



Hamilton

APPLICATION TABLED

A-24:112 — 1007 Beach Boulevard, Hamilton

This application has been **TABLED** prior to the meeting and will not be heard at the April 30, 2026 Committee of Adjustment Hearing. — Committee of Adjustment Staff (4/13/2026)

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding this file, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-24:112	SUBJECT PROPERTY:	1007 Beach Blvd, Hamilton
ZONE:	C/S-1435 C/S-1435a C/S-1822 (Urban Protected Residential, Etc.)	ZONING BY-LAW:	Hamilton Zoning By-law 6593

APPLICANTS: Owner: Sandra Clark
 Applicant:
 Agent: Michael P. Sabelli

The following variances are requested:

1. A minimum Side Yard width of 1.2 metres shall be permitted for the portion of the lands to be retained and the portion of the lands to be severed, instead of the minimum required Side Yard width of 1.5 metres.

PURPOSE & EFFECT: To facilitate Consent/Land Severance Application B-24:30 to create two (2) lots and facilitate the construction of two (2) new Single Family Dwellings, one on each of the proposed lots.

Notes:

- i. Variance #1 is written to reflect the requirement of Amending By-law 99-169 1.(a) & (b) of Hamilton Zoning By-law 6593 which establishes a minimum Side Yard width of 1.5 metres where a common swale between the adjoining properties is provided which has been approved under a Lot Grading Agreement or approved under a Site Plan Control Agreement.
- ii. The height of the two (2) proposed Single Family Dwellings has not been provided. As this information has not been provided, we are unable to determine compliance and additional variances may be required.
- iii. Two (2) fences are indicated in the Rear Yard for both proposed properties. The distance between the bottom of the fences and the ground has not been indicated. The requirement is

every fence, excluding the supporting posts must be at least 0.075m from the ground to the bottom of the fence, so as not to obstruct the natural flow of water. As this information has not been provided, we are unable to determine compliance and additional variances may be required.

- iv. The width of the two (2) proposed lots has not been indicated. The requirement is a Minimum Lot Width of at least 12.0 metres (39.27 feet). As this information has not been provided, we are unable to determine compliance and additional variances may be required.
- v. The area of the two (2) proposed lots has not been indicated. The requirement is a Minimum Lot Area of at least 360.0 square metres (3,875.13 square feet) within the district. As this information has not been provided, we are unable to determine compliance and additional variances may be required.
- vi. Front porches are indicated for both proposed lots. It is unclear if the front porches are to be enclosed and if they are considered as part of the Principal Building or to be measured as part of a permitted encroachment as per Section 18(3)(vi)(d). As this information has not been provided, we are unable to determine compliance and additional variances may be required.
- vii. The percentage of the gross area of the front yard which is Landscaping has not been indicated for the two (2) proposed Lots. As this information has not been provided, we are unable to determine compliance and additional variances may be required.
- viii. A Garage has not been indicated for the two (2) proposed Lots. If Garages are part of the proposed Single Family Dwellings they are required to meet the zoning regulations. As this information has not been provided, we are unable to determine compliance and additional variances may be required.
- ix. The number of Habitable Rooms has not been indicated. Therefore, we are unable to determine the Required number of Parking Spaces for the two (2) proposed Single Family Dwellings. As this information has not been provided, we are unable to determine compliance and additional variances may be required.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, April 30, 2026
TIME:	11:15 a.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

A-24:112

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

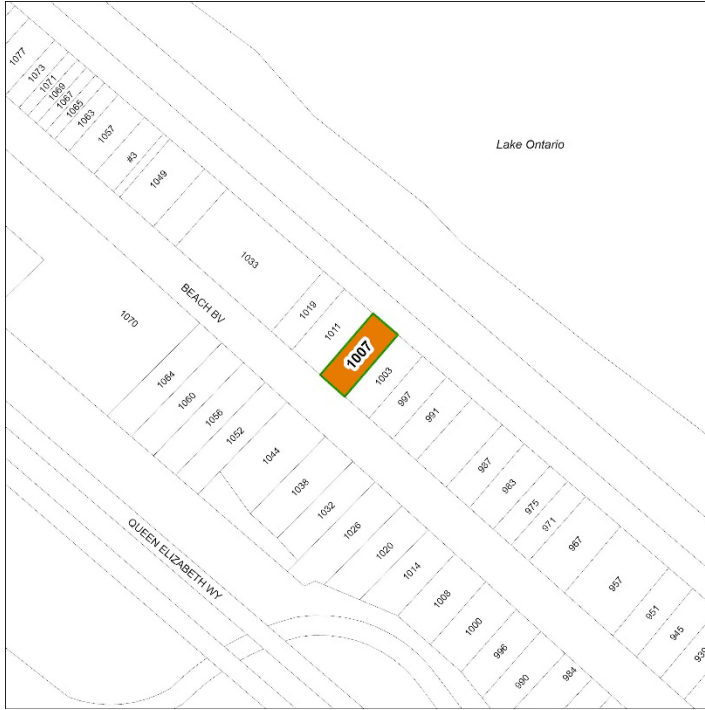
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon April 28, 2026.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon April 29, 2026.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-24:112, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: April 13, 2026

Justin Leung,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATING PROCEDURES

1. Written Submission Ahead of the Meeting

Members of the public who wish to provide input without speaking at the Hearing may submit written comments in advance of the meeting. Comments must be received by **12:00 p.m. (noon)** on the deadline date for written comment submissions listed on the Notice of Public Hearing.

How to Submit Written Comments:

By Email:

Send to: cofa@hamilton.ca

By Mail:

Committee of Adjustment
City of Hamilton
71 Main Street West, 5th Floor
Hamilton, Ontario
L8P 4Y5

The following information is required with your written submission:

- Committee of Adjustment file number
- Full name and address of the person providing comments. Anonymous comments will not be accepted.

Comments can also be placed in the drop box which is located at the back of the 1st Floor of City Hall, 71 Main Street West. All written comments received by the deadline will be made available to the Committee and the public by the Tuesday prior to the Hearing.

2. Oral Submissions During the Hearing

Interested members of the public, agents, and owners may provide oral comments on Committee of Adjustment Hearing items either virtually via Webex (computer or phone) or by attending in person.

Speaking Time Limit:

All participants providing oral submissions, either in person or virtually are limited to a maximum of 5 minutes to speak. This is to ensure all parties have an equal opportunity to be heard and that the meeting runs efficiently.

3. In-Person Oral Submissions

To participate in person, attend Council Chambers on the date and time listed in the Notice of Public Hearing. You will be required to provide your name and address for the record. It is recommended you arrive at least 10 minutes prior to the scheduled start time.

4. Virtual Oral Submissions

To participate virtually, you must register by 12:00 p.m. (noon) on the virtual oral submissions registration deadline date. This is listed on the Notice of Public Hearing. To register, email cofa@hamilton.ca with the following information:

- Committee of Adjustment file number
- Hearing date
- Full name and address of the person wishing to speak. Anonymous comments will not be accepted.
- Method of participation (phone or video), and, if applicable, the phone number to be used
- Each person must register separately

Registered participants will receive a Webex link one business day before the Hearing. Only those registered will be called upon to speak.

5. Presentations

All presentations are permitted at the discretion of the Committee.

Virtual Presentations:

Presenters participating virtually may be granted permission to share their screen during the Hearing. A copy of the presentation must be submitted to cofa@hamilton.ca **by 12:00 p.m. (noon) on the business day prior to the Hearing**. The submission must be one document in PDF format only.

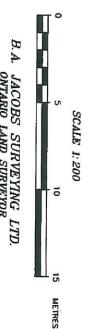
In-Person Presentations:

Presenters attending in person may be granted permission to use the presentation screen. Presentations must be brought on a USB device and opened by the owner/applicant. A copy of the presentation must also be sent to cofa@hamilton.ca **by 12:00 p.m. (noon) on the business day prior to the Hearing**. The submission must be one document in PDF format only. Handouts are permitted only if the same content can be displayed on the presentation screen.

6. Additional Notes

- Webex (video) participation requires a compatible computer or smartphone. The necessary application must be downloaded in advance.
- It is the interested party's responsibility to ensure their device is functional and compatible prior to the Hearing.

For any questions, contact staff at cofa@hamilton.ca or call 905-546-2424 ext. 4221.

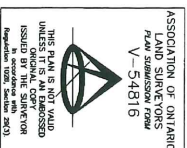


METRIC NOTE:
 DISTANCES SHOWN ON THIS PLAN ARE IN METERS AND CAN BE
 CONVERTED TO FEET BY DIVIDING BY 0.3048.

BEARING NOTE:
 BEARINGS HEREIN ARE GRID BEARINGS AND ARE DERIVED FROM
 THE CANADIAN NATIONAL RAILWAY BEACH BOULEVARD AS SHOWN ON
 PLAN 17568-0416 (LT) AND THE NATIONAL UTM COORDINATE SYSTEM, ZONE 17, CENTRAL
 MERIDIAN BY WEST LONGITUDE.

LEGEND:
 DENOTES SURVEY MONUMENT FOUND
 DENOTES STANDARD IRON BAR
 DENOTES SURVEY MONUMENT PLANNED
 DENOTES IRON BAR
 DENOTES FROM SURVEY
 DENOTES FROM SURVEY
 DENOTES WITNESS
 DENOTES NO IDENTIFICATION
 DENOTES PLAN 62R-15480
 DENOTES PLAN 62R-14924
 DENOTES PLAN 62R-14824
 DENOTES PLAN 62R-14824
 DENOTES L.T. REFERS O.L.S. (FILE E-5142)
 DENOTES REGION OF HAMILTON-NEWWORTH
 (RHW)

SURVEYOR'S REAL PROPERTY REPORT PART 2 - REPORT SUMMARY
DESCRIPTION OF LAND BEING ALL OF LOT 7, REGISTERED PLAN 452, KNOWN AS MUNICIPAL NO. 1007 BEACH BOULEVARD, CITY OF HAMILTON
REGISTERED EASEMENTS AND/OR RIGHTS OF WAY AND/OR RIGHTS OF THE SUBJECT PROPERTY ON THE PARCEL REGISTERED FOUND IN THE LAND REGISTRY OFFICE
BOUNDARY FEATURES NOTE LOCATION OF THE FENCES AS THEY RELATE TO THE BOUNDARIES OF THE SUBJECT PROPERTY.
COMPLIANCE WITH MUNICIPAL ZONING BY-LAWS NOT CERTIFIED BY THIS REPORT



THIS REPORT WAS PREPARED FOR SANDRA CLARK

SURVEYOR'S CERTIFICATE

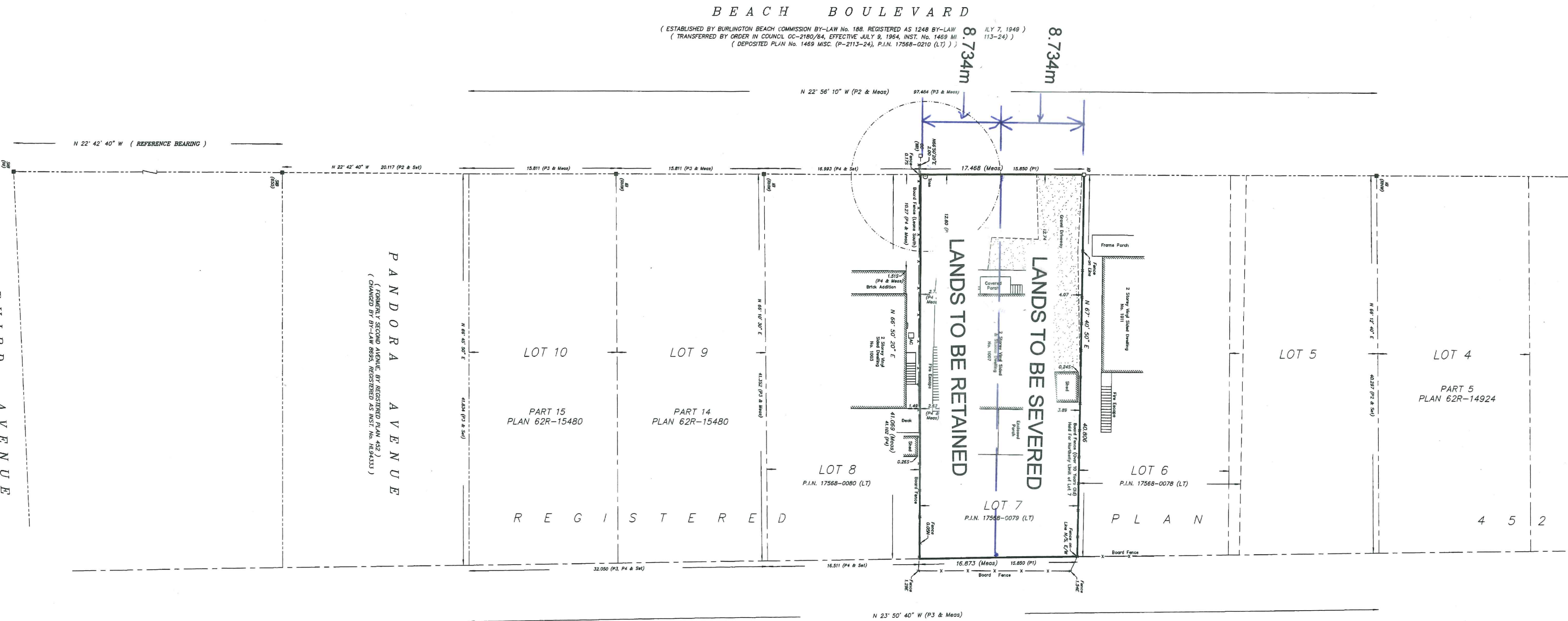
I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
 WITH THE SURVEY ACT, THE SURVEYORS ACT AND THE
 REGULATIONS MADE UNDER THEM;
 2. THE SURVEY WAS COMPLETED ON DECEMBER 12, 2023.

DATE: DECEMBER 12, 2023

B.A. JACOBS SURVEYING LTD.
 102 JACOBSON STREET EAST, SUITE 102
 HAMILTON, ONTARIO (L8N 1L3)
 PHONE 905-521-1555 b.jacobs@regsys.com

THIRD AVENUE

BURLINGTON BEACH (EAST SIDE OF BEACH BOULEVARD, (UNREGISTERED))
 (FORMERLY LANDS OF CANADIAN NATIONAL RAILWAY, P.I.N. 17568-0416 (LT))





Hamilton

Mailing Address:
71 Main Street West
Hamilton, Ontario
Canada L8P 4Y5
www.hamilton.ca

Planning and Economic Development Department
Planning Division
71 Main Street West, 4th Floor, Hamilton, Ontario, L8P 4Y5
Phone: 905-546-2424 ext. 1291
Fax: 905-540-5611

November 25, 2025

Sandra Clark
1007 Beach Boulevard
Hamilton Ontario
L8H 6Z8

Re: Notice of Council Decision for Heritage Permit Application HP2025-026 for 1007 Beach Boulevard, Hamilton (Ward 5), Hamilton Beach Heritage Conservation District, Designated under Part V of the *Ontario Heritage Act* (By-law No. 00-135)

Please be advised that Council, at its meeting on November 19, 2025, resolved to approve Heritage Permit Application HP2025-026 (Planning Committee Minutes 25-015, Item 9.3, PED25228) for the demolition of the existing two-storey single-detached dwelling; and construction of two new two-storey dwellings at 1007 Beach Boulevard, Hamilton under section 34 of the Ontario Heritage Act, in accordance with the submitted Heritage Permit Application and the following conditions:

- a) That the design of the new proposed dwellings be revised to remove the attached front garages and that the revised designs, including plans and elevations, be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner;
- b) That the **final architectural drawings** and **material choices** for the new dwellings be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- c) That a **Landscape Plan**, including new landscaping and street trees in the front yard, be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Consent to Sever, Building Permit and / or the commencement of any alterations;
- d) That the applicant makes reasonable effort to facilitate removal and salvage of heritage materials and any material which can be reused as to avoid additional waste as part of the demolition process and submit documentation of the salvage efforts, to the satisfaction and approval of the Director of Planning and Chief Planner;

**Re: Notice of Council Decision for HP2025-026
for 1007 Beach Boulevard, Hamilton (Ward 5)
Hamilton Beach Heritage Conservation District,
Designated under Part V of the Ontario Heritage
Act (By-law No. 00-135)**

November 25, 2025

Page 2 of 2

- e) That any minor changes to the plans and elevations following approval shall be submitted to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- f) That demolition, construction, and site alterations, in accordance with this approval, shall be completed no later than September 30, 2028. If the construction and site alterations are not completed by September 30, 2028, then this approval expires as of that date, and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Please note that this property is designated under Part V of the *Ontario Heritage Act*, and that this permit is only for the above-noted work. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Ontario Land Tribunal within 30 days of your receipt of this permit.

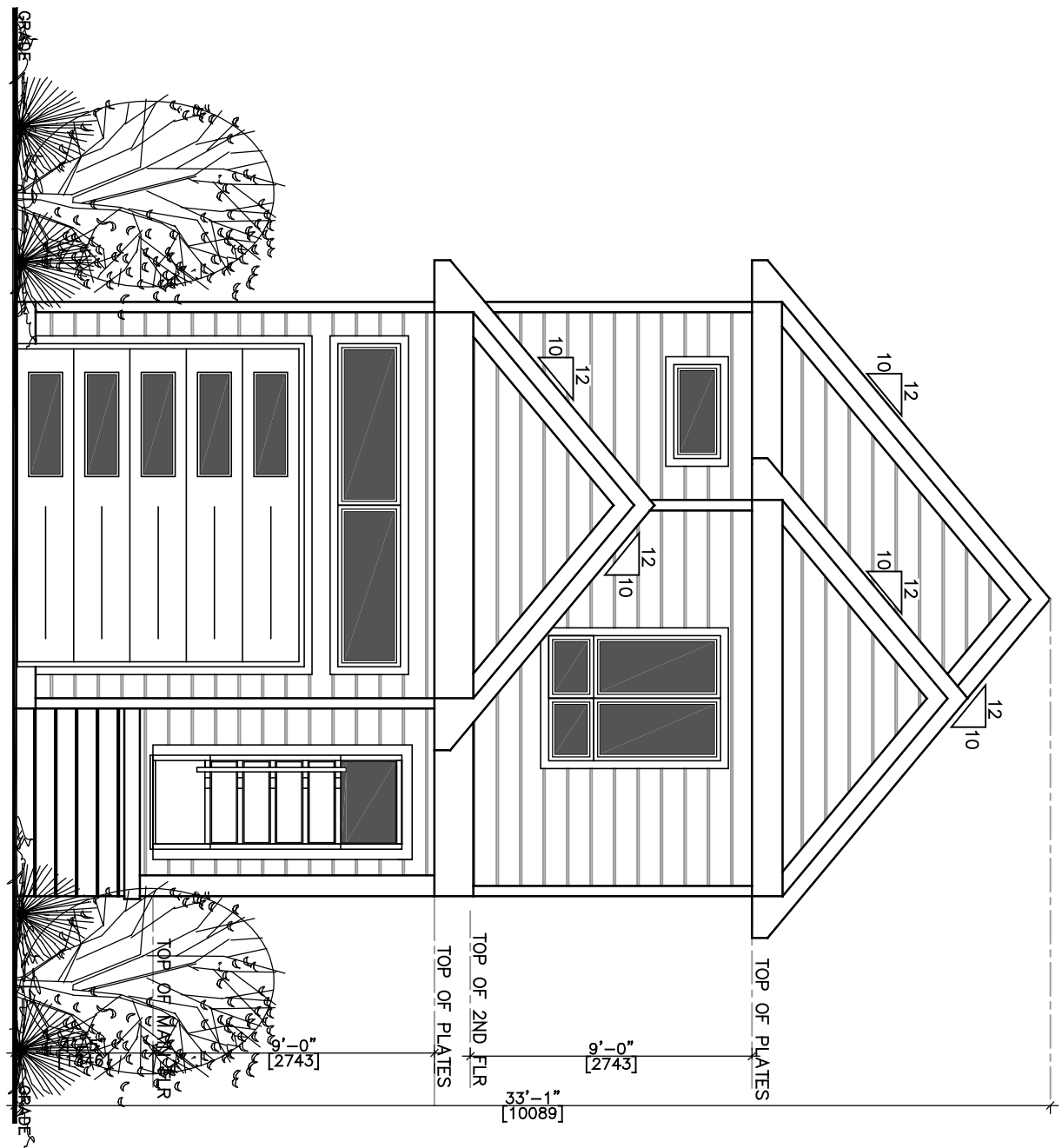
The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

If you have any questions, please contact me at 905-546-2424, Ext. 1291, or via email at Lisa.Christie@hamilton.ca.

Kind regards,



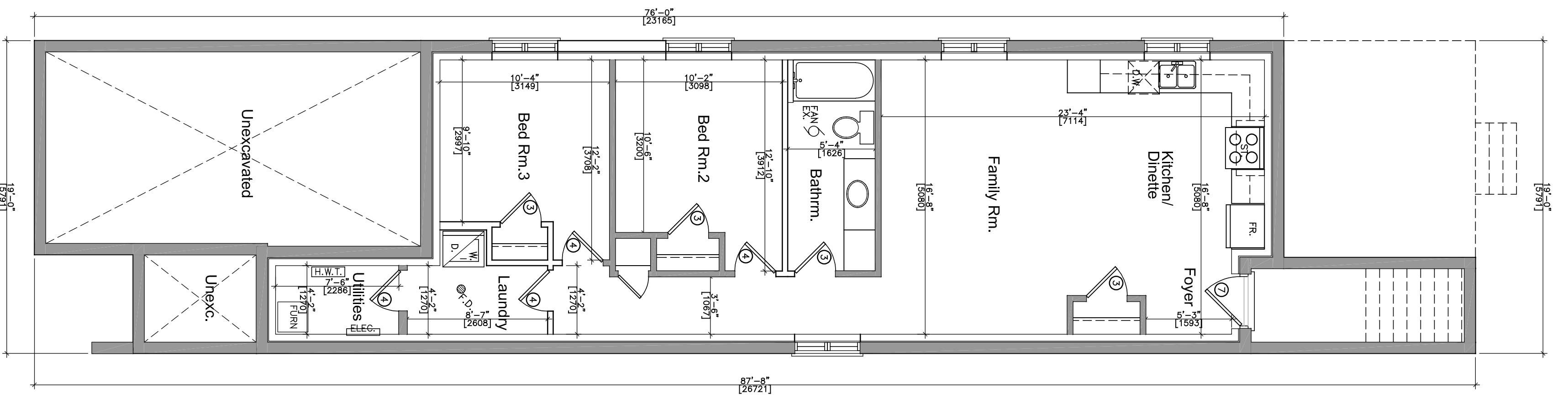
Lisa Christie
Cultural Heritage Planner
Development Planning, Heritage and Urban Design



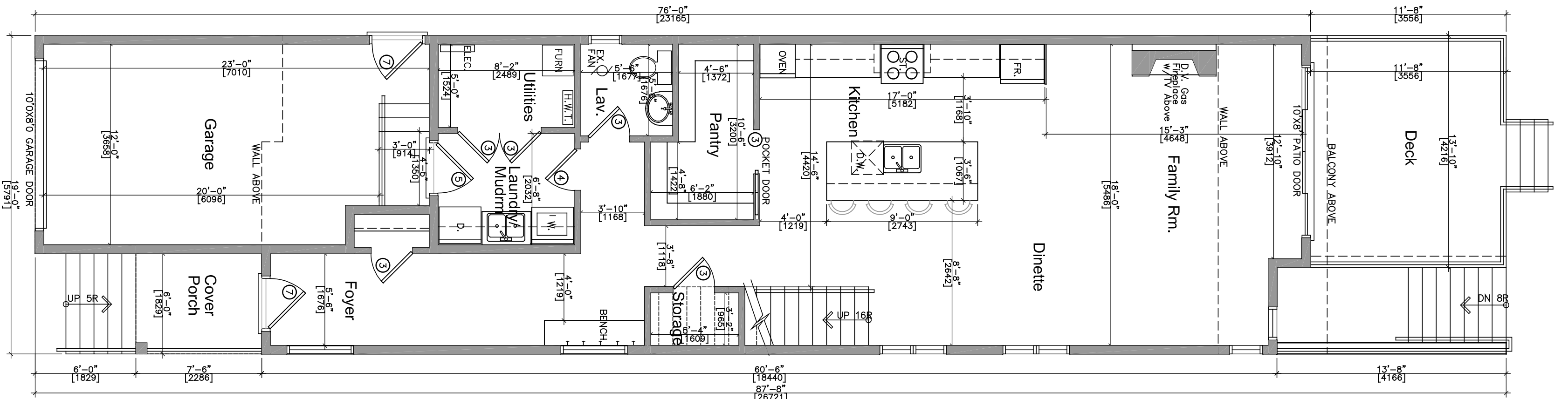
OPTIONAL - FRONT ELEVATION - 'B'



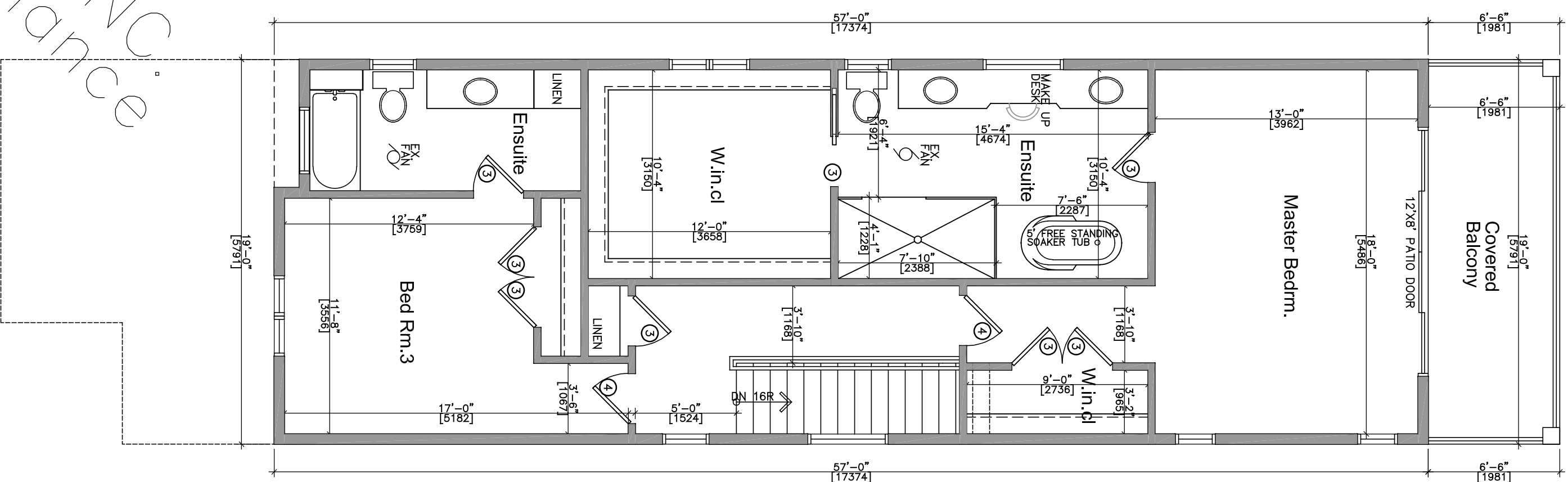
OPTIONAL FRONT ELEVATION - 'C'



FOUNDATION PLAN
PROPOSED ADU
794 SQ. FT.



FIRST FLOOR PLAN
1064 SQ. FT.



SECOND FLOOR PLAN - 'B'
1077 SQ. FT.

UNIQUE DESIGNS INC.
prepared for variance

DO NOT SCALE DRAWINGS



A. ISSUED FOR PROPOSED LAND SEVERANCE AND REQUIRED MINOR VARIANCES

No.	DATE	DESCRIPTION
1.	07.26.23	ISSUED FOR REVIEW
2.	08.09.23	RE-ISSUED FOR REVIEW
3.	10.27.23	LOT SEVERANCE APPLICATION
4.	01.02.24	RE-ISSUED FOR SEVERANCE/ VARIANCES
5.	05.06.24	RE-ISSUED FOR SEVERANCE/ VARIANCES
6.		
7.		
8.		

THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT; AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.



UNIQUE DESIGNS INC.

LOT SEVERANCE
MINOR VARIANCE
APPLICATION

PROPOSED FLOOR PLANS

CLARK
RESIDENCE

1007 BEACH BLVD.,
HAMILTON, ONT.

Drawn By	Scale
Date	3/16"=1'-0"
Job Number	
072423	
A2	

The undersigned has reviewed and takes responsibility for this design, and one for qualifications and meets the requirements set out in the Ontario Building Code Act and Regulations.
Required unless design is exempt under Div. C, Article 3.2.5.1 of the Building Code
MAURO FORTUNATO
Name
Signature
15084
REGISTRATION INFORMATION
Required unless design is exempt under Div. C, Article 3.2.4.1 of the Building Code
UNIQUE DESIGNS INC.
Firm Name
31090
BDN

Variances required as determined by an Applicable Law Review – Zoning By-law on February 23, 2024

1. A maximum building height of 10.09 metres shall be provided whereas the by-law permits a maximum height of two storeys or 9.0 metres.
2. A minimum side yard setback of 1.22 metres for the western lot and 1.28 metres for the eastern lot shall be provided whereas the by-law requires a minimum side yard setback of 1.7 metres.
3. A minimum lot frontage of 8.73 metres shall be provided for each lot whereas the by-law requires a minimum lot frontage of 12.0 metres.
4. A minimum lot area of 338 square metres for the western lot and 352 square metres for the eastern lot shall be provided whereas the by-law requires a minimum lot area of 360 square metres.
5. A minimum landscaped area of X% for the western lot and X% for the eastern lot shall be provided whereas the by-law requires a minimum of 50% of the gross area of the front yard to be landscaped.

Yours truly



for the Manager of Zoning & Committee of Adjustment

I am Sandra Clark, owner of the property known as 1007 Beach Blvd. in the City of Hamilton.

I recently purchased this property with the intention of severing and creating 2 building lot, each having a frontage of 8.734 metres and a lot area of 356.4 square metres. At the present time there is an existing abandoned dwelling unit that is a complete eyesore to the area residents and not viable to be rehabilitated. That being the case, I understand that variances would be required as this property is located in a "C" (urban protected residential) zoning and within the Heritage District of Beach Blvd.

I discussion with the City's planning staff, they have stated that these proposed lot sizes are not consistent with the current lot fabric of the area.

In my research, I have discovered that there are numerous lots in the area with a lot frontage of approximately 9 metres which in my opinion complements this area.

My goal if my variance and severance applications are approved by the Committee is to construct new dwelling units on each lot with each dwelling containing a secondary dwelling unit. These dwelling units will be designed and constructed to compliment the area as shown on the attached drawings prepared by Unique Designs Inc., a local firm experienced infill developments such as this.

I intend to live in one of the units and therefore add 3 units to the affordable rental housing inventory.

In my opinion, the designated Heritage District for this area is outdated and does not meet the needs of the citizens of Hamilton who wish to live in this area.

I therefore hope that this Committee approves my severance application and my minor variance application before you.

I have compiled a list of the lot sizes on Beach Blvd that are 35 foot frontage and smaller

485- 15x95

1071-1063. 5 lots 19x124

1091-1081 6 lots townhouses similar in size

491- 24x95

483- 25x114

493-25x95

495-25x96

285-27x125

305-30x87

307-30x58

397-30x216

401-30x495

841-30x100

851-30x135

208-32x169

198-33x156

271-33x234

795-33x149

204-34x158



Hamilton

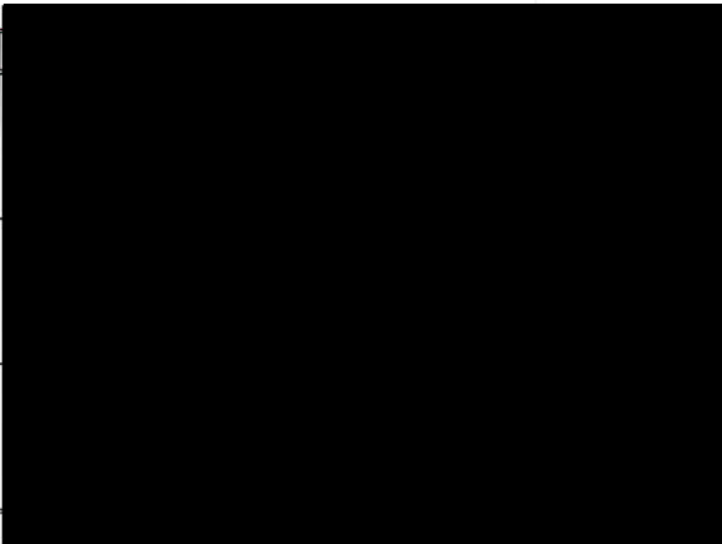
Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME
Registered Owners(s)	SANDRA CLARK
Applicant(s)	
Agent or Solicitor	MICHAEL P. SABELLI



1.2 All correspondence should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.3 Sign should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	1007 BEACH BLVD.		
Assessment Roll Number	-		
Former Municipality			
Lot	7	Concession	-
Registered Plan Number	452	Lot(s)	-
Reference Plan Number (s)	-	Part(s)	-

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

SEE ATTACHED SHEET

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

INSUFFICIENT LOT WIDTH OF EXISTING LOT.

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
8.734 M	40.806 M	356.40M ²	20 M

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
EXISTING DWELLING TO BE DEMOLISHED				

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
SINGLE FAMILY DWELLING	6.40/m	2.0m 9.754m	1.219m	2024

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
EXISTING DWELLING TO BE DEMOLISHED				

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
SINGLE FAMILY DWELLING	98.94 m ²	193.41 m ²	2	10.1m

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)
-

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)
-

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: TO BE ASSIGNED

7.10 If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?

Yes No

7.11 If the answer is no, the decision of Council, or Director of Planning and Chief Planner that the application for Minor Variance is allowed must be included. Failure to do so may result in an application not being "received" for processing.

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: /

8.2 Number of Dwelling Units Proposed: /

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
- Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
- Minimum Distance Separation Formulae (data sheet available upon request)
- Hydrogeological Assessment
- Septic Assessment
- Archeological Assessment
- Noise Study
- Parking Study
