.6.5.2.
- A FLOOR DRAIN SHALL BE INSTALLED IN THE BASEMENT, AND CONNECTED TO TEH SANITARY SEWER WHERE GRAVITY DRAINAGE IS POSSIBLE. IN OTHER CASES IT SHALL CONNECT TO A STORM DRAINAGE SYSTEM, DITCH OR DRY WELL.

DRAIN WATER HEAT RECOVERY UNITS

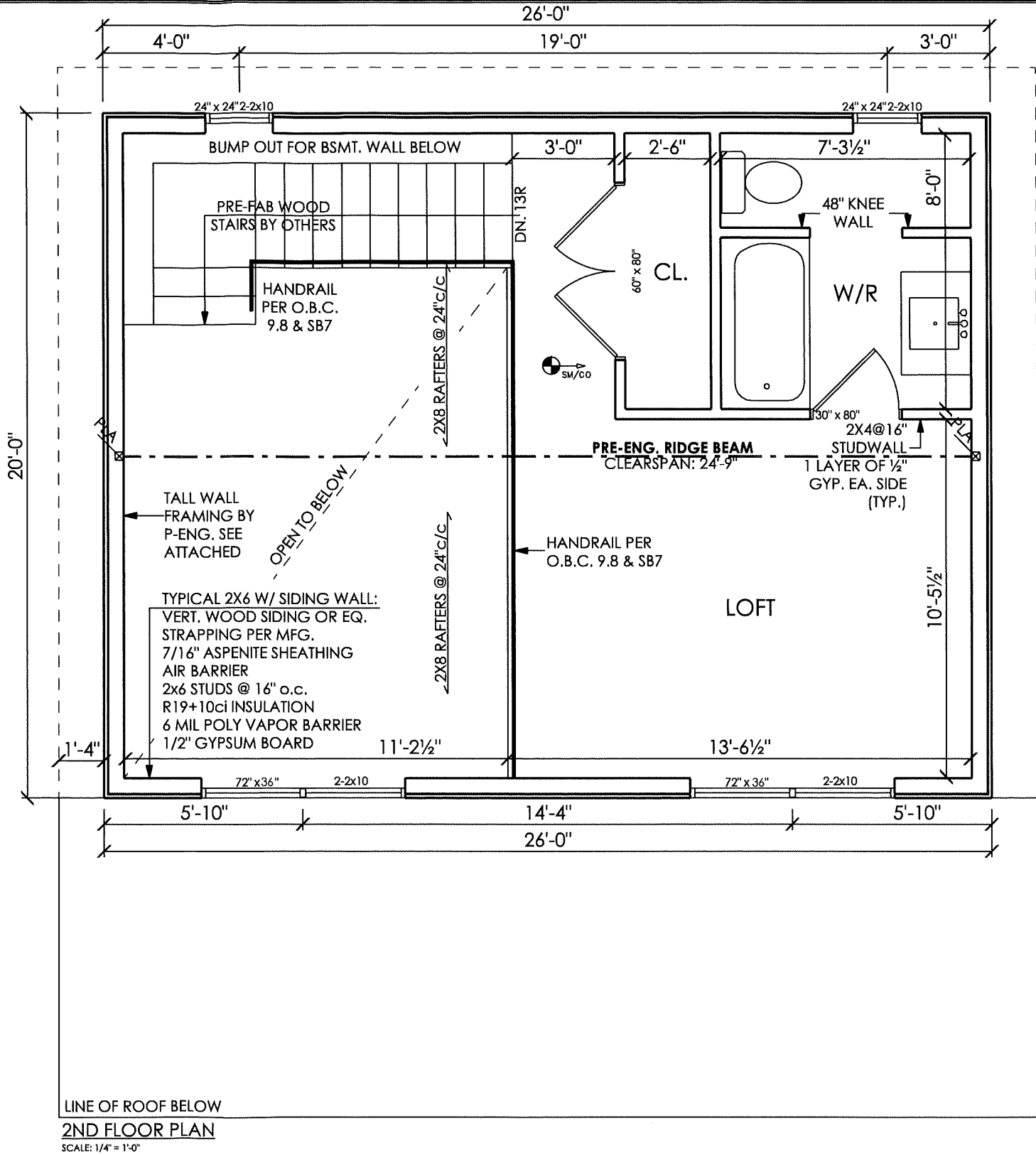
- A DRAIN WATER HEAT RECOVERY UNIT SHALL BE INSTALLED IN EACH DWELLING UNIT TO RECEIVE DRAIN WATER FROM ALL SHOWERS OR FROM AT LEAST 2 SHOWERS WHERE THERE ARE 2 OR MORE SHOWERS IN THE DWELLING UNIT PER O.B.C. SB-12.3.1.1.12.
- DWHR UNITS NEED NOT BE INSTALLED IN AREAS WHERE THERE IN NO CRAWLSPACE ACCESS BENEATH ANY OF THE SHOWERS AND/OR WHERE SHOWERS ARE INSTALLED ON CONCRETE SLABS.
- DWHR UNITS SHALL BE INSTALLED IN AN UPRIGHT POSITION AND NOT DIVERGE MORE THAN 5 DEG. FROM VERTICAL AND IN A CONDITIONED SPACE OR ON THE WARM SIDE OF THE DEWPOINT OF THE WALL ASSEMBLY

ZONE 1 SB-12 COMPLIANCE PACKAGE C1 PER O.B.C. TABLE 3.1.1.2.C(IP)

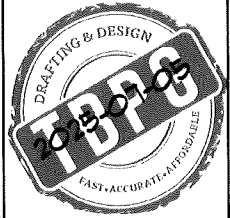
CI - CONTINUOUS INSULATION

IN THE CASE OF BASEMENT WALL ASSEMBLIES, WHERE R-20 IS REQUIRED, R-20 + 8ci IS PERMITTED TO BE USED OR VICE VERSA

- CEILING WITH ATTIC SPACE - MIN. R-60+HH
- CEILING WITHOUT ATTIC SPACE - MIN. R-31
- EXPOSED FLOOR - MIN. R-31
- WALLS ABOVE GRADE - MIN. R-19+10ci
- BASEMENT WALLS - MIN. R-20+8ci OR R-20CI
- HEATED SLAB OR SLAB <600mm BELOW GRADE - MIN. R-10
- WINDOWS & SLIDING GLASS DOORS - MAX. 0.25U 25 ENERGY RATING
- SKYLIGHTS - MAX. 0.49U
- HRV EFFICIENCY - MIN. 81% SRE



- GROUND SURFACE
- ADU ZONING INFO
- GROSS FLOOR AREA: 520sf (48.30sm)
- MAX GFA PERMITTED: 520.6sf (48.37m)
- EXISTING DWELLING GFA: 743.7sf 69.9% (69.1sm)
- MAX % OF EX. DWELLING PERMITTED: 70% (520.6sf)
- BUILDING HEIGHT:5.9m
- MAX HEIGHT PERMITTED: 6m
- SETBACK INFO PROVIDED BY SURVEYOR
- MIN. 1.2m REAR & SIDE
- 7.5m BETWEEN PRIMARY DWELLING & ADU
- MAX. ADU LOT COVERAGE: 25%



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JOHN BARNHART 41773

THE BUILDING PERMIT GUY 103362 BCIN

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DETACHED ADU
18 PLEASANT AVENUE, DUNDAS, ON.

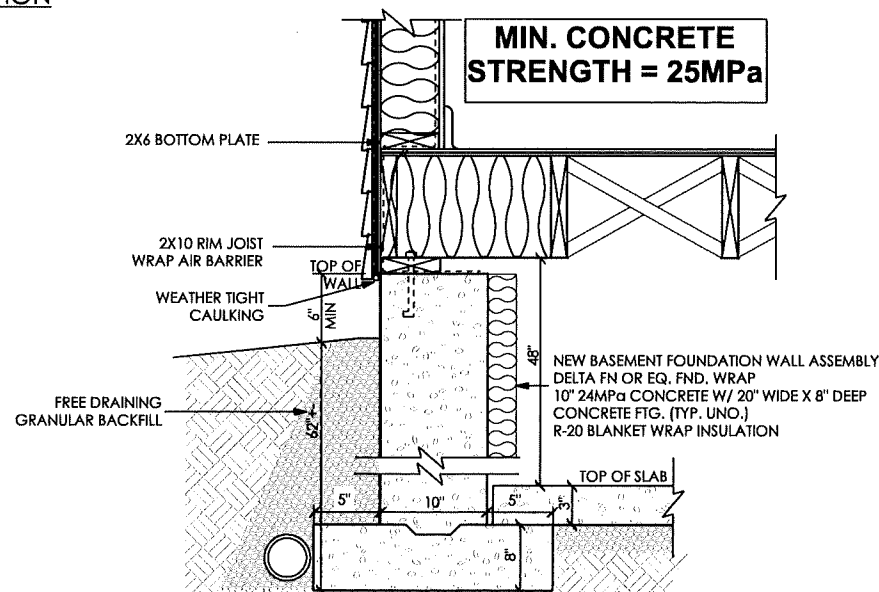
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A-3

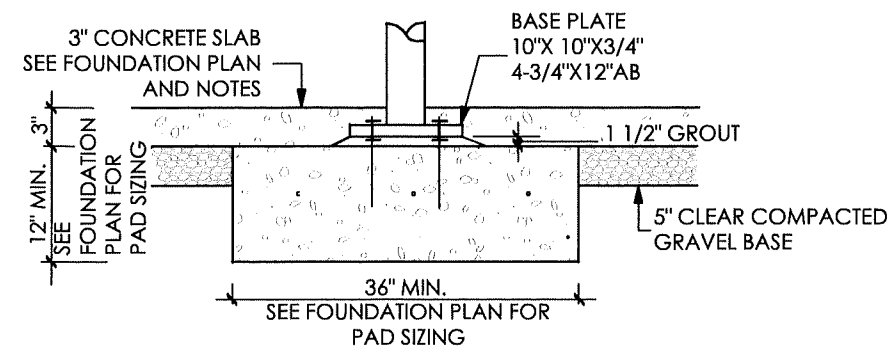
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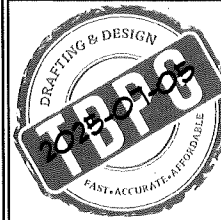
FRONT ELEVATION



10" POURED CONCRETE FOUNDATION WALL (TYPICAL)



Typical Steel Col. Anchorage Detail



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41773

103362

BCIN

FIRM NAME

THE BUILDING PERMIT GUY

VAN ES

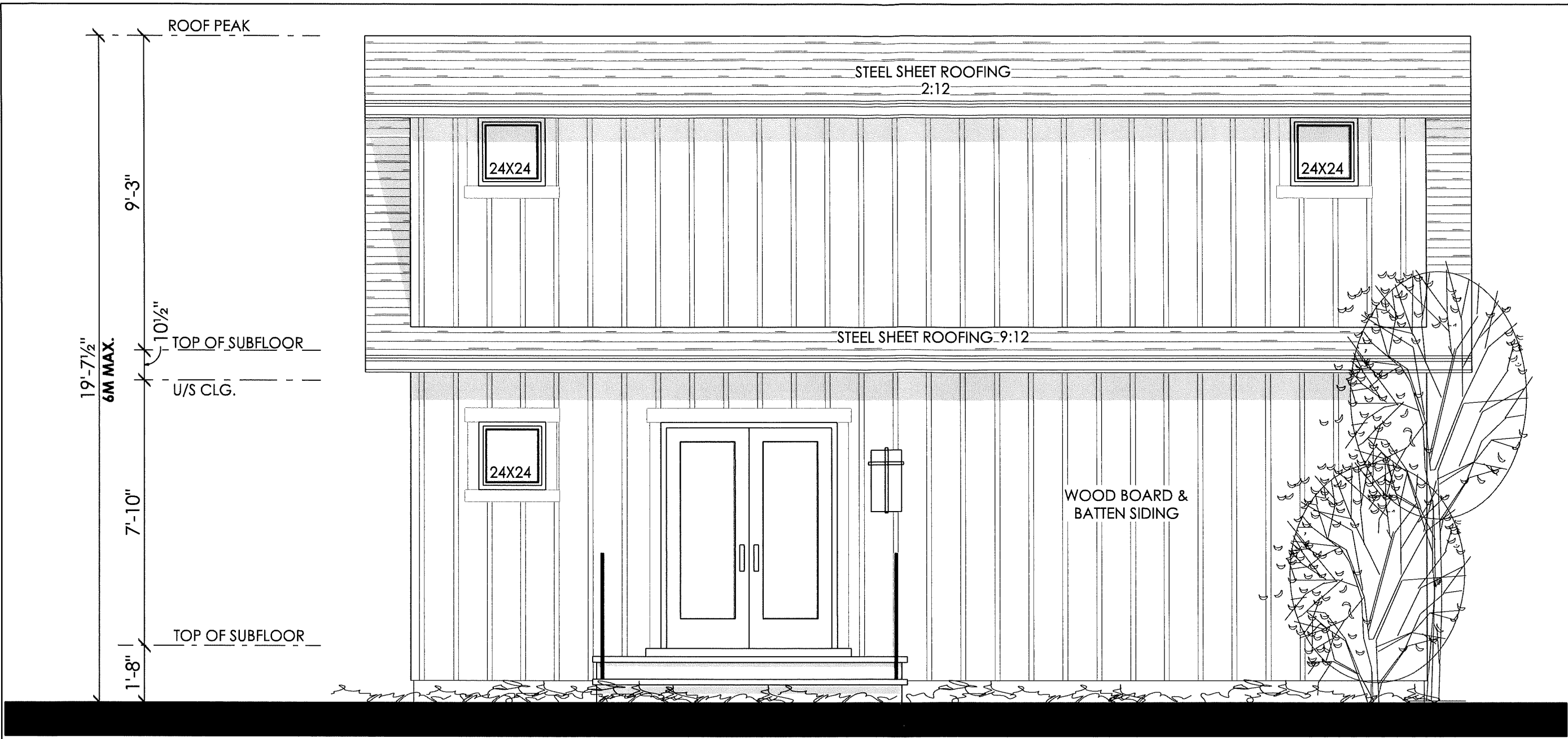
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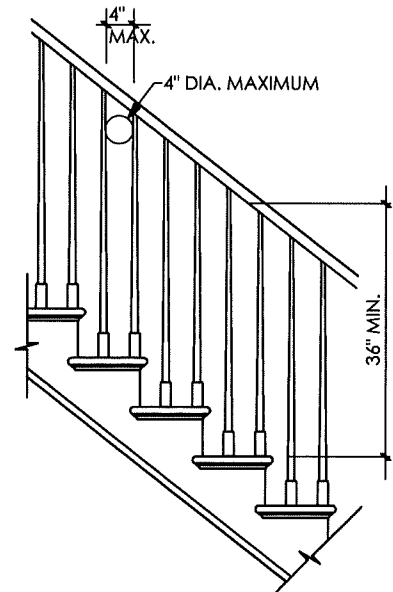
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REAR ELEVATION



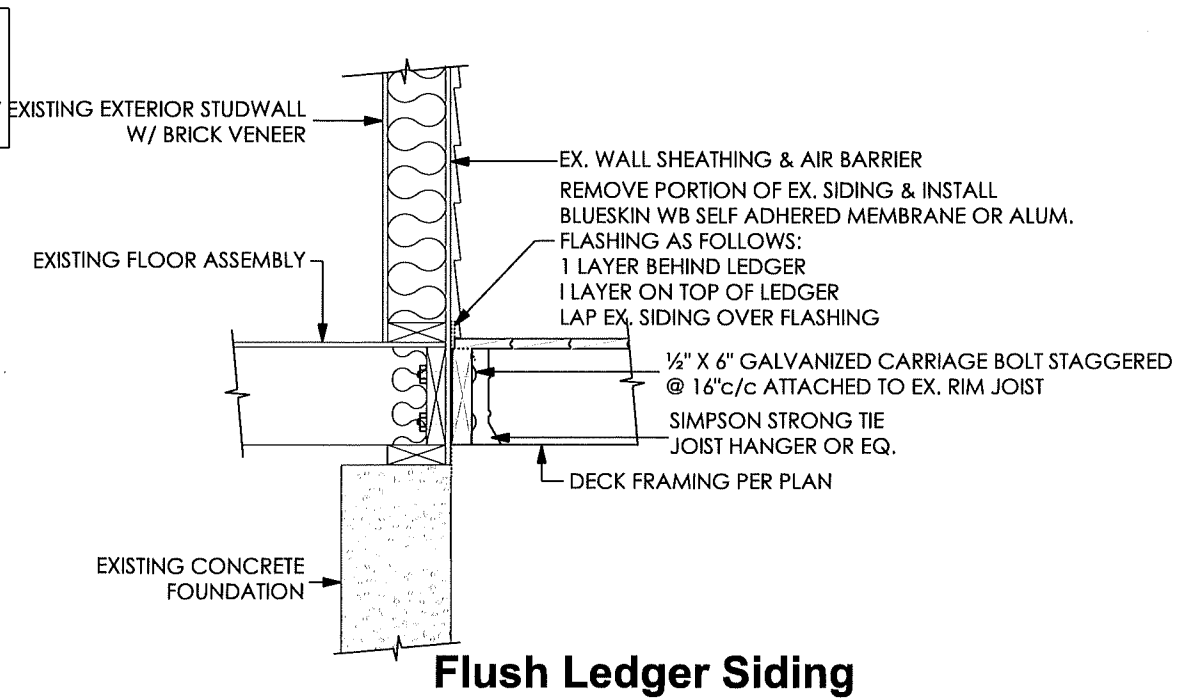
Interior Stair Railing

OPEN BALUSTRADE BALCONY / STAIR RAILINGS
NOT LESS THAN 36" IN HEIGHT
WITH PATTERN / SPACING SUCH
THAT A SPHERE 4" IN DIA.
CANNOT PASS THROUGH

STAIR / BALUSTER
STYLES ARE DIAGRAMMATIC
ONLY -- CONTRACTOR TO
COORDINATE STYLES
WITH OWNER / FINISHES

ALL HANDRAILS SHALL BE CONTINUOUS THE
FULL LENGTH OF THE STAIRS. HANDGRIP
PORTION OF ALL HANDRAILS SHALL NOT BE
LESS THAN 1-1/4" NOR MORE THAN 2" IN
CROSS SECTIONAL DIMENSION, OR THE
SHAPE SHALL PROVIDE AN EQUIVALENT
GRIPPING SURFACE

GALVANIZED STEEL WINDOW WELL
(NOT SHOWN FOR CLARITY)
CONNECT DRAIN TO WEEPING TILE.
(TYP.)



Flush Ledger Siding

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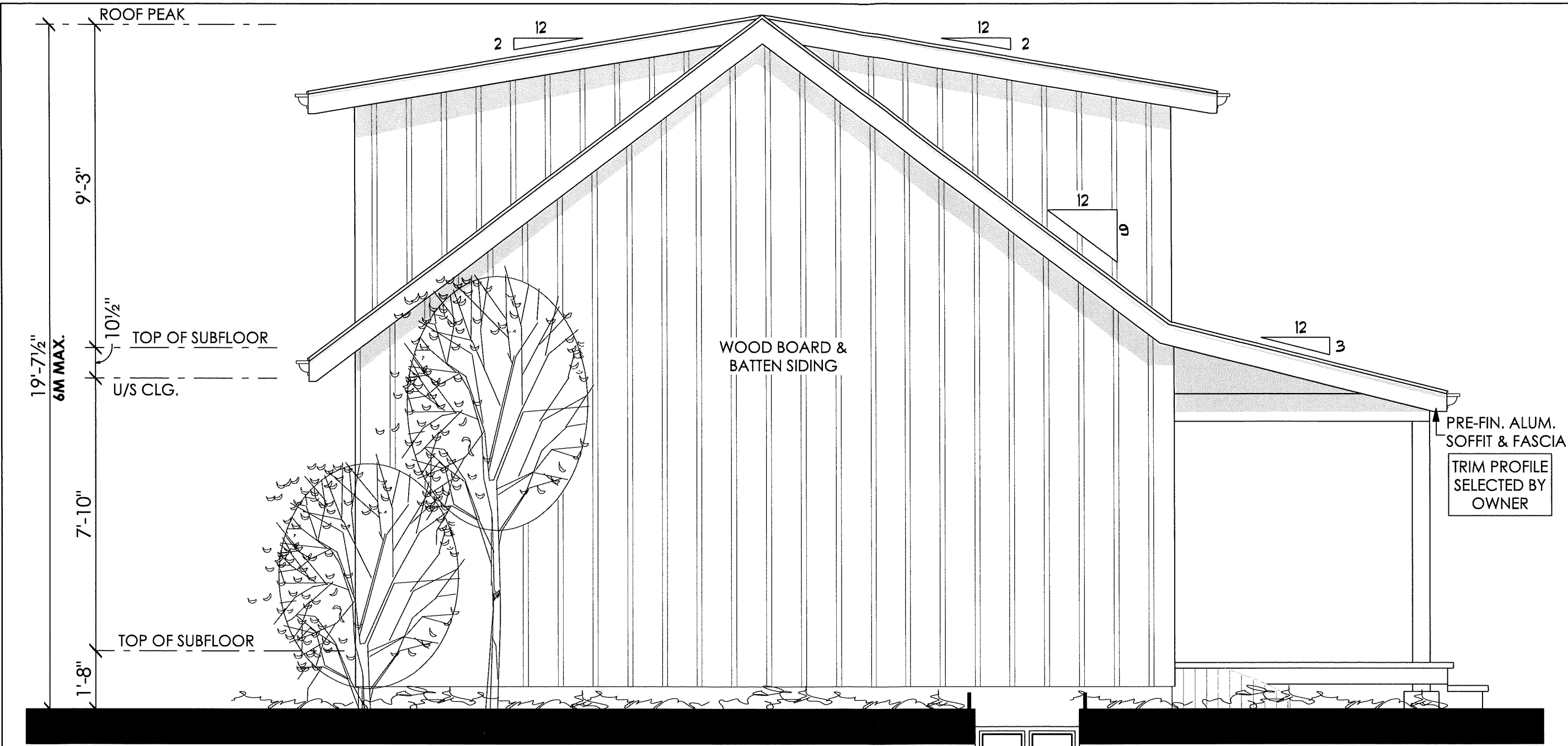
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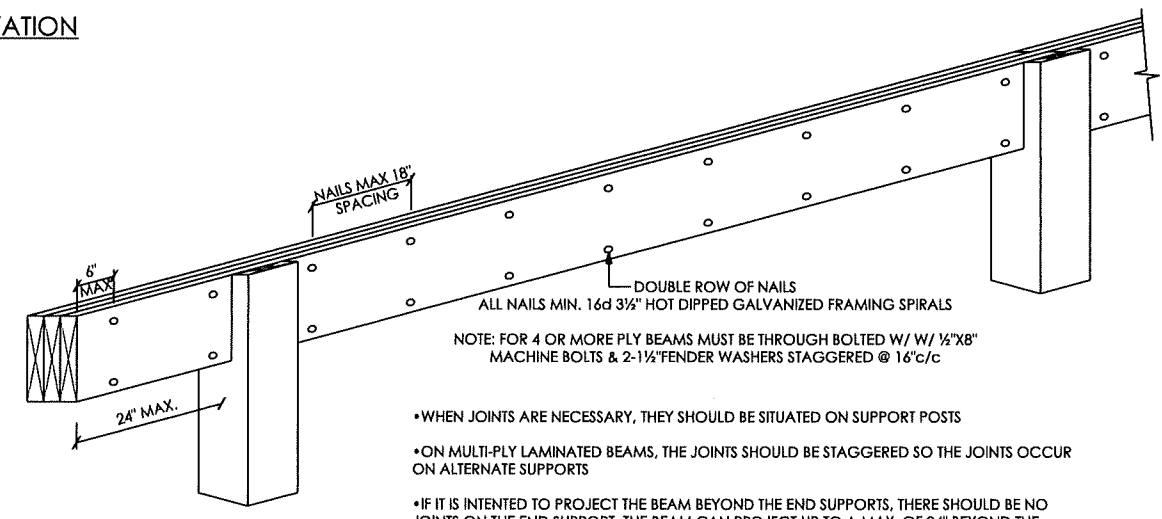
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THE BUILDING PERMIT GUY DRAFTING & DESIGN



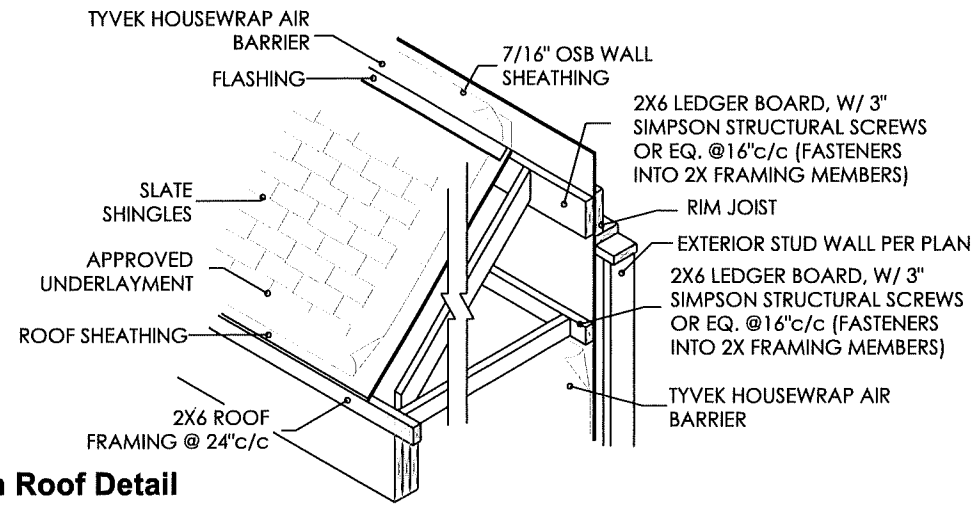
LEFT ELEVATION



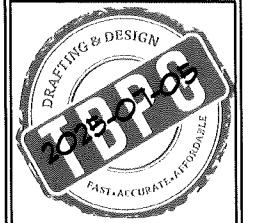
Beam Nailing Detail

- WHEN JOINTS ARE NECESSARY, THEY SHOULD BE SITUATED ON SUPPORT POSTS
- ON MULTI-PLY LAMINATED BEAMS, THE JOINTS SHOULD BE STAGGERED SO THE JOINTS OCCUR ON ALTERNATE SUPPORTS
- IF IT IS INTENDED TO PROJECT THE BEAM BEYOND THE END SUPPORTS, THERE SHOULD BE NO JOINTS ON THE END SUPPORT. THE BEAM CAN PROJECT UP TO A MAX. OF 24" BEYOND THE SUPPORT.
- INDIVIDUAL MEMBERS MUST BE NAILED TOGETHER WITH A DOUBLE ROW OF NAILS AT LEAST 4" APART IN EACH ROW WITH THE END NAILS LOCATED BETWEEN 4" AND 6" FROM THE END OF EACH PIECE.

36X24



Nail On Roof Detail



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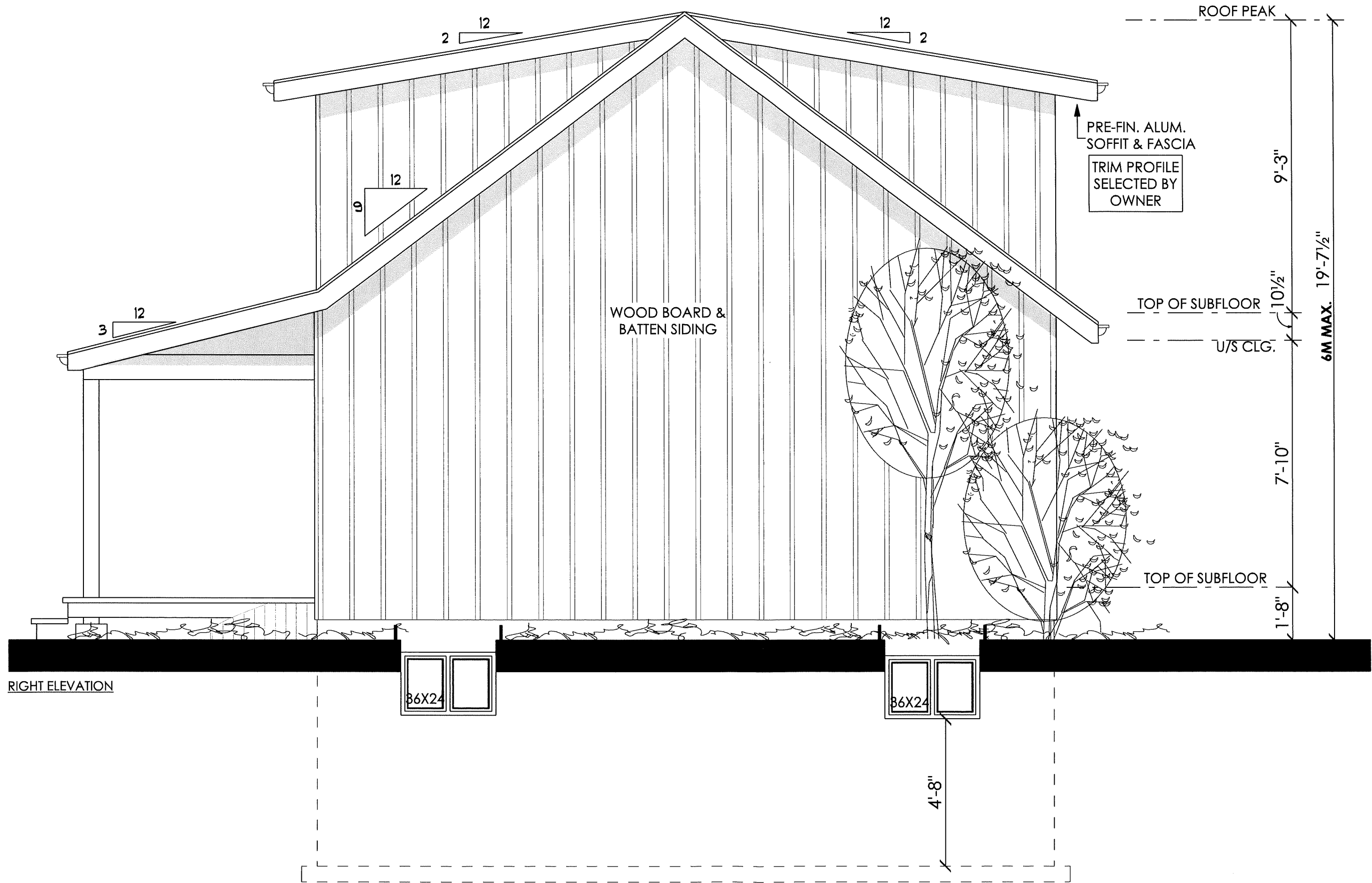
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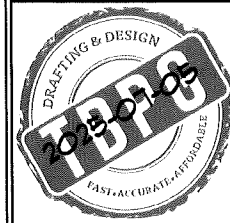
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RIGHT ELEVATION



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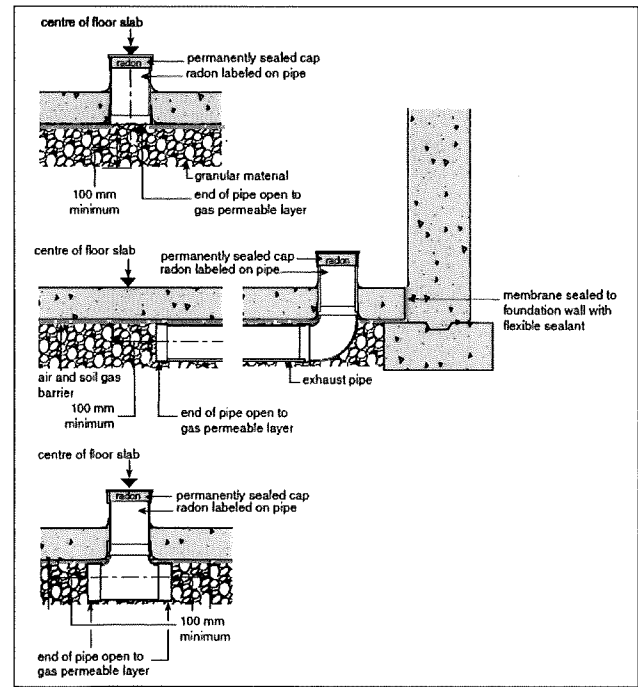
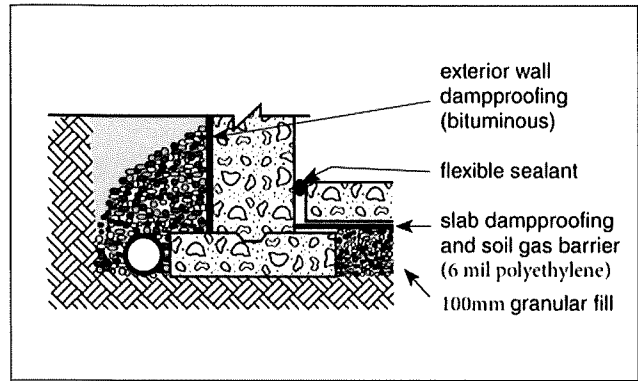
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THE BUILDING PERMIT GUY 1033562 BCIN
FIRM NAME

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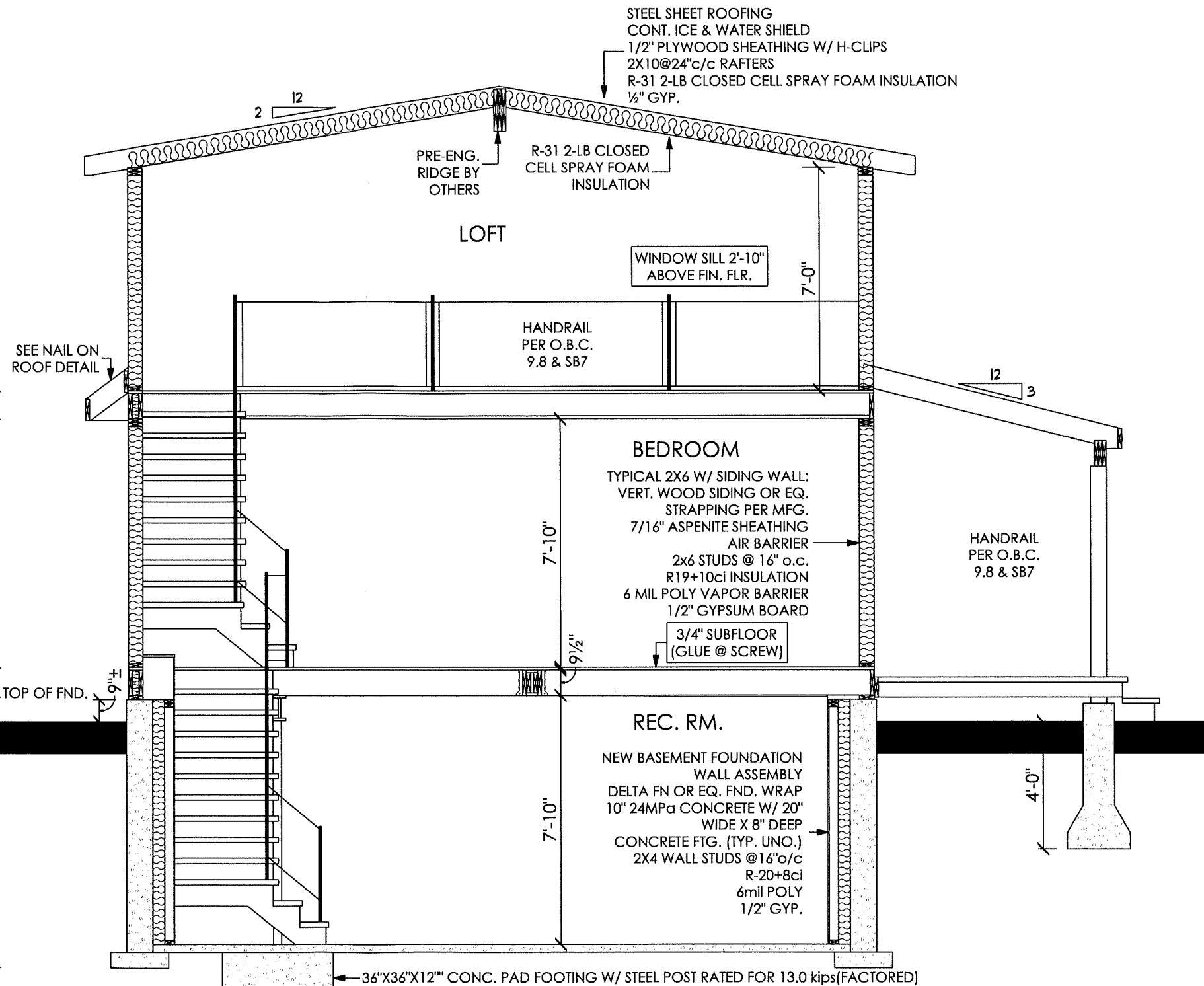
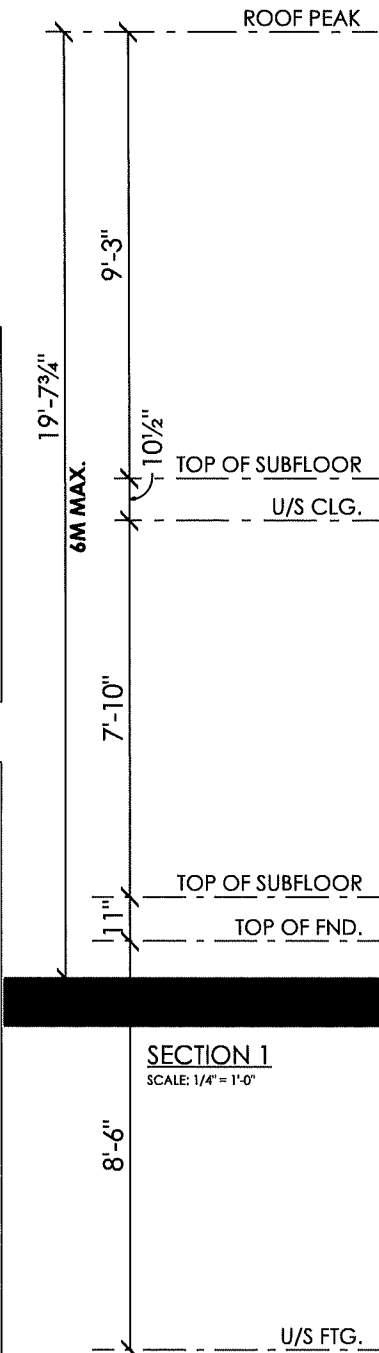
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THE BUILDING PERMIT GUY DRAFTING & DESIGN

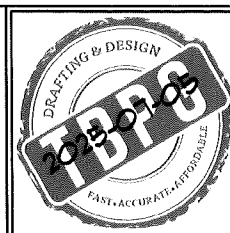


- 1) A 100 mm diameter grey PVC pipe rough-in, OBC Reference: 9.13.4.3 1(b) & (3) Minimum 100mm granular material installed below the slab. OBC Reference: 9.13.4.3. (3)
- 2) The upper end of the pipe shall be provided with a removable seal and labeled to indicate for "Radon Gas Removal Only", and the pipe is to be labelled every 1.8m, if applicable and at every change in direction. OBC Reference: 9.13.4.3.(3),
- 3) A soil gas barrier on the foundation walls (bituminous dampproofing), and OBC Reference: Sentence 9.13.4.2.(1), of Division B
- 4) Under the basement floor slab using 6 mil polyethylene lapped not less than 300 mm, and OBC Reference: 3.1.(2)
- 5) Sealing along the perimeter of the basement floor slab and at all penetrations using flexible sealant (polyurethane caulking). OBC Reference: 3.2. of Supplementary Standard SB-9



A-9.13.4.3.(2)(b) and (3)(b)(i) Effective Depressurization. To allow effective depressurization of the space between the air barrier and the ground, the extraction opening (the pipe) should not be blocked and should be arranged such that air can be extracted from the entire space between the air barrier and the ground. This will ensure that the extraction system can maintain negative pressure underneath the entire floor (or in heated crawl spaces underneath the air barrier). The arrangement and location of the extraction system inlet(s) may have design implications where the footing layout separates part of the space underneath the floor.

Note: Care must be taken when installing 6 mil polyethylene since it is prone to puncture. Please ensure the 6 mil polyethylene is adequately protected.



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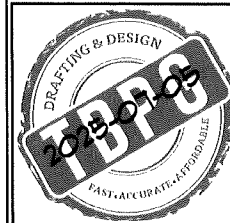
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THE BUILDING PERMIT GUY DRAFTING & DESIGN



REAR ELEVATION EX. DWELLING
SCALE: 1/4" = 1'-0"



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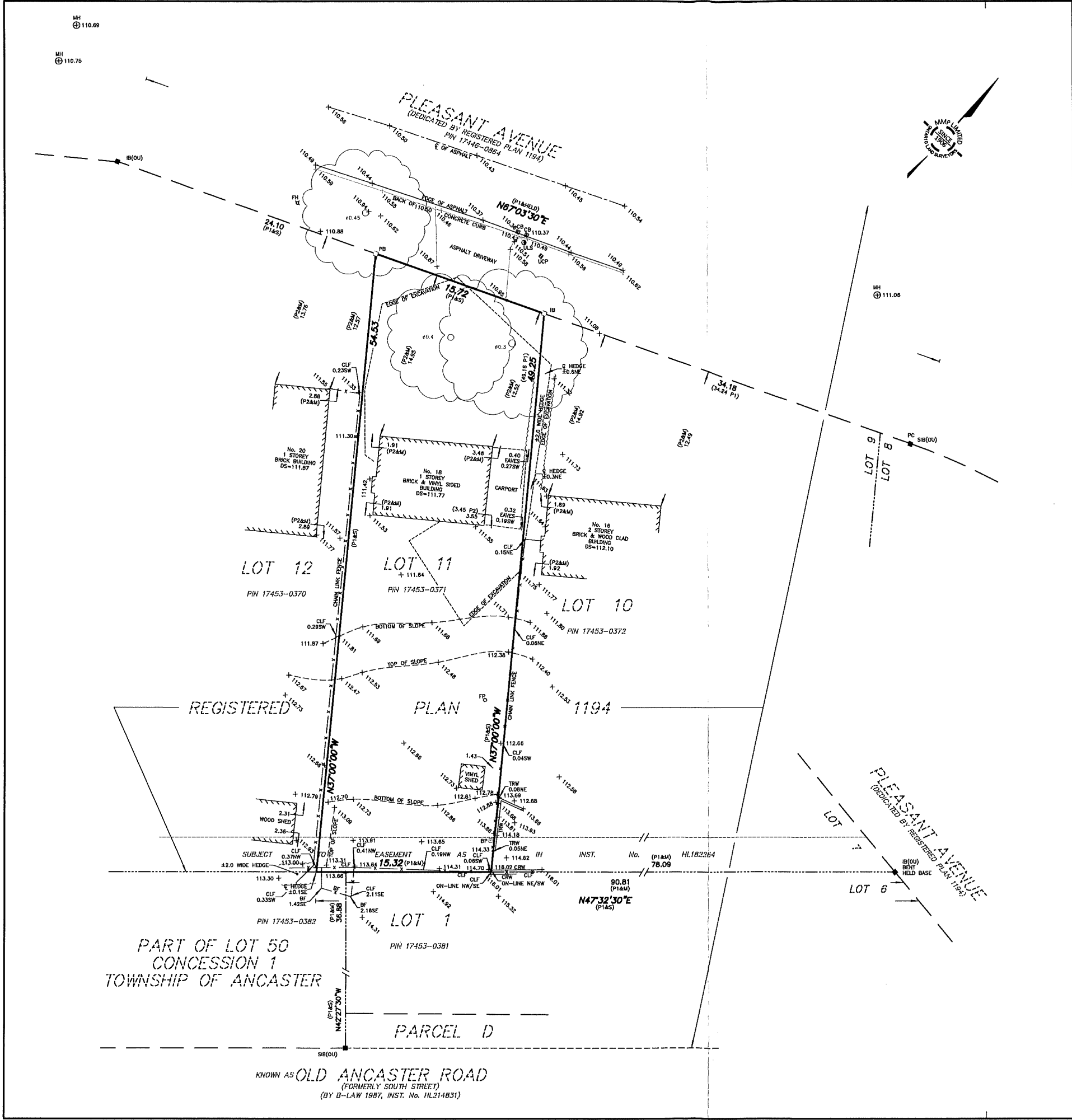
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A-9

THE BUILDING PERMIT GUY DRAFTING & DESIGN



SURVEYOR'S REAL PROPERTY REPORT

PART 1 - PLAN OF SURVEY SHOWING TOPOGRAPHY OF

LOT 11

REGISTERED PLAN 1194

IN THE

CITY OF HAMILTON

SCALE 1 : 200

05

10

20

metres

THE INTENDED PLOT SIZE OF THIS PLAN IS 650mm IN WIDTH BY 520mm IN HEIGHT WHEN PLOTTED AT A SCALE OF 1:200 (INCLUDING 15mm BEYOND EACH BORDER)

MackAY, MacKAY & PETERS LIMITED - ONTARIO LAND SURVEYORS

© 2025

KNOWN AS MUNICIPAL No. 18 PLEASANT AVENUE

PART 2 - REPORT SUMMARY (TO BE READ IN CONJUNCTION WITH PART 1)

LAND REGISTRY OFFICE TITLE INFORMATION ON SUBJECT PROPERTY INCLUDING BOUNDARIES, EASEMENTS AND RIGHT OF WAYS - MARCH 25, 2025

REGISTERED EASEMENTS AND/OR RIGHTS-OF-WAY:
- SUBJECT TO EASEMENT AS IN INST. No. HL182264

ADDITIONAL REMARKS:
- REFER TO PART 1 OF SURVEY FOR THE LOCATION OF BUILDINGS, STRUCTURES, FENCES & UTILITIES

MackAY, MacKAY & PETERS LIMITED grants MULTIRISE CONSTRUCTION GROUP INC. ("The Client"), their solicitor and other related parties permission to use "Original Copies" of the Surveyor's Real Property Report in transactions involving "The Client"


METRIC

DISTANCES SHOWN HEREON ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

ASSOCIATION OF ONTARIO LAND SURVEYORS

PLAN SUBMISSION FORM

V-106843



THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR IN ACCORDANCE WITH REGULATION 1026, SECTION 28(3)

LEGEND

■ DENOTES A SURVEY MONUMENT FOUND

□ DENOTES A SURVEY MONUMENT PLANTED

SIB DENOTES STANDARD IRON BAR

IB DENOTES IRON BAR

PB DENOTES PLASTIC BAR

P1 DENOTES REGISTERED PLAN 1194

P2 DENOTES PLAN BY SIDNEY W. WOODS DATED FEBRUARY 20, 1962

PIN DENOTES PROPERTY IDENTIFICATION NUMBER

(OU) DENOTES ORIGIN UNKNOWN

PC DENOTES POINT OF CURVATURE

DS DENOTES DOOR SILL

C DENOTES CENTRELINE

CB DENOTES CATCH BASIN

MH DENOTES MANHOLE

FH DENOTES FIRE HYDRANT

ULS DENOTES UTILITY LIGHT STANDARD

UCP DENOTES UTILITY CABLE PEDESTAL

BP DENOTES BELL PEDESTAL

BF DENOTES BOARD FENCE

CLF DENOTES CHAIN LINK FENCE

FP DENOTES FLAG POLE

TRW DENOTES TIMBER RETAINING WALL

CRW DENOTES CONCRETE RETAINING WALL

○ DENOTES DECIDUOUS TREE SCALED TO CANOPY TRUNK SIZE SHOWN IN METRES

ALL BUILDING TIES ARE TO FOUNDATION AND ARE PERPENDICULAR TO PROPERTY LINES UNLESS OTHERWISE NOTED

BENCHMARK NOTE

BENCHMARK No. 07720020092

ELEVATION = 112.877 METRES (CGVD28:78 ADJUSTMENT)

LOCATED IN DUNDAS AT THE SOUTHEAST CORNER OF MERCER STREET & JOYA PLACE

7 METRES SOUTH OF CENTRELINE OF MERCER STREET AND 9 METRES EAST OF CENTRELINE OF JOYA PLACE, 0.5 METRES SOUTHEAST OF CURB AND 10 METRES FROM THE MOST NORTHWESTERLY CORNER OF HOUSE No. 18 MERCER STREET

BEARING REFERENCE

BEARINGS ARE ASTRONOMIC AND ARE REFERRED TO THE SOUTHERLY LIMIT OF PLEASANT AVENUE AS SHOWN ON REGISTERED PLAN 1194 HAVING A BEARING OF N67°03'30"E

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE REGULATIONS MADE UNDER THEM.

2. THE SURVEY WAS COMPLETED ON THE 9th DAY OF MAY, 2025.

MAY 9, 2025

DATE

AISAR BHARI

ONTARIO LAND SURVEYOR

FOR MACKAY, MACKAY & PETERS LIMITED

EX(62) Hamilton-Wentworth\Registered Plans\RP1184\LOT 11\25-054\25-054.dwg

MMP

MackAY, MacKAY & Peters Limited

LAND SURVEYORS & MAPPERS

SINCE 1906

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Burlington, ON

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halton@mmplimited.com

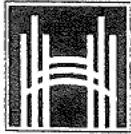
mmplimited.com

DRAWN BY: G.S.

PARTY CHIEF: M.A.

CHECKED BY:

PROJECT No.: 25-054



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

| | NAME | MAILING ADDRESS | |
|----------------------|--|-----------------|-------------------|
| Registered Owners(s) | GARY VAN ES SARAH VAN ES JOSHUA VAN ES | | |
| Applicant(s) | GARY VAN ES SARAH VAN ES | | |
| Agent or Solicitor | | | Phone: E-mail: |

1.2 Primary contact

☒ Applicant

☐ Owner
☐ Agent/Solicitor

1.3 Sign should be sent to

☒ Applicant

☐ Owner
☐ Agent/Solicitor

1.4 Request for digital copy of sign

☒ Yes* ☐ No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email

☒ Yes* ☐ No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will be sent by email.

1.6 Payment type

☐ In person
☐ Cheque

☒ Credit over phone*

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

| | | | |
|---------------------------|---------------------------------------|------------|--|
| Municipal Address | 18 Pleasant Avenue, Dundas ON L9H 3S7 | | |
| Assessment Roll Number | 251826002037000 | | |
| Former Municipality | Dundas, City of Hamilton | | |
| Lot | 11 | Concession | |
| Registered Plan Number | 1194 | Lot(s) | |
| Reference Plan Number (s) | | Part(s) | |

2.2 Are there any easements or restrictive covenants affecting the subject land?

☒ Yes ☐ No

If YES, describe the easement or covenant and its effect:

The easement is located at the south end of the property along the back lot line, granting access to the City of Hamilton for hydro. It does not affect the proposed dwelling unit, nor does the proposed dwelling unit affect access to the easement.

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

To allow an increase in the maximum permitted gross floor area from 75 m² to 117.19 m² in order to allow for the construction of a usable below grade basement.

☒ Second Dwelling Unit

☐ Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Although the proposed basement does not alter the building's footprint or visible appearance and is entirely below grade, it results in a gross floor area that exceeds the permitted maximum. Complying with the By-law would require eliminating the basement entirely, significantly reducing the functional space of the home.

3.3 Is this an application 45(2) of the Planning Act.

☐ Yes

☒ No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

| | | | |
|--------------|-----------|----------------------|-----------------|
| Lot Frontage | Lot Depth | Lot Area | Width of Street |
| 15.72 m | 54.53 m | 665.6 m ² | 8.53 m |

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

| Type of Structure | Front Yard Setback | Rear Yard Setback | Side Yard Setbacks | Date of Construction |
|-------------------|---------------------|-------------------|---------------------|----------------------|
| Detached House | 14.95 (W) 12.52 (E) | 30.42 | 19.1m (W) 3.55m (E) | 1961 |
| | | | | |
| | | | | |
| | | | | |

Proposed:

| Type of Structure | Front Yard Setback | Rear Yard Setback | Side Yard Setbacks | Date of Construction |
|-------------------|---|-------------------|-----------------------|----------------------|
| ADU detached | 39.43 m | 9.01 m E 8.25 m | 4.81 m (W) 2.52 m (E) | Sept 2025 |
| | 16.09 m from back of existing House to front of ADU | | | |
| | | | | |
| | | | | |

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Storeys | Height |
|-------------------|-------------------|----------------------|-------------------|--------|
| Detached House | 69.1 m | 113.1 m ² | 2 | 7.9 m |
| | | | | |
| | | | | |
| | | | | |

Proposed:

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Storeys | Height |
|-------------------|----------------------|-----------------------|-------------------|--------|
| ADU detached | 48.37 m ² | 117.19 m ² | 1 1/2 | 5.98 m |
| | | | | |
| | | | | |
| | | | | |

- 4.4 Type of water supply: (check appropriate box)
- ☒ publicly owned and operated piped water system
- ☐ privately owned and operated individual well

- ☐ lake or other water body
- ☐ other means (specify)
- _____

- 4.5 Type of storm drainage: (check appropriate boxes)
- ☒ publicly owned and operated storm sewers
- ☐ swales

- ☐ ditches
- ☐ other means (specify)
- _____

4.6 Type of sewage disposal proposed: (check appropriate box)

- ☒ publicly owned and operated sanitary sewage
☐ system privately owned and operated individual
☐ septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- ☐ provincial highway
☐ municipal road, seasonally maintained
☒ municipal road, maintained all year
☐ right of way
☐ other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

*single detached dwelling duplex with an additional dwelling unit detached.
(ADU-D)*

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Single detached dwelling units

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

January 15, 2025

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single detached dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

*Single detached dwelling duplex - Basement ADU occupancy pending
final inspection upon completion of hydro.*

7.4 Length of time the existing uses of the subject property have continued:

Single detached dwelling has existed as such for approx. 60 years.

Basement ADU was renovated in Spring 2025 - awaiting occupancy permit.

7.5 What is the existing official plan designation of the subject land?

Low Density Residential.

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) *Neighborhoods*

Please provide an explanation of how the application conforms with the Official Plan.

The variance supports efficient use of space while respecting the scale and character of the neighborhood, and therefore conforms with the intent of the official plan.

7.6 What is the existing zoning of the subject land? *R1*

7.8 Has the owner previously applied for relief in respect of the subject property?

(Zoning By-law Amendment or Minor Variance)

☐ Yes

☒ No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

☐ Yes

☒ No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 2

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- ☐ Application Fee
- ☐ Site Sketch
- ☐ Complete Application form
- ☐ Signatures Sheet

11.4 Other Information Deemed Necessary

- ☐ Cover Letter/Planning Justification Report
 - ☐ Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - ☐ Minimum Distance Separation Formulae (data sheet available upon request)
 - ☐ Hydrogeological Assessment
 - ☐ Septic Assessment
 - ☐ Archeological Assessment
 - ☐ Noise Study
 - ☐ Parking Study
-
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