



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-25:175	SUBJECT PROPERTY:	120 Festival Way, Glanbrook
ZONE:	R4-276 (Residential 4)	ZONING BY-LAW:	Glanbrook Zoning By-law 464, as Amended by 14-115

APPLICANTS: Owner: Matthew and Bianca Stavroff
Applicant: Chris Hopkins

The following variances are requested:

1. A minimum side yard setback of 0.6 metres for an accessory building shall be provided whereas the minimum side yard setback required for an accessory building is 1.0 metres.

PURPOSE & EFFECT: To facilitate the construction of an accessory building in the rear yard of the existing single detached dwelling.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, September 25, 2025
TIME:	1:35 p.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

A-25:175

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

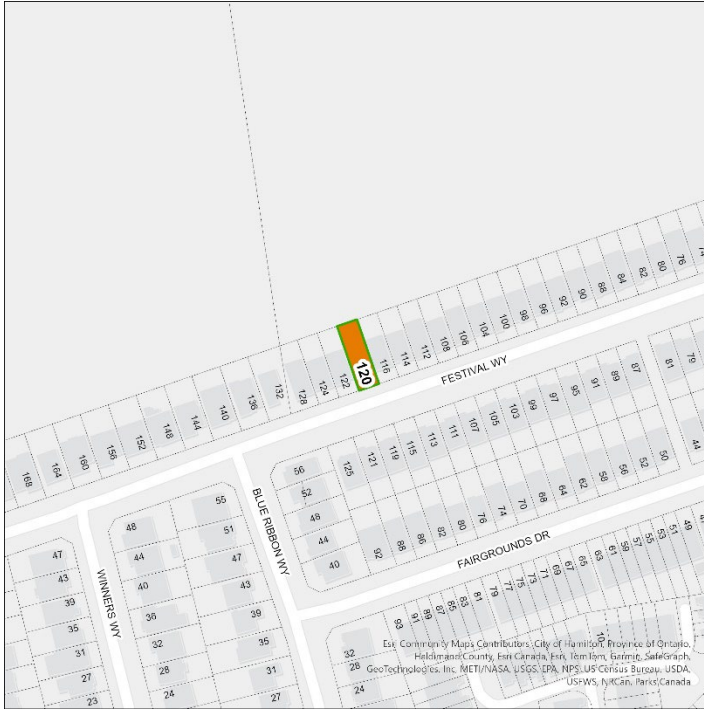
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon September 23, 2025

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon September 24, 2025

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:175, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: September 8, 2025

Justin Leung,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATING PROCEDURES

1. Written Submission Ahead of the Meeting

Members of the public who wish to provide input without speaking at the Hearing may submit written comments in advance of the meeting. Comments must be received by 12:00 p.m. (noon) on the deadline date for written comment submissions listed on the Notice of Public Hearing.

How to Submit Written Comments:

By Email:

Send to: cofa@hamilton.ca

By Mail:

Committee of Adjustment
City of Hamilton
71 Main Street West, 5th Floor
Hamilton, Ontario
L8P 4Y5

All written comments received will be made available to the Committee and the public by the Tuesday prior to the Hearing.

2. Oral Submissions During the Hearing

Interested members of the public, agents, and owners may provide oral comments on Committee of Adjustment Hearing items either virtually via Webex (computer or phone) or by attending in person.

Speaking Time Limit:

All participants providing oral submissions, either in person or virtually are limited to a maximum of 5 minutes to speak. This is to ensure all parties have an equal opportunity to be heard and that the meeting runs efficiently.

3. In-Person Oral Submissions

To participate in person, attend Council Chambers on the date and time listed in the Notice of Public Hearing. You will be required to provide your name and address for the record. It is recommended you arrive at least 10 minutes prior to the scheduled start time.

4. Virtual Oral Submissions

To participate virtually, you must register by 12:00 p.m. (noon) on the virtual oral submissions registration deadline date. This is listed on the Notice of Public Hearing. To register, email cofa@hamilton.ca with the following information:

- Committee of Adjustment file number
- Hearing date
- Name and mailing address of each person wishing to speak
- Method of participation (phone or video), and, if applicable, the phone number to be used
- Each person must register separately

Registered participants will receive a Webex link one business day before the Hearing. Only those registered will be called upon to speak.

5. Presentations

All presentations are permitted at the discretion of the Committee.

Virtual Presentations:

Presenters participating virtually may be granted permission to share their screen during the Hearing. A copy of the presentation must be submitted to cofa@hamilton.ca **by 12:00 p.m. (noon) on the business day prior to the Hearing**. The submission must be one document in PDF format only.

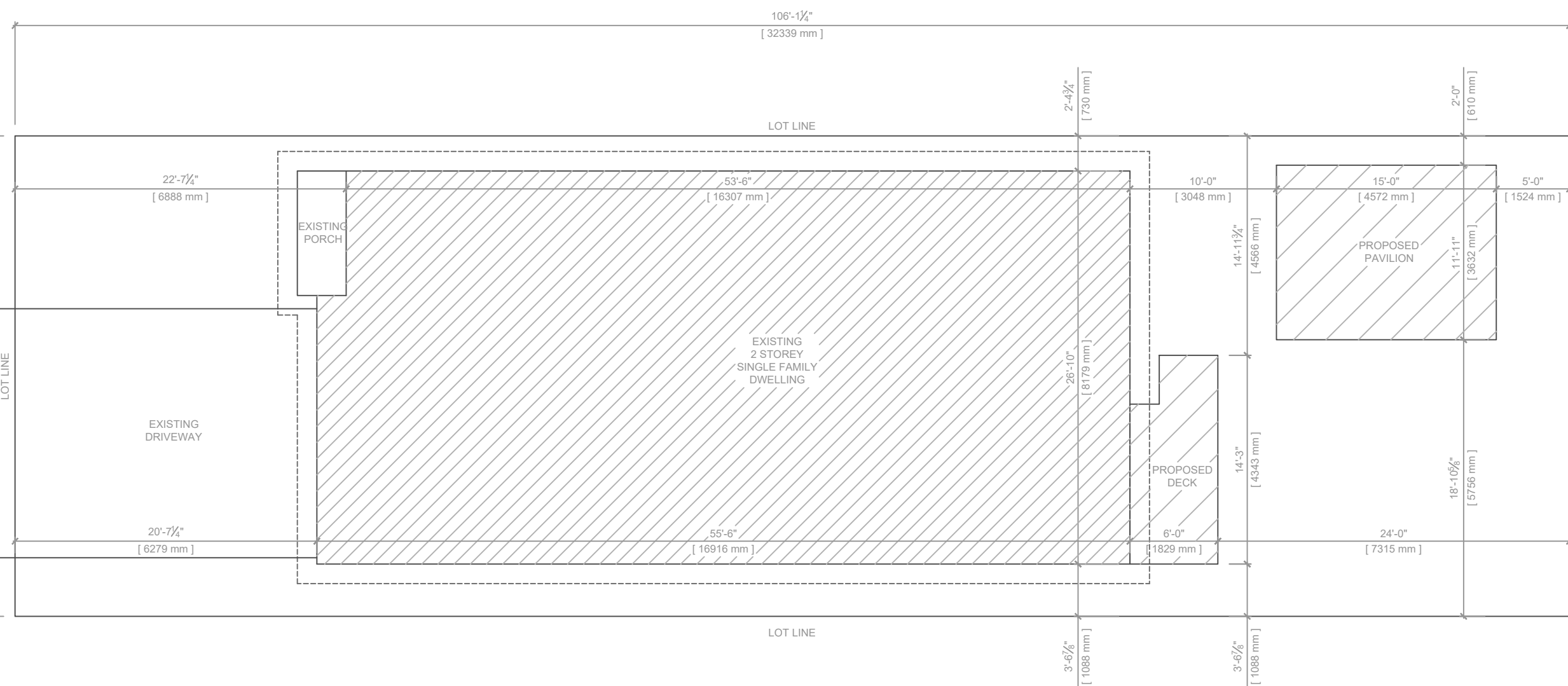
In-Person Presentations:

Presenters attending in person may be granted permission to use the presentation screen. Presentations must be brought on a USB device and opened by the owner/applicant. A copy of the presentation must also be sent to cofa@hamilton.ca **by 12:00 p.m. (noon) on the business day prior to the Hearing**. The submission must be one document in PDF format only. Handouts are permitted only if the same content can be displayed on the presentation screen.

6. Additional Notes

- Webex (video) participation requires a compatible computer or smartphone. The necessary application must be downloaded in advance.
- It is the interested party's responsibility to ensure their device is functional and compatible prior to the Hearing.

For any questions, contact staff at cofa@hamilton.ca or call 905-546-2424 ext. 4221.



----- ROOF LINES

REVISIONS:

#	DATE	REVISION

PROJECT ADDRESS:
120 FESTIVAL WAY
HAMILTON, ON

DRAWING:
SITE PLAN

ZONE R4-276		
LOT AREA:	323.31 m ²	FRONTAGE: 10.00 m
LOT COVERAGE		
EXISTING HOUSE	136.78 m ²	42.31 %
PROPOSED PAVILION	16.61 m ²	5.14 %
PROPOSED PAVILION	7.32 m ²	2.27 %
TOTAL	160.71 m²	49.71 %

DATE:	JUL-23-2025	SP1.01
REVISED:	-	
PAPER SIZE:	11"x17"	
SCALE:	1:100	

120 FESTIVAL WAY HAMILTON, ON PAVILION & DECK

TABLE OF CONTENTS:

- A1.00 COVER PAGE
- A1.01 PAVILION FRAMING PLAN
- A1.02 PAVILION FOUNDATION PLAN
- A1.03 DECK FRAMING PLAN
- A2.01 PAVILION ELEVATIONS
- A2.02 DECK ELEVATIONS
- A3.01 DECK DETAILS
- A4.01 PAVILION SECTION
- A4.02 PAVILION SECTION
- A4.03 DECK SECTION
- SP1.01 SITE PLAN

REVISIONS:

#	DATE	REVISION



PROJECT ADDRESS:

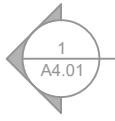
120 FESTIVAL WAY
HAMILTON, ON

DRAWING:

**PAVILION & DECK
COVER PAGE**

DATE: JUL-23-2025
 REVISED: -
 PAPER SIZE: 11"x17"
 SCALE:

A1.00



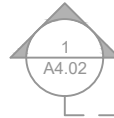
6x6 PT POSTS SUPPORTED IN
16" DIA x 4' DEEP CONCRETE PIERS
(4 TOTAL)

3 PLY 2x10 PT BEAM
2 - HEADLOK STRUCTURAL WOOD SCREWS ON A 45 DEGREE
ANGLE FROM BEAM TO SUPPORT, MIN 4" EMBEDMENT

2x8 RAFTERS @ 16" O.C. FASTENED TO BEAMS AT EACH
END WITH SST LUS28Z GALVANIZED HANGERS

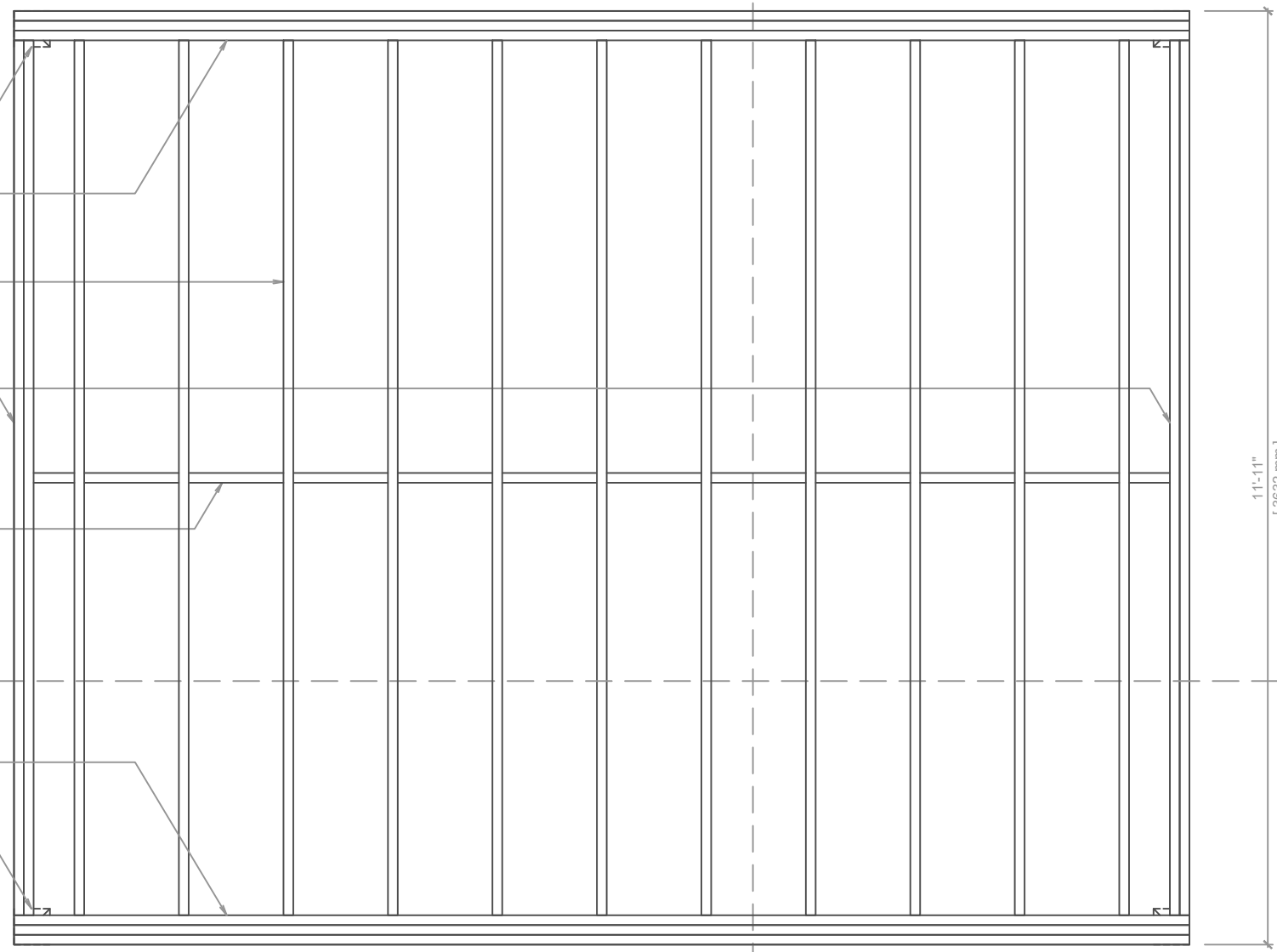
2 PLY 2x10 PT BEAM FASTENED TO BEAMS AT EACH END
WITH SST HUC210-2 GALVANIZED HANGERS

2x8 BLOCKING BETWEEN RAFTERS AT MIDSPAN



3 PLY 2x10 PT BEAM
2 - HEADLOK STRUCTURAL WOOD SCREWS ON A 45 DEGREE
ANGLE FROM BEAM TO SUPPORT, MIN 4" EMBEDMENT

6x6 PT POSTS SUPPORTED IN
16" DIA x 4' DEEP CONCRETE PIERS
(4 TOTAL)



15'-0"
[4572 mm]

11'-1 1/4"
[3632 mm]

REVISIONS:

#	DATE	REVISION

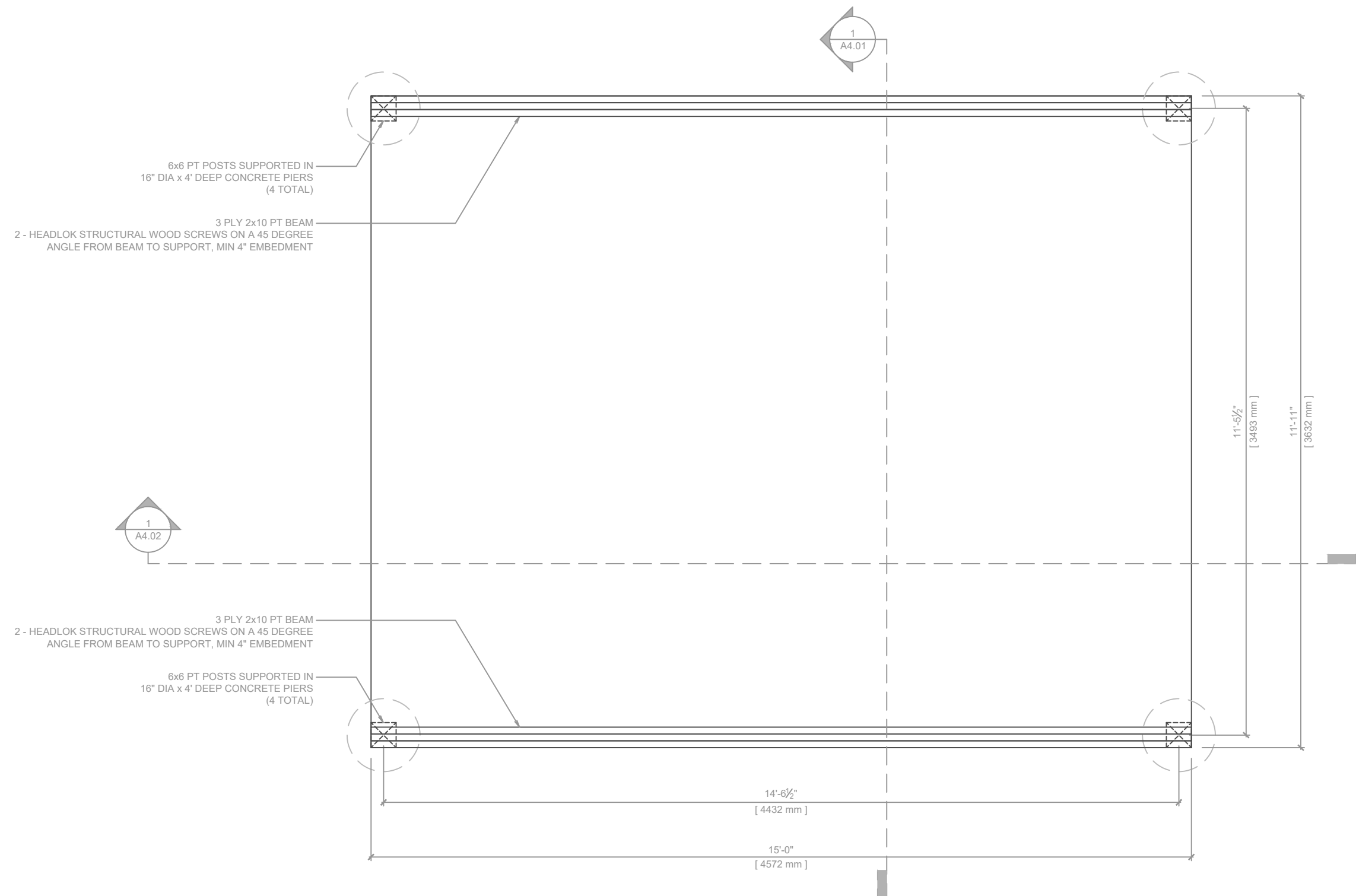


PROJECT ADDRESS:
120 FESTIVAL WAY
HAMILTON, ON

DRAWING:
**PAVILION
FRAMING PLAN**

DATE: JUL-23-2025
REVISED: -
PAPER SIZE: 11"x17"
SCALE: 1:25

A1.01



6x6 PT POSTS SUPPORTED IN
16" DIA x 4' DEEP CONCRETE PIERS
(4 TOTAL)

3 PLY 2x10 PT BEAM
2 - HEADLOK STRUCTURAL WOOD SCREWS ON A 45 DEGREE
ANGLE FROM BEAM TO SUPPORT, MIN 4" EMBEDMENT

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ANGLE FROM BEAM TO SUPPORT, MIN 4" EMBEDMENT

6x6 PT POSTS SUPPORTED IN
16" DIA x 4' DEEP CONCRETE PIERS
(4 TOTAL)

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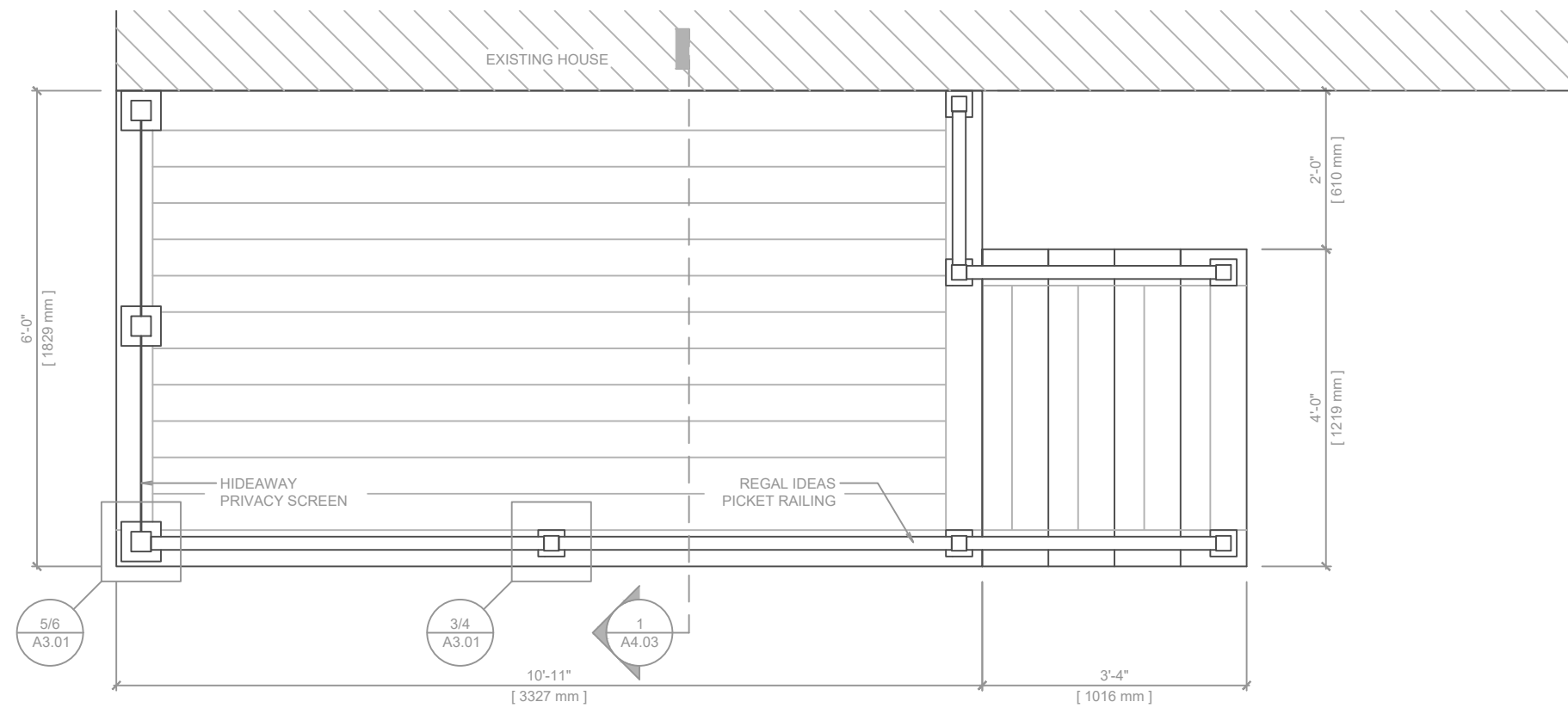


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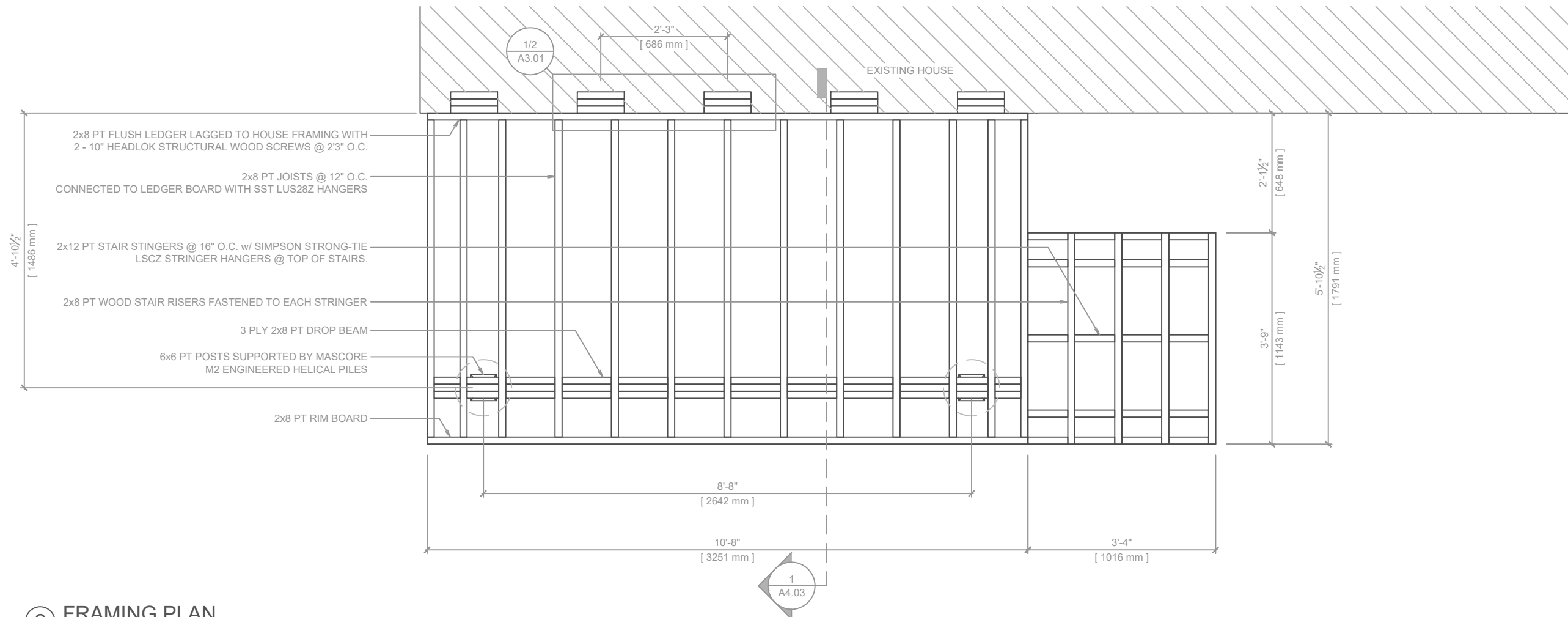
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**PAVILION
FOUNDATION PLAN**

DATE: JUL-23-2025
REVISED: -
PAPER SIZE: 11"x17"
SCALE: 1:25

A1.02



1 FLOOR PLAN
SCALE: 1:25



2 FRAMING PLAN
SCALE: 1:25

REVISIONS:

#	DATE	REVISION

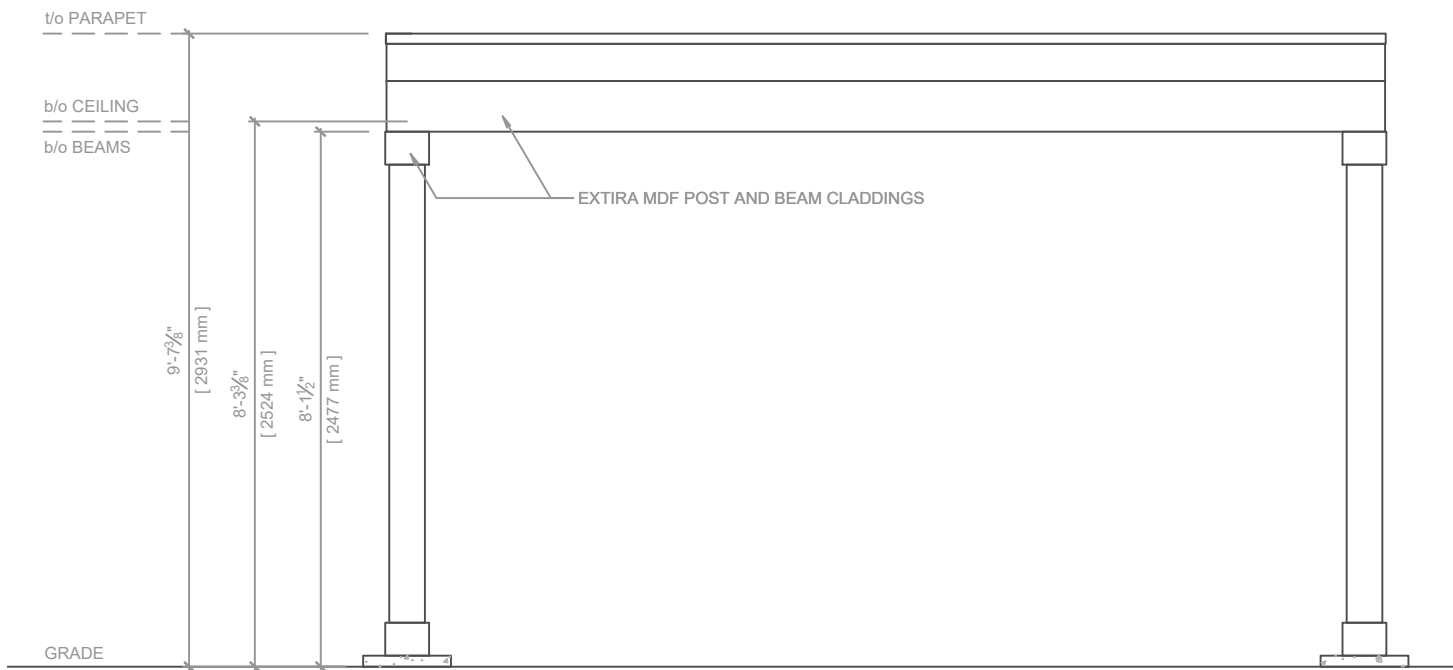


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HAMILTON, ON

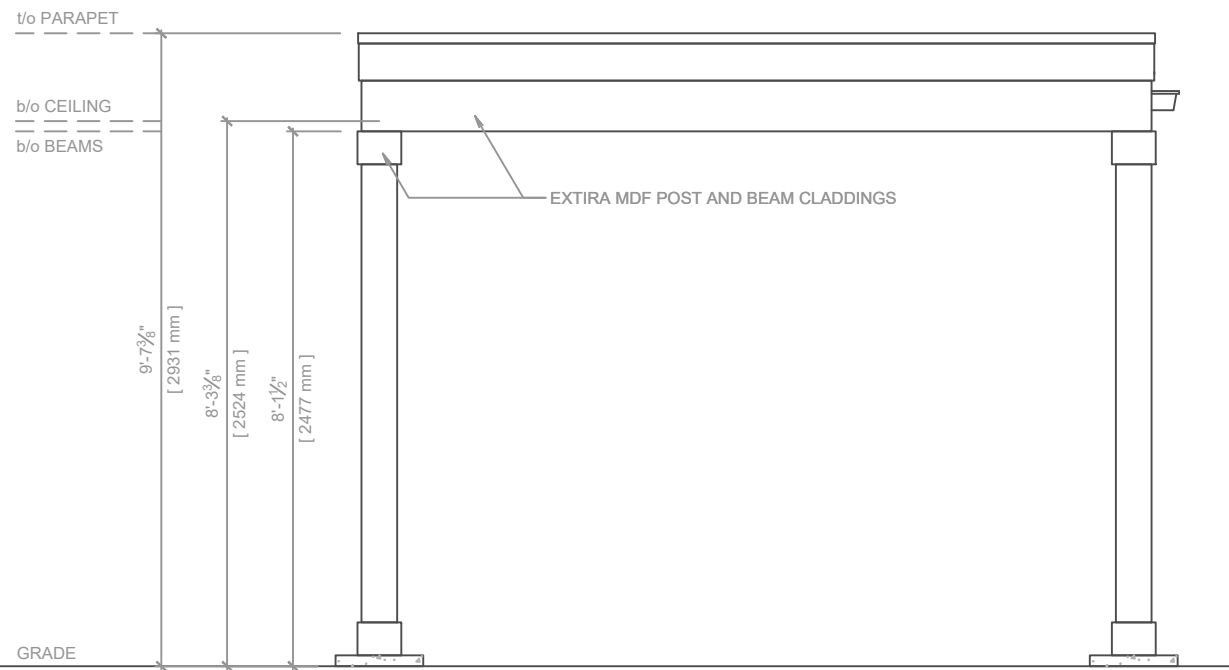
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**DECK
FRAMING PLAN**

DATE: JUL-23-2025
REVISED: -
PAPER SIZE: 11"x17"
SCALE: AS NOTED

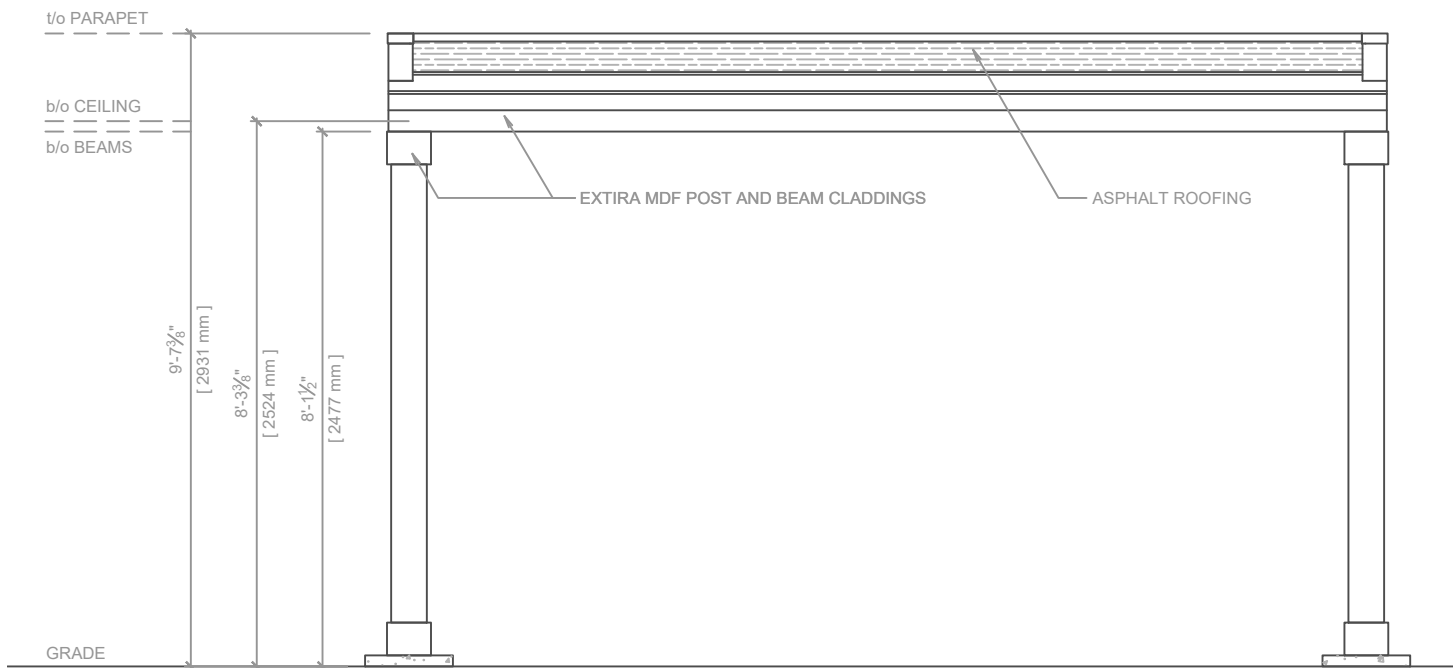
A1.03



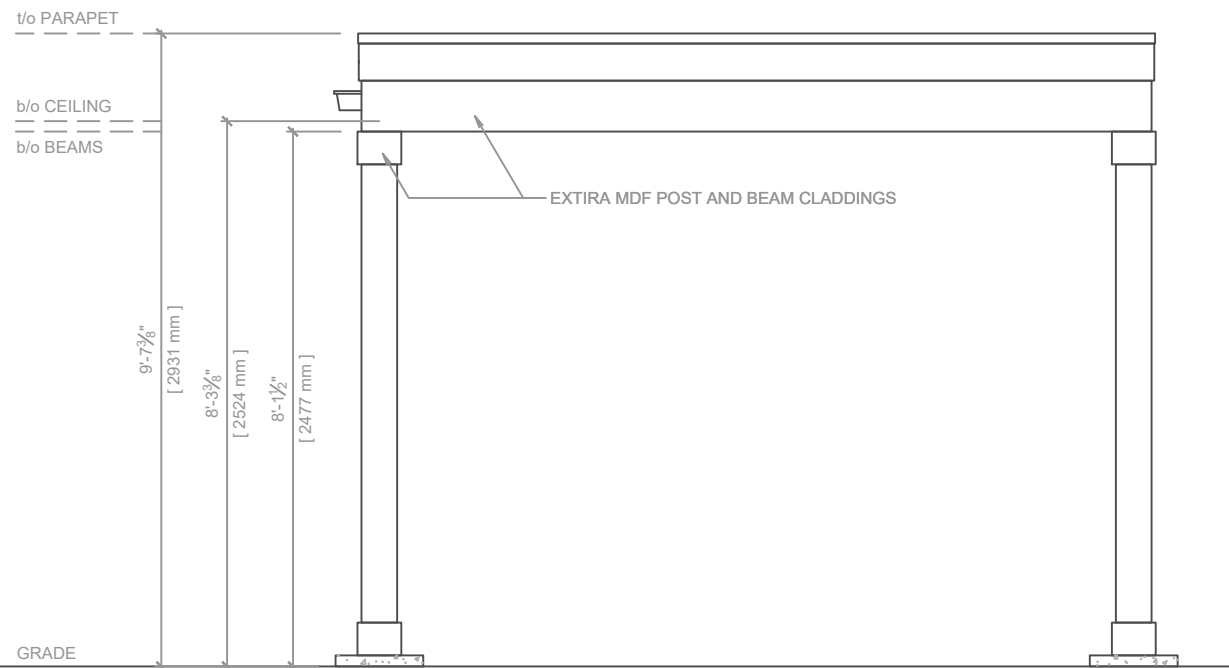
1 FRONT ELEVATION
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2 RIGHT ELEVATION
SCALE: 1:35



3 BACK ELEVATION
SCALE: 1:35



4 LEFT ELEVATION
SCALE: 1:35

REVISIONS:

#	DATE	REVISION

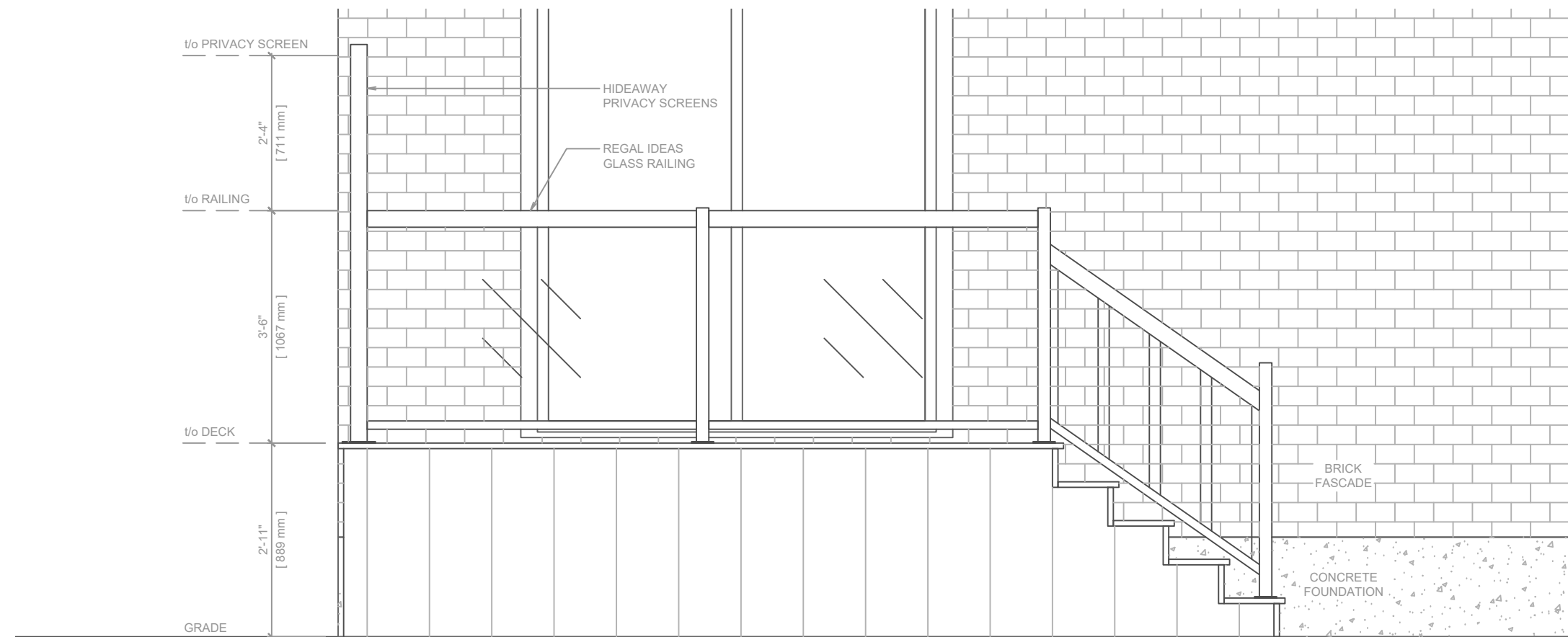


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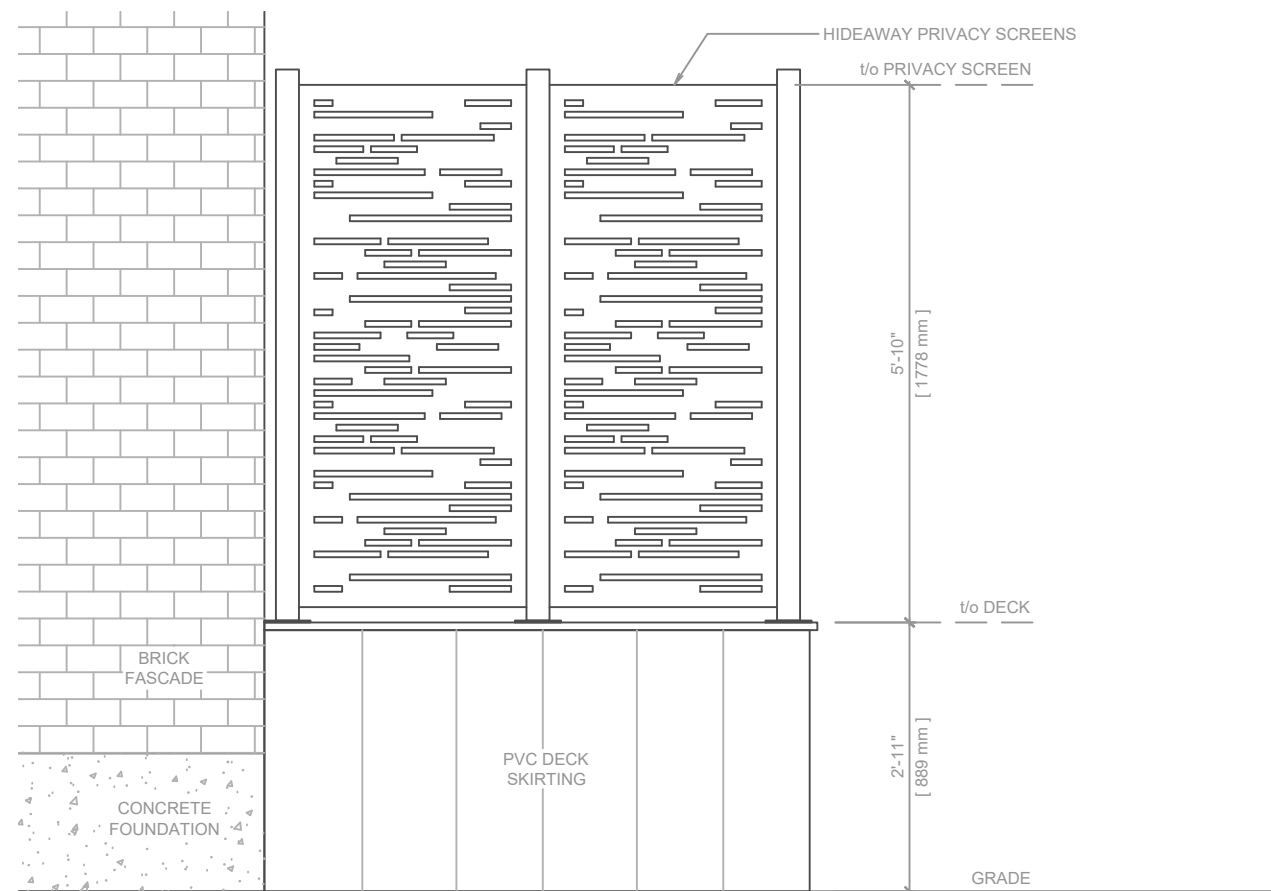
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**PAVILION
ELEVATIONS**

DATE: JUL-23-2025
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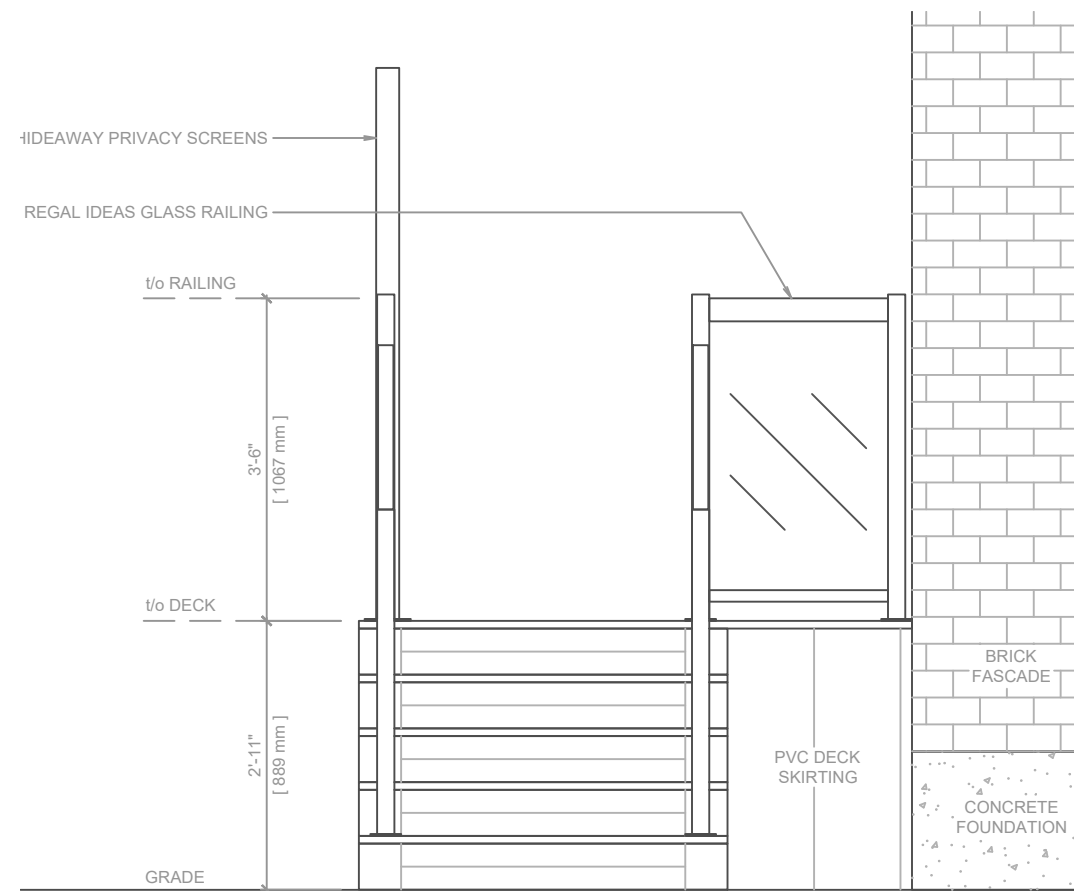
A2.01



1 FRONT ELEVATION
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2 LEFT ELEVATION
SCALE: 1:25



3 RIGHT ELEVATION
SCALE: 1:25

REVISIONS:

#	DATE	REVISION

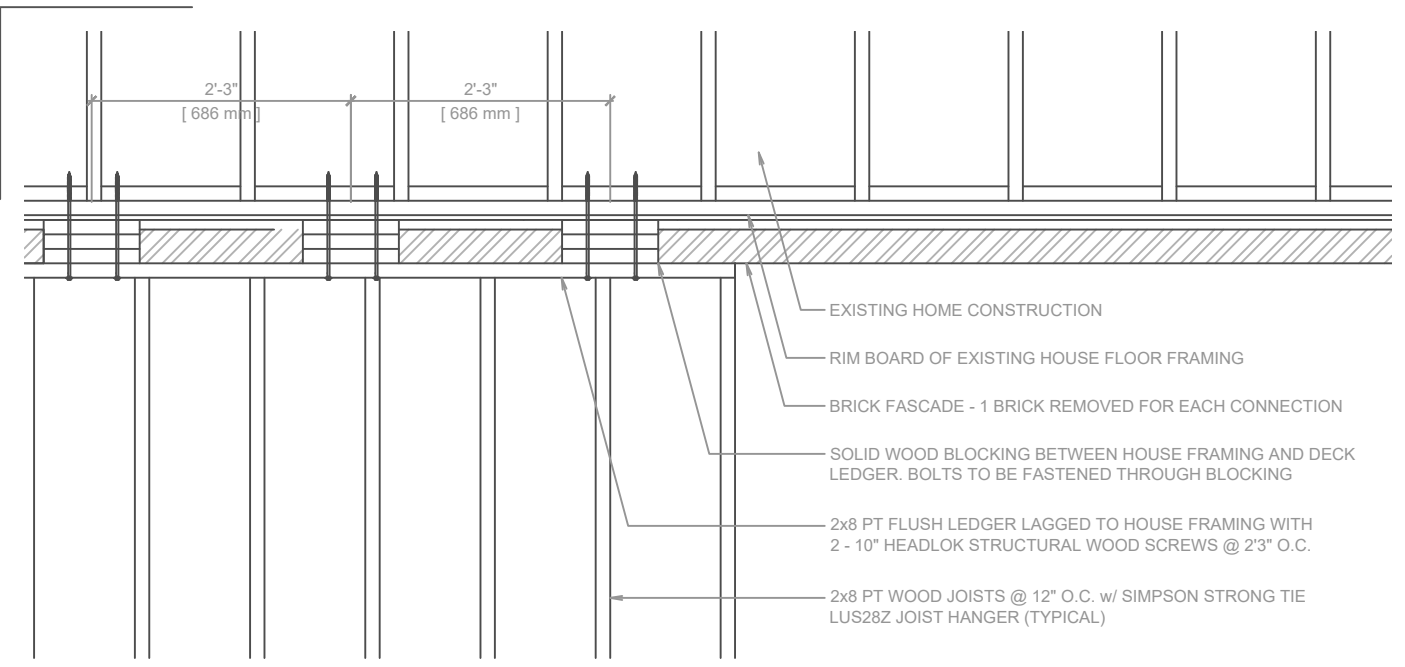


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HAMILTON, ON

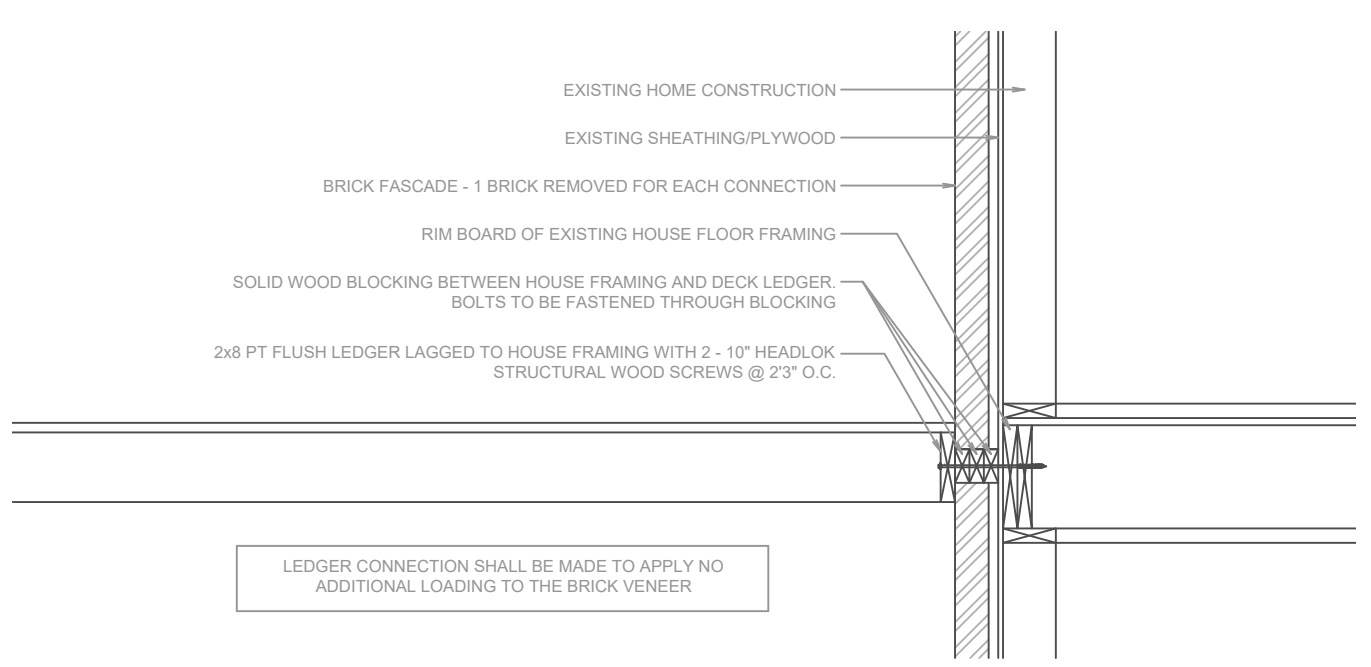
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**DECK
ELEVATIONS**

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SCALE: AS NOTED

A2.02



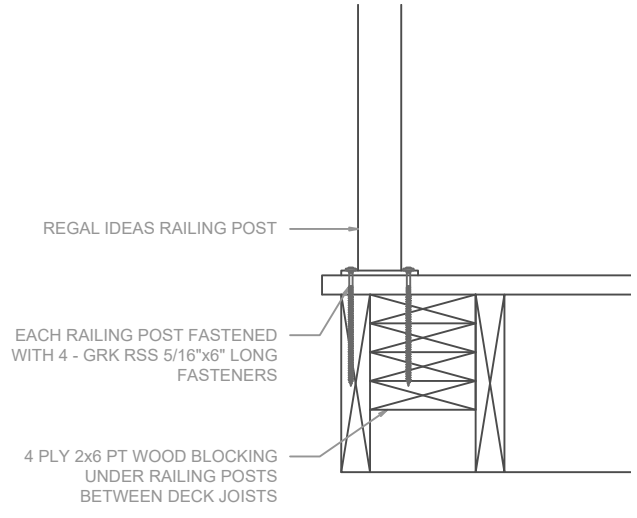
1 LEDGER CONNECTION - PLAN VIEW
SCALE: 1:20



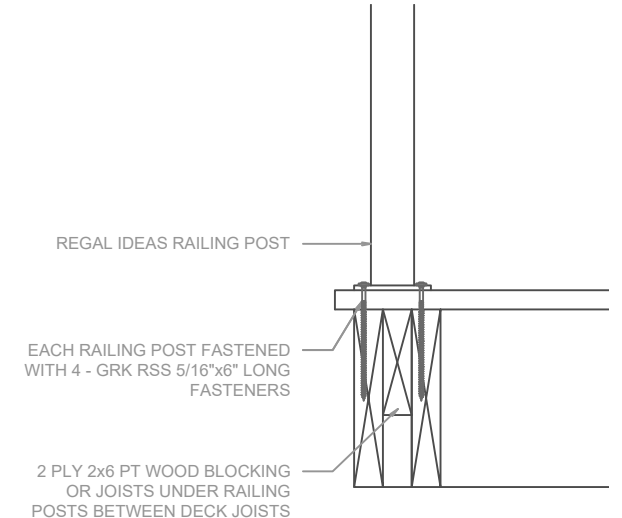
2 LEDGER CONNECTION - SECTION VIEW
SCALE: 1:20

REVISIONS:

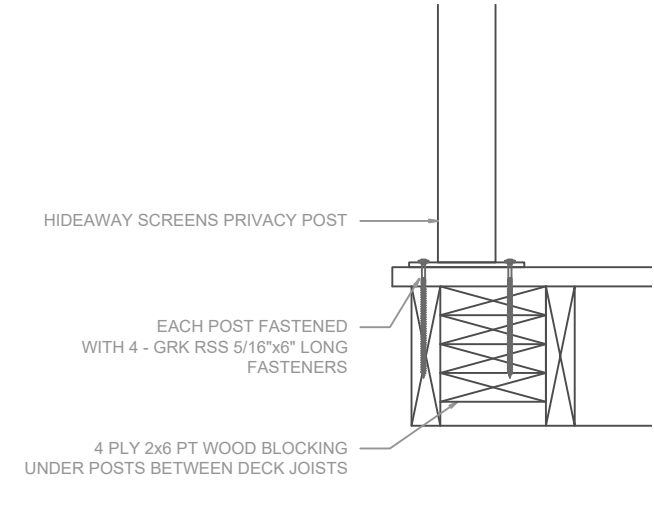
#	DATE	REVISION



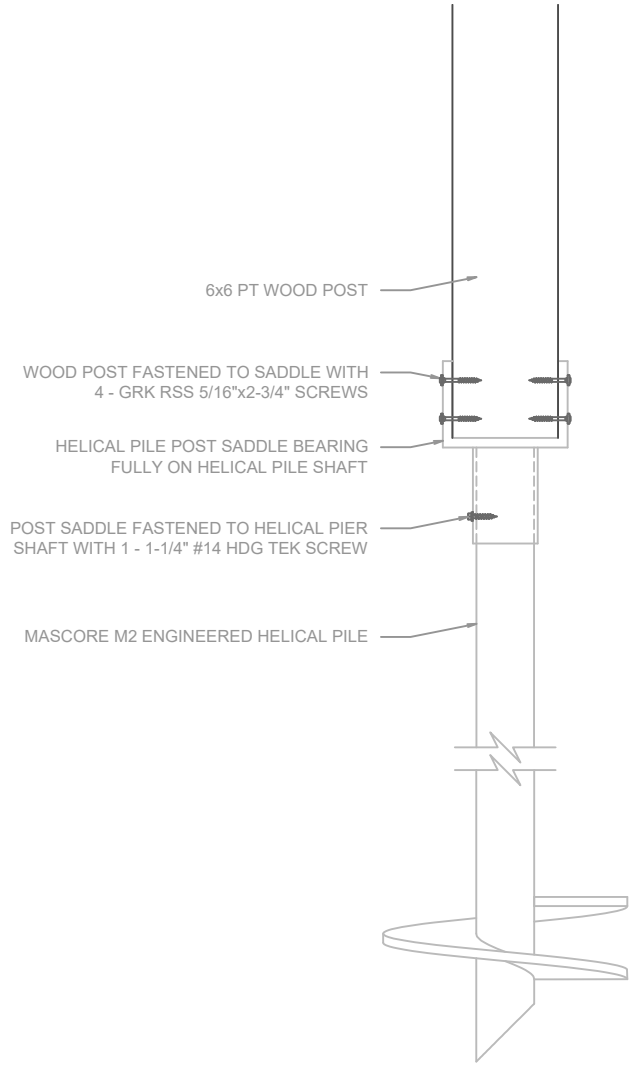
3 REGAL POST ANCHOR DETAIL 'A'
SCALE: 1:10



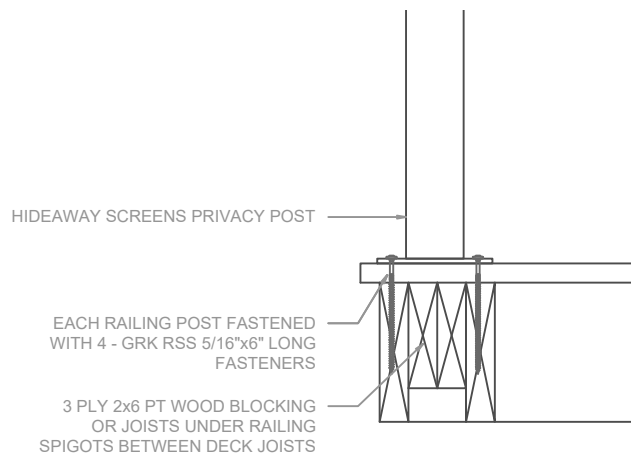
4 REGAL POST ANCHOR DETAIL 'B'
SCALE: 1:10



5 PRIVACY ANCHOR DETAIL 'A'
SCALE: 1:10



7 HELICAL PILE CONNECTION
SCALE: 1:10



6 PRIVACY ANCHOR DETAIL 'B'
SCALE: 1:10

- GENERAL NOTES:**
- ALL LUMBER SIZES ARE NOMINAL
 - ALL LUMBER TO BE GRADE 1 OR BETTER
 - ALL LUMBER IN CONTACT WITH GROUND TO BE TREATED TO PREVENT AGAINST MOISTURE
 - BEAMS AND COLUMNS TO BE ADEQUATELY TIED TO PREVENT HORIZONTAL MOVEMENT
 - BEAMS TO HAVE MIN 3" DIRECT BEARING OR HANGERS SHALL BE USED
 - JOISTS TO HAVE MIN 1-1/2" DIRECT BEARING OR HANGERS SHALL BE USED
 - ALL HANGERS TO BE ADEQUATELY SIZED SIMPSON STRONG-TIE HANGERS
 - ALL PIERS TO EXTEND 4' BELOW GRADE AND 4" ABOVE GRADE
 - ALL CONSTRUCTION SHALL CONFORM TO THE ONTARIO BUILDING CODE
 - CONNECTIONS AS PER CSA-086-01 (minimum)

- STAIR NOTES:**
- STRINGERS: MIN 2"x10" PT LUMBER
 - TREADS: MIN 255mm (10"), MAX 355mm (14")
 - RISERS: MIN 125mm (5"), MAX 200mm (7-7/8")
 - ALL TREADS AND RISERS TO BE UNIFORM
 - HANDRAIL HEIGHT TO BE MIN 865mm (34") AND MAX 965mm (38") ABOVE STAIR NOSING

- GUARD NOTES:**
- 900mm (35-1/2") TALL GUARDS IN ALL LOCATIONS WHERE THE DIFFERENCE IN GRADE EXCEEDS 600mm (23-5/8")
 - 1070mm (42") TALL GUARDS IN ALL LOCATIONS WHERE THE DIFFERENCE IN GRADE EXCEEDS 1800mm (5'-11")
 - HANDRAIL HEIGHT TO BE MIN 865mm (34") AND MAX 965mm (38") ABOVE STAIR NOSING
 - ALL GLASS IN GUARDS TO BE TEMPERED
 - GUARDS TO CONFORM TO SB-7 REQUIREMENTS

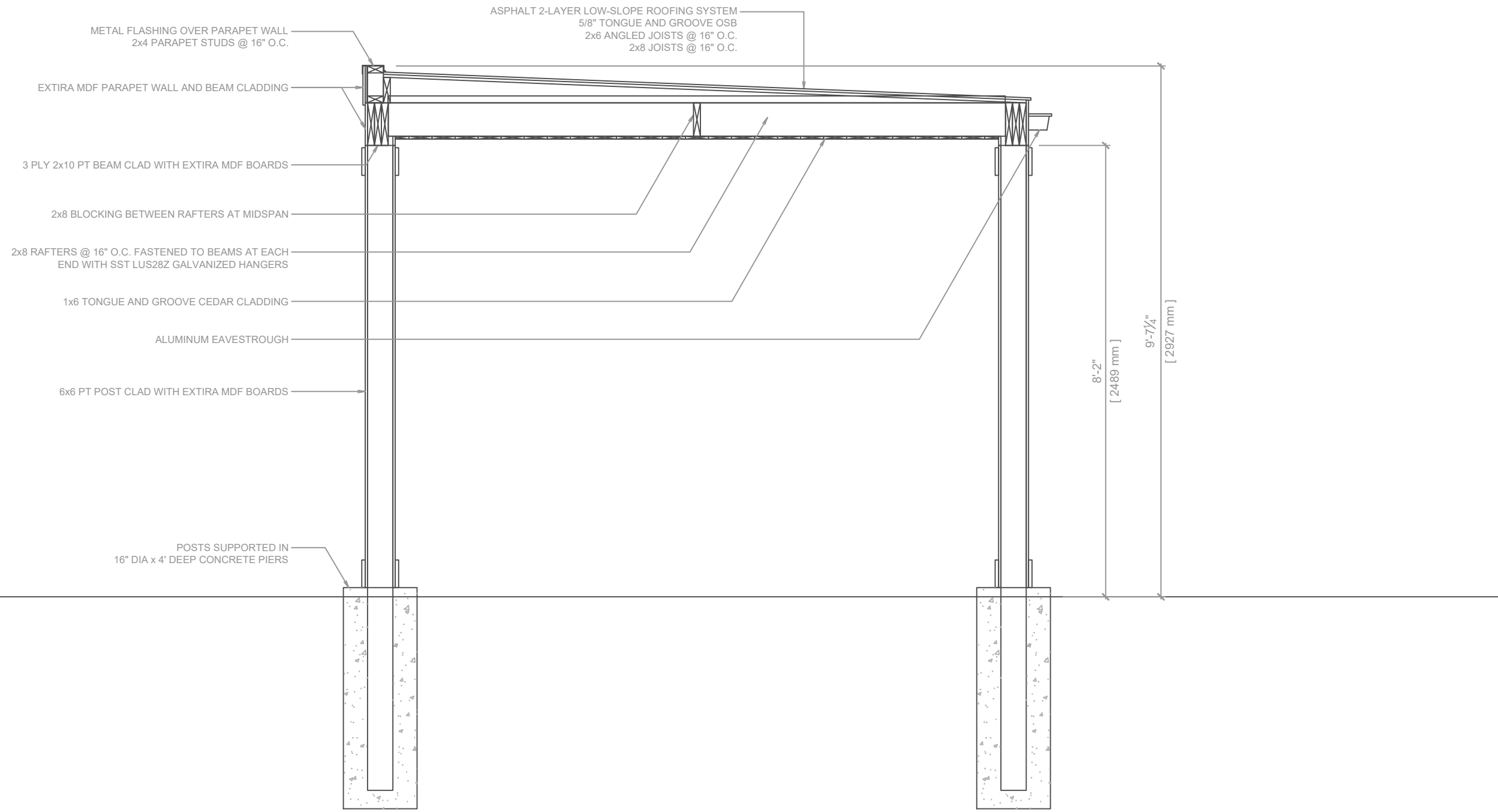


PROJECT ADDRESS:
120 FESTIVAL WAY
HAMILTON, ON

DRAWING:
DECK DETAILS

DATE: JUL-23-2025
REVISED: -
PAPER SIZE: 11"x17"
SCALE: AS NOTED

A3.01



ASPHALT 2-LAYER LOW-SLOPE ROOFING SYSTEM
 5/8" TONGUE AND GROOVE OSB
 2x6 ANGLED JOISTS @ 16" O.C.
 2x8 JOISTS @ 16" O.C.

METAL FLASHING OVER PARAPET WALL
 2x4 PARAPET STUDS @ 16" O.C.

EXTIRA MDF PARAPET WALL AND BEAM CLADDING

3 PLY 2x10 PT BEAM CLAD WITH EXTIRA MDF BOARDS

2x8 BLOCKING BETWEEN RAFTERS AT MIDSPAN

2x8 RAFTERS @ 16" O.C. FASTENED TO BEAMS AT EACH
 END WITH SST LUS28Z GALVANIZED HANGERS

1x6 TONGUE AND GROOVE CEDAR CLADDING

ALUMINUM EAVESTROUGH

6x6 PT POST CLAD WITH EXTIRA MDF BOARDS

POSTS SUPPORTED IN
 16" DIA x 4' DEEP CONCRETE PIERS

8'-2" [2489 mm]
 9'-7/4" [2927 mm]

- GENERAL NOTES:
- ALL LUMBER SIZES ARE NOMINAL
 - ALL FRAMING LUMBER TO BE SPRUCE-PINE-FIR GRADE 1 OR BETTER
 - ALL LUMBER IN CONTACT WITH GROUND TO BE TREATED TO PREVENT AGAINST MOISTURE
 - ALL BEAMS TO BE EXTERIOR GRADE, OR WRAPPED WITH EXTERIOR CLADDINGS
 - BEAMS AND COLUMNS TO BE ADEQUATELY TIED TO PREVENT HORIZONTAL MOVEMENT
 - BEAMS TO HAVE MIN 3" DIRECT BEARING OR HANGERS SHALL BE USED
 - JOISTS TO HAVE MIN 1-1/2" DIRECT BEARING OR HANGERS SHALL BE USED
 - ALL PIERS TO EXTEND 4' BELOW GRADE
 - ALL CONSTRUCTION SHALL CONFORM TO THE ONTARIO BUILDING CODE
 - CONNECTIONS AS PER CSA-086-01 (min)

REVISIONS:

#	DATE	REVISION

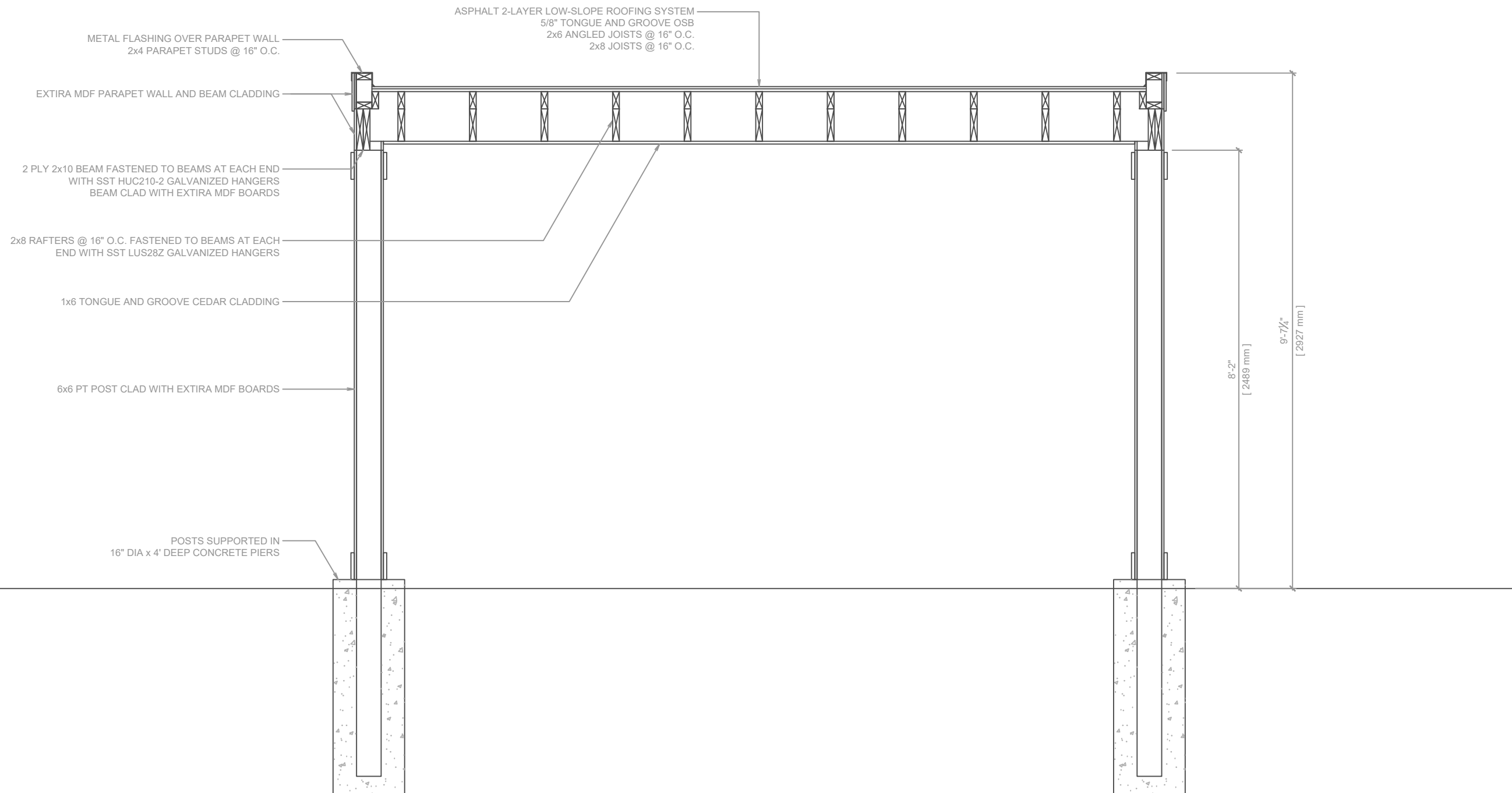


PROJECT ADDRESS:
 120 FESTIVAL WAY
 HAMILTON, ON

DRAWING:
**PAVILION
 SECTION**

DATE: JUL-23-2025
 REVISED: -
 PAPER SIZE: 11"x17"
 SCALE: 1:25

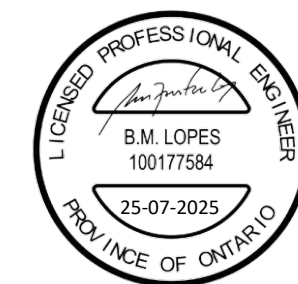
A4.01



- GENERAL NOTES:
- ALL LUMBER SIZES ARE NOMINAL
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 - CONNECTIONS AS PER CSA-086-01 (min)

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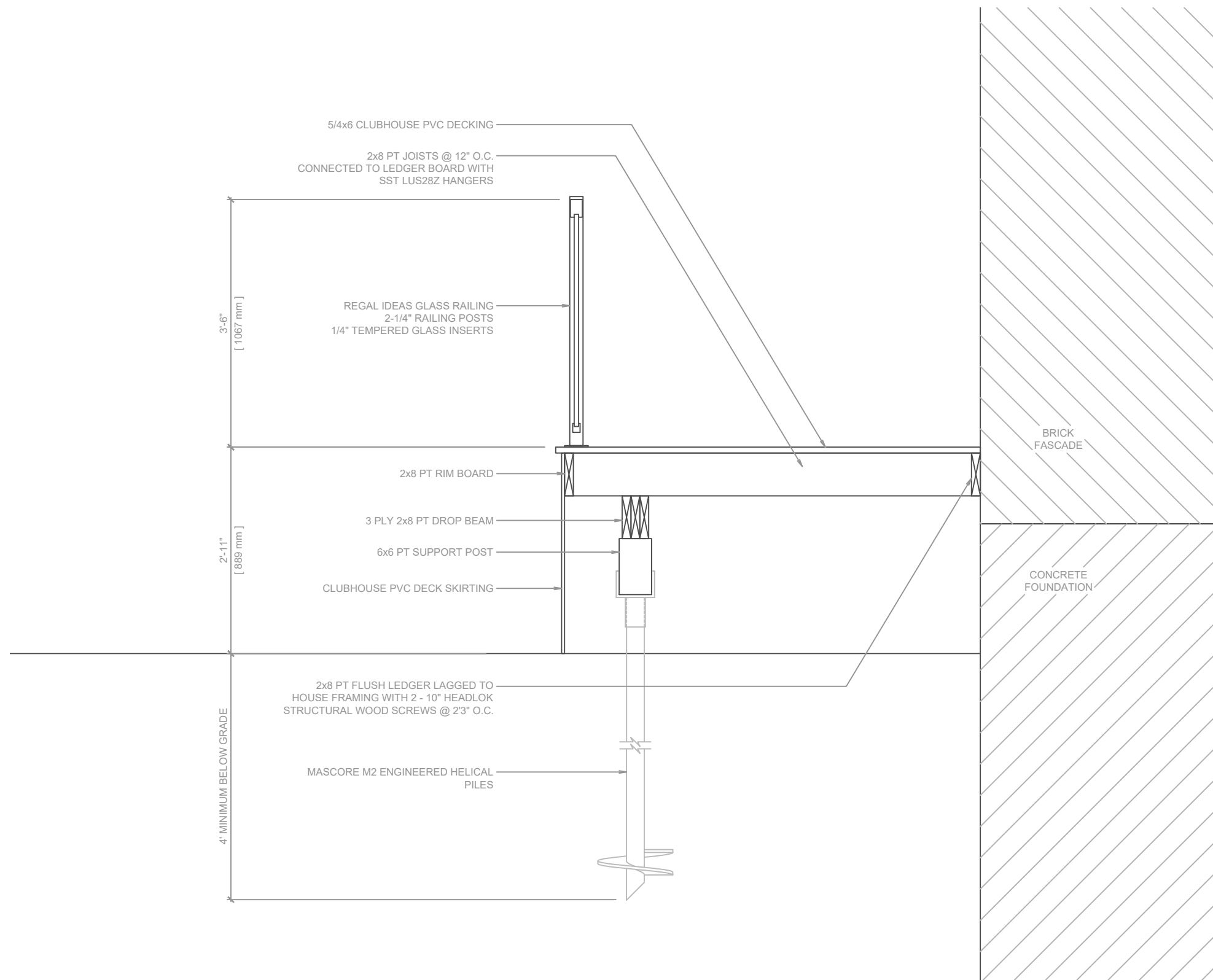


PROJECT ADDRESS:
120 FESTIVAL WAY
HAMILTON, ON

DRAWING:
PAVILION SECTION

DATE: JUL-23-2025
REVISED: -
PAPER SIZE: 11"x17"
SCALE: 1:25

A4.02



REVISIONS:

#	DATE	REVISION

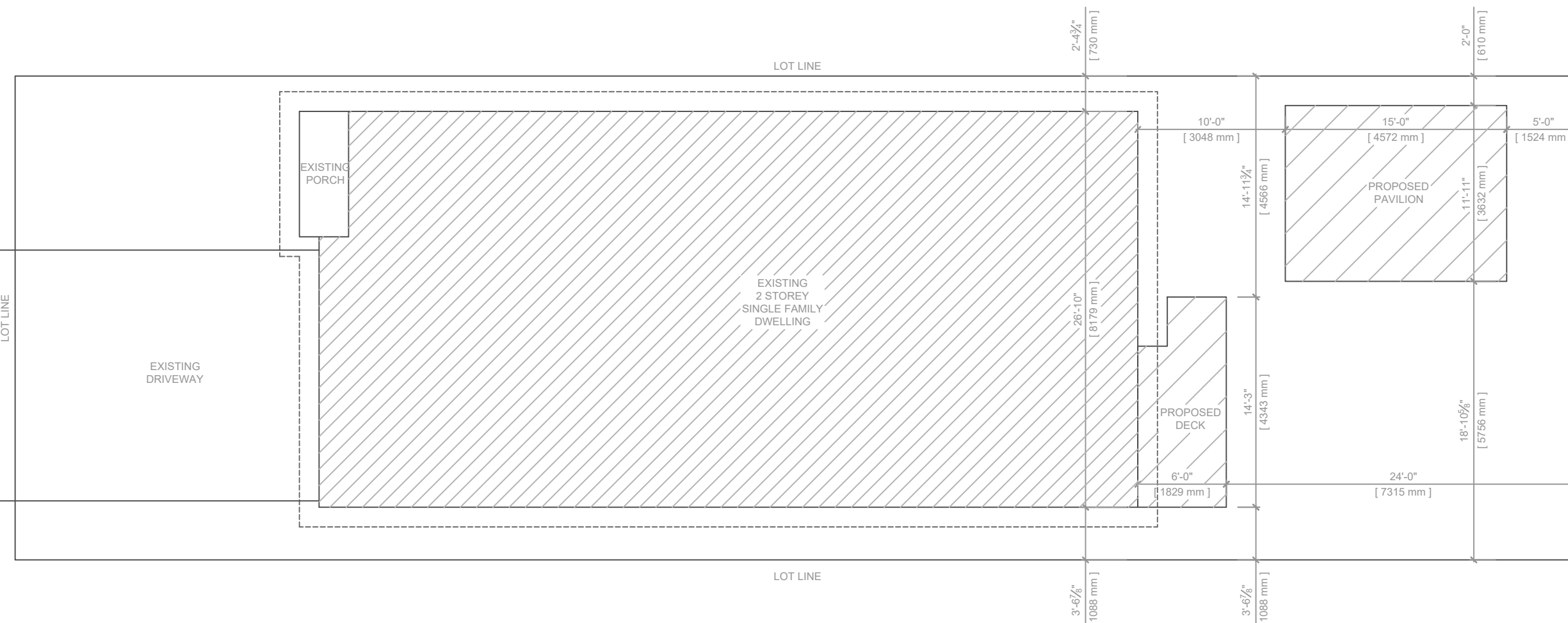


PROJECT ADDRESS:
120 FESTIVAL WAY
HAMILTON, ON

DRAWING:
**DECK
SECTION**

DATE: JUL-23-2025
REVISED: -
PAPER SIZE: 11"x17"
SCALE: 1:20

A4.03



----- ROOF LINES

REVISIONS:

#	DATE	REVISION



PROJECT ADDRESS:
120 FESTIVAL WAY
HAMILTON, ON

DRAWING:
SITE PLAN

ZONE R4-276			
LOT AREA:	323.31 m ²	FRONTAGE:	10.00 m
LOT COVERAGE			
EXISTING HOUSE	136.78 m ²	42.31 %	
PROPOSED PAVILION	16.61 m ²	5.14 %	
PROPOSED PAVILION	7.32 m ²	2.27 %	
TOTAL	160.71 m²	49.71 %	

DATE: JUL-23-2025
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 PAPER SIZE: 11"x17"
 SCALE: 1:100

SP1.01



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

**APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT***

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS
Registered Owners(s)	Matthew & Bianca Stavroff	
Applicant(s)	Chris Hopkins	
Agent or Solicitor	Chris Hopkins	

1.2 Primary contact Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Applicant Owner Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type In person Credit over phone* Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	120 Festival Way, Hamilton Ontario L0R 1C0		
Assessment Roll Number	251890134038521		
Former Municipality	Glanbrook		
Lot		Concession	
Registered Plan Number	62M1252	Lot(s)	4
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

Maintenance easement between adjacent lots.

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

a 0.6 metre side yard setback for an accessory building (gazebo) shall be permitted instead of the minimum required setback of 1.0 metres.

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

This is a narrow lot and a smaller side yard setback for the proposed gazebo will create more usable space throughout back yard.

The proposed 0.6 metre setback is consistent with the accessory building setback. 

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
6.2m	32.3m	322.5m ²	8.2m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Single Detached Dw.	6.1m	9.1m	0.7m & 1.06m	11/11/2019

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Accessory Structure	N/A	1.5m	(left side 0.6m) (right side 5.8m)	03/01/2026

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Single detached dw.	146m ²	260m ²	2	6m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
accessory structure	16.7m ²	16.7m ²	1	2.9m

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
 - privately owned and operated individual well

- lake or other water body
- other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
 - swales

- ditches
- other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

publicly owned and operated sanitary sewage

system privately owned and operated individual

septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

provincial highway

right of way

municipal road, seasonally maintained

other public road

municipal road, maintained all year _____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Single Detached Dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
Single Detached Dwellings

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:
2019

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Single Detached Dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Single Detached Dwelling

7.4 Length of time the existing uses of the subject property have continued:
2019

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with the Official Plan.

Accessory buildings are permitted for single detached dwellings

7.6 What is the existing zoning of the subject land? R4-276 zone of Glanbrook ZBL 464

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

Yes

No

If yes, please provide the file number: R4-276 zone of Glanbrook ZBL 464

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: N/A

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

Backyard renovations include a new deck, pool and gazebo. proposed gazebo is setback 0.6m instead of the minimum required 1.0m

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
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