



Hamilton

APPLICATION TABLED

B-24:30 — 1007 Beach Boulevard, Hamilton

This application has been **TABLED** prior to the meeting and will not be heard at the April 30, 2026 Committee of Adjustment Hearing. — Committee of Adjustment Staff (4/13/2026)

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding this file, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Consent/Land Severance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	B-24:30	SUBJECT PROPERTY:	1007 Beach Blvd, Hamilton
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APPLICANTS: Owner: Sandra Clark
 Applicant:
 Agent: Michael P. Sabelli

PURPOSE & EFFECT: To permit the conveyance of a parcel of land to create a new residential building lot. The existing dwelling will be demolished to facilitate this application.

	Frontage	Depth	Area
SEVERED LANDS:	8.734 m [±]	40.806 m [±]	356.40 m ^{2±}
RETAINED LANDS:	8.734 m [±]	40.806 m [±]	356.40 m ^{2±}

Associated Planning Act File(s): A-24:112

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, April 30, 2026
TIME:	11:15 a.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

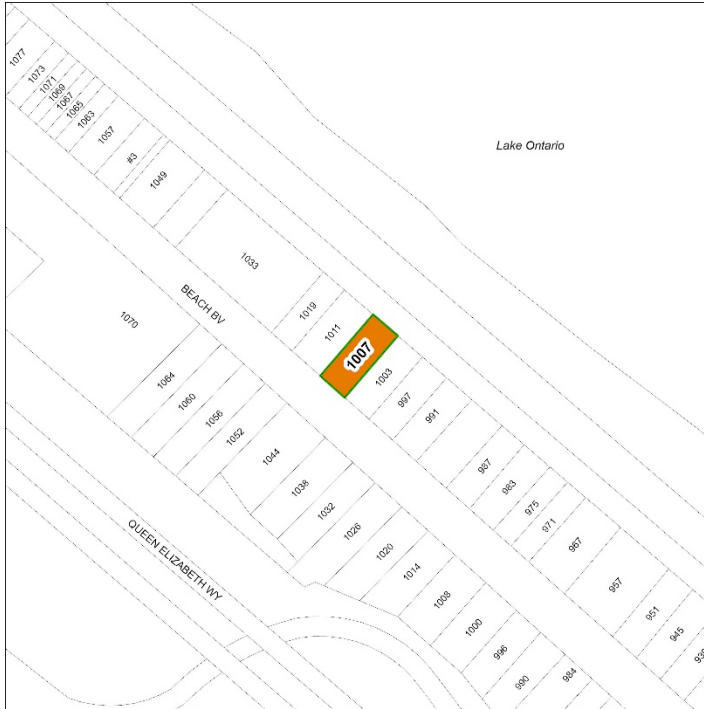
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon **April 28, 2026**.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon **April 29, 2026**.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding this matter, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided the Notice of Decision of the proposed consent, you must make a written request to the Secretary-Treasurer of The City of Hamilton Committee of Adjustment by email at cofa@hamilton.ca or by mail through City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5.



 **Subject Lands**

DATED: April 13, 2026

Justin Leung,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public.

If a person or public body that files an appeal of a decision of The City of Hamilton Committee of Adjustment in respect of the proposed consent does not make written submissions to The City of Hamilton Committee of Adjustment before it gives or refuses to give a provisional consent, the Ontario Land Tribunal may dismiss the appeal.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATING PROCEDURES

1. Written Submission Ahead of the Meeting

Members of the public who wish to provide input without speaking at the Hearing may submit written comments in advance of the meeting. Comments must be received by **12:00 p.m. (noon)** on the deadline date for written comment submissions listed on the Notice of Public Hearing.

How to Submit Written Comments:

By Email:

Send to: cofa@hamilton.ca

By Mail:

Committee of Adjustment
City of Hamilton
71 Main Street West, 5th Floor
Hamilton, Ontario
L8P 4Y5

The following information is required with your written submission:

- Committee of Adjustment file number
- Full name and address of the person providing comments. Anonymous comments will not be accepted.

Comments can also be placed in the drop box which is located at the back of the 1st Floor of City Hall, 71 Main Street West. All written comments received by the deadline will be made available to the Committee and the public by the Tuesday prior to the Hearing.

2. Oral Submissions During the Hearing

Interested members of the public, agents, and owners may provide oral comments on Committee of Adjustment Hearing items either virtually via Webex (computer or phone) or by attending in person.

Speaking Time Limit:

All participants providing oral submissions, either in person or virtually are limited to a maximum of 5 minutes to speak. This is to ensure all parties have an equal opportunity to be heard and that the meeting runs efficiently.

3. In-Person Oral Submissions

To participate in person, attend Council Chambers on the date and time listed in the Notice of Public Hearing. You will be required to provide your name and address for the record. It is recommended you arrive at least 10 minutes prior to the scheduled start time.

4. Virtual Oral Submissions

To participate virtually, you must register by 12:00 p.m. (noon) on the virtual oral submissions registration deadline date. This is listed on the Notice of Public Hearing. To register, email cofa@hamilton.ca with the following information:

- Committee of Adjustment file number
- Hearing date
- Full name and address of the person wishing to speak. Anonymous comments will not be accepted.
- Method of participation (phone or video), and, if applicable, the phone number to be used
- Each person must register separately

Registered participants will receive a Webex link one business day before the Hearing. Only those registered will be called upon to speak.

5. Presentations

All presentations are permitted at the discretion of the Committee.

Virtual Presentations:

Presenters participating virtually may be granted permission to share their screen during the Hearing. A copy of the presentation must be submitted to cofa@hamilton.ca **by 12:00 p.m. (noon) on the business day prior to the Hearing**. The submission must be one document in PDF format only.

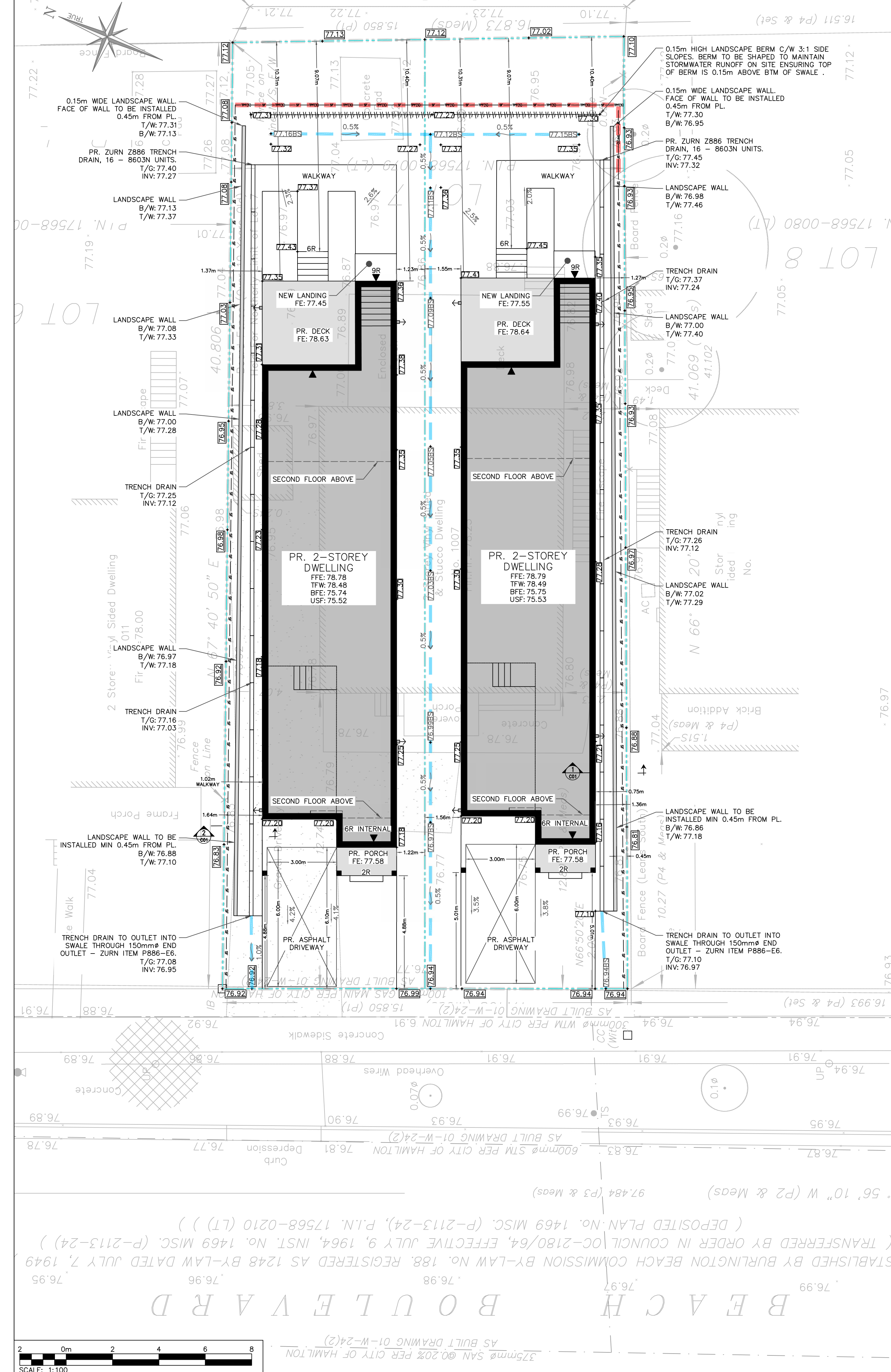
In-Person Presentations:

Presenters attending in person may be granted permission to use the presentation screen. Presentations must be brought on a USB device and opened by the owner/applicant. A copy of the presentation must also be sent to cofa@hamilton.ca **by 12:00 p.m. (noon) on the business day prior to the Hearing**. The submission must be one document in PDF format only. Handouts are permitted only if the same content can be displayed on the presentation screen.

6. Additional Notes

- Webex (video) participation requires a compatible computer or smartphone. The necessary application must be downloaded in advance.
- It is the interested party's responsibility to ensure their device is functional and compatible prior to the Hearing.

For any questions, contact staff at cofa@hamilton.ca or call 905-546-2424 ext. 4221.



CITY OF HAMILTON - LOT GRADING NOTES

GENERAL GRADING NOTES

1. ALONG EXISTING PROPERTIES GRADE TO MEET EXISTING OR PROPOSED ELEVATIONS WITH SLOPED SLOPES (MIN. 3% TO 1%) AND/OR RETAINING WALLS AS SPECIFIED.
2. ALL RETAINING WALLS, WALKWAYS, CURBS, ETC., SHALL BE PLACED A MIN. OF 0.45M OFF THE PROPERTY LINE. ALL WALLS 0.50M OR HIGHER SHALL BE DESIGNED BY A P.E.N.G.
3. SHOULD A RETAINING WALL BE REQUIRED, THE TOP OF WALL ELEVATIONS SHALL BE SET 150MM ABOVE THE PROPOSED SIDE SWALE.
4. RETAINING WALLS 0.6M IN HEIGHT OR GREATER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. GUARDS FOR RETAINING WALLS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF EXISTING GRADING AS CONTAINED IN THE ONTARIO BUILDING CODE.
5. SLOPES OF SWALES FOR BOTH BACK TRENCH AND SPLIT DRAINAGE SHALL BE NO LESS THAN 2.0% GRADE AND NO GREATER THAN 3.5% (SLOPES).
6. WHEN MATCHING TO EXISTING PROPERTIES WHERE A 2.0% GRADE CANNOT BE ACHIEVED, A 1.5% GRADE IS PERMITTED PROVIDED A 150MM SUB-DRAIN IS INSTALLED BELOW THE BOTTOM OF THE SWALE AND DRAINED TO A SUITABLE OUTLET, WITH A MINIMUM 0.3M COVER OVER THE SUB-DRAIN, OR OTHER MITIGATION MEASURES.
7. MINIMUM GRADE FOR A WIND-AROUND SWALE IN THE BACKYARD SHALL BE 1.0% UNLESS OTHERWISE NOTED. THE GROUND BETWEEN PROPOSED ELEVATIONS ON SITES LOTS SHALL BE GRADED AS A STRAIGHT LINE.
8. TOP OF FOUNDATION WALLS FOR BUILDINGS SHALL BE 150MM (MIN) ABOVE FINISHED GRADE.
9. DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2% AND NOT MORE THAN 7.0%. REVERSED SLOPED DRIVEWAYS IN NEW DEVELOPMENTS ARE NOT PERMITTED.
10. GARAGE FLOOR ELEVATION SHALL BE MINIMUM 0.3M HIGHER THAN BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
11. ALL FILL PLACED ON LOTS SHALL BE COMPACTED TO A MINIMUM 95% STD (UNLESS OTHERWISE RECOMMENDED BY THE GEOLOGICAL ENGINEER). ALL MATERIAL SHALL BE PLACED IN LAYERS NOT EXCEEDING 300MM LIFTS.
12. FOR DELINEATION OF TREE PROTECTION ZONES, BUFFERS, REMOVALS AND PROTECTION SCHEMATICS, ETC. REFER TO TREE PROTECTION PLAN.
13. LOT GRADING FOR ALL LOTS IN THE SUBDIVISION SHALL CONFORM STRICTLY WITH THE CITY OF HAMILTON GRADING REGULATIONS AND THE INTENT OF THE CITY OF HAMILTON GRADING REGULATIONS, UNLESS APPROVED PRIOR TO CONSTRUCTION BY THE CITY.
14. GRADING IS REQUIRED ON LANDS IN THE SUBDIVISION WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER TO ALLOW THE DEVELOPER TO GRADE ON THE ADJACENT LANDS. OTHERWISE RETAINING WALLS MUST BE USED.
15. WITHIN 90 DAYS OF COMMENCING THE WORK, THE DEVELOPER SHALL OBTAIN PRIOR TO ENTERING THE LANDS, SHOULD PERMISSION NOT BE OBTAINED OR HIS ACTIVITIES TO THE LIMITS OF THE DEVELOPMENT SITE.
16. DRIVEWAY AND DRIVEWAY APPROACHES SHALL BE LOCATED SUCH THAT PROPOSED WALKWAYS AND OTHER STREET FURNITURE ARE A MIN. OF 1.0M FROM THE PROJECTIONS OF THE OUTSIDE GARAGE WALLS.
17. BACKYARD GRADING NOTES
 - a. DEFINITION "REQUIRED BACK YARD" SHALL MEAN THE LESSER OF THE DISTANCE REGULATED BY THE ZONING BY-LAW AND 10.00M AT BEHIND.
 - b. THE MAXIMUM SLOPE IN THE BACK YARD ADJACENT TO THE BUILDING FOR A DISTANCE EQUAL TO THE REQUIRED BACK YARD SHALL BE 5%, EXCEPT AS SET OUT IN ITEMS BELOW.
 - c. THE 5% RESTRICTION SHALL NOT APPLY TO THE SIDES OF A SWALE ALONG THE SIDES OR BACK OF THE LOT, PROVIDED THE TOTAL WIDTH OF THE SWALE SHALL NOT EXCEED ONE (1) METRE ON EACH LOT.
 - d. WHERE THE 5% RESTRICTION ON THE BACKYARD GRADING RESULTS IN ELEVATION DIFFERENCES BETWEEN ADJACENT PROPERTIES, RETAINING WALLS SHALL BE CONSTRUCTED ALONG THE SIDES AND THE BACK OF THE LOT, SLOPES WITH A MAXIMUM OF THREE HORIZONTAL TO ONE VERTICAL. REPLACE THE WALLS WHERE THE DIFFERENCE IN ELEVATION IS LESS THAN 2M.
 - e. GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
 - f. THE 5% RESTRICTION DOES NOT PRECLUDE RETAINING WALLS IN THE BACKYARD PROVIDING THE TERRACES ARE MAINTAINED TO THE 5% GRADE AS SET OUT IN ITEM B) ABOVE. THE INTENTION OF THIS PROVISION IS TO PROVIDE FOR FLEXIBILITY OF HOUSE CONSTRUCTION.
 - g. THERE IS NO CONTROL ON THE STEEPNESS OF THE SLOPES IN SIDE YARDS, FRONT YARDS AND BACK YARDS, OUTSIDE THE AREA DEFINED IN A) ABOVE. PROVIDING THE SLOPES ARE STABLE FOR THE SOILS OF THE AREA (MINIMUM 3%:1).
18. ANY INCREASE IN IMPERVIOUS SURFACE FROM APPROVED PLAN REQUIRED TO BE VIEWED VIA REVISION PROCESS.

ROOF/WATER LEADERS

ALL ROOF/WATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND THEN TO GRASSED OR LANDSCAPED AREAS A MIN. OF 0.6M FROM THE BUILDING FACE.

SUMP PUMPS

SUMP PUMPS WITH CHECK VALVES ARE TO BE INSTALLED IN EACH DWELLING TO PUMP THE WEeping TILES TO THE STORM PRIVATE DRAIN. THE SUMP OUTLET SHALL EXTEND A MINIMUM OF 150MM ABOVE THE PROPOSED GRADE AT THE DWELLING (BASEMENT CEILING) PRIOR TO DISCHARGING TO THE STORM PRIVATE DRAIN.

SEWERS

SANITARY AND STORM SEWERS

- a) CONSTRUCTION OF SANITARY & STORM SEWERS & PRIVATE DRAINS SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).
- b) COVER AND BEDDING MATERIAL FOR CONCRETE PIPE SHALL BE GRANULAR 'A' MATERIAL AS PER OPSD 802.030 OR 802.033, CLASS 'B' BEDDING.
- c) COVER AND BEDDING MATERIAL FOR PVC PIPE SHALL BE GRANULAR 'A' MATERIAL AS PER OPSD 802.010 OR 802.013.
- d) PVC PIPE WILL REQUIRE SPECIAL CONSTRUCTION PROCEDURES AS PER CITY SPECIFICATIONS.
- e) ALL SEWERS TO BE FLUSHED PRIOR TO VIDEO INSPECTION.
- f) MANHOLE FRAMES AND COVERS SHALL BE AS PER OPSD 401.010 (STORM-OPEN, SANITARY-CLOSED).
- g) SANITARY SEWER (200MM TO 375MM DIA) SHALL BE PVC PIPE, CSA B182.2, SDR-35.
- h) STORM SEWER (300MM TO 600MM DIA) SHALL BE PVC PIPE, CSA B182.2, SDR-35.
- i) STORM SEWER > 600MM DIA SHALL BE CONCRETE PIPE, CSA A257.2 (AS SPECIFIED).
- j) PVC (SANITARY AND STORM) SEWERS ARE TO BE TESTED FOR DEFLECTION (MANDEREL PASSAGE) AFTER INSTALLATION. SANITARY SEWERS SHALL ALSO BE TESTED FOR LEAKAGE (LOW AIR PRESSURE), PRIOR TO ASSUMPTION BY THE CITY. PIPE DEFLECTION TESTING SHALL BE REPEATED.
- k) ALTERNATE MATERIALS MAY BE ACCEPTABLE PROVIDED APPROVAL HAS FIRST BEEN OBTAINED FROM THE CITY/ENGINEER.

PRIVATE DRAINS

- a) TO BE LOCATED 1.5M ON RIGHT SIDE OF CENTERLINE OF LOT OR AS DETAILED AND EXTENDED 1.0M BEYOND THE STREET LINE. THE STORM SERVICE SHALL BE INSTALLED TO THE NORTH OR EAST OF THE SANITARY SERVICE.
- b) PRIVATE DRAINS TO BE 150MM DIA PVC PIPE, CSA B182.1 M-1983, SDR 28 AS PER FORM 500. STORM PIPE SHALL BE WHITE AND SANITARY SHALL BE ANY COLOUR OTHER THAN WHITE. WOOD MARKING AT END OF SANITARY PRIVATE DRAIN SHALL BE PAINTED RED.
- c) COVER AND BEDDING MATERIAL FOR PRIVATE DRAINS SHALL BE GRANULAR 'A' MATERIAL AS PER OPSD 802.010 OR 802.013.
- d) MINIMUM FALL FOR PRIVATE DRAINS TO BE 2.0%.
- e) TOP OF SANITARY PRIVATE DRAINS AT STREET LINE TO BE 2.2M (MIN) BELOW CENTRELINE ROAD ELEVATION AT THAT POINT OR AS DETAILED.
- f) TOP OF STORM PRIVATE DRAINS AT STREET LINE TO BE 1.2M (MIN) BELOW CENTRELINE ROAD ELEVATION AT THAT POINT OR AS DETAILED.
- g) BUILDING RAINWATER LEADERS SHALL NOT BE CONNECTED TO THE STORM PRIVATE DRAIN BUT SHALL DISCHARGE ONTO THE GROUND SURFACE VIA SPLASH PADS.

WATERMANS

CONSTRUCTION OF WATERMANS & PRIVATE SERVICES SHALL BE IN ACCORDANCE WITH CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).

- a) TO BE INSTALLED TO A MINIMUM DEPTH OF 1.80M BELOW PROPOSED CENTERLINE ROAD GRADE ON ALL ROADS EXCEPT ON (NAME OF ROAD) WHERE THE MINIMUM DEPTH IS 1.6M.
- b) PVC PIPE IN SIZES 100MM THROUGH 300MM SHALL BE CLASS 150 DR18 CONFORMING TO AWWA C900, FOR 400MM, SEE SECTION 7; SPECIAL NOTES.
- c) TRACER WIRE SHALL BE INSTALLED WITH PVC PIPE IN ACCORDANCE WITH FORM 400. IT SHALL BE 12 GAUGE TWTS, TRUITS OR RIVULOUS COATED COPPER AND SHALL BE POSITIONED ALONG THE TOP OF THE PIPE AND FASTENED AT 6 METRE INTERVALS. THE WIRE IS TO BE INSTALLED BETWEEN EACH VALVE AND/OR THE END OF THE NEW WATERMAIN JOINTS IN THE WIRE BETWEEN VALVES ARE NOT PERMITTED. AT EACH GATE VALVE A LOOP WIRE IS TO BE BROUGHT UP INSIDE THE VALVE BOX TO THE CAP. TRACER WIRE SHALL BE INSTALLED TO THE SECONDARY WATER MAIN CONNECTION. ALL FIRE HYDRANTS, THE TRACER WIRE SHALL ALSO BE CONNECTED TO THE CATHODIC PROTECTION SYSTEM AS REQUIRED.
- d) MOLDED PVC FITTINGS FOR PIPE SIZES 100MM TO 300MM SHALL CONFORM TO AWWA C900 AND CERTIFIED TO CSA B137.2.
- e) FABRICATED FITTINGS 250MM AND 300MM SHALL BE MANUFACTURED FROM SEGMENTS OF AWWA C900, CLASS 150 (DR18) PVC PIPE, BONDED TOGETHER AND OVER-WRAPPED WITH FIBREGLASS-REINFORCED POLYESTER TO MEET THE REQUIREMENTS OF CSA B137.3.
- f) WHERE METAL FITTINGS ARE TO BE USED ON PVC MAINS SUFFICIENT CATHODIC PROTECTION MUST BE PROVIDED AS PER THE FOLLOWING REQUIREMENTS:
 - i. ALL METAL FITTINGS SHALL BE INSTALLED FOR EACH COPPER WATER SERVICE CONNECTION.
 - ii. ONE 11KG ZINC ANODE SHALL BE INSTALLED ON EACH VALVE, HYDRANT, ETC., CONNECTED TO THE PVC PIPE.
 - iii. BEDDING AND BACKFILL PER MM-200.01 AND MM-200.02 GRANULAR 'A' MATERIAL FOR MAINS AND SERVICES GREATER THAN 50MM.
- g) WATERMAIN DEFLECTION FOR PVC PIPE:
 - i. MOLDED PVC FITTINGS ALLOWED DEFLECTION OF 1.5 DEGREES PER JOINT UP TO 250MM DIAMETER (150MM PER 6.1M PIPE LENGTH) AND 1.2 DEGREES FOR 300MM DIAMETER (120MM PER 6.1M PIPE LENGTH) SHALL NOT BE EXCEEDED.
 - ii. ALL JOINTS SHALL BE DEFLECTED AN EQUAL AMOUNT.

ROADWORK:

1. RESTORATION OF ROAD OVER UTILITY CUTS IN HAMILTON TO BE AS PER STANDARD DRAWINGS 10-101 AND 10-102, WITH GRANULAR 'A' BEDDING.
2. CONCRETE CURB AND GUTTER AS PER OPSD 600.040 - (BARRIER TYPE), MIN. 30 MPa STRENGTH. A 50MM KEY IS REQUIRED FOR ALL LOCATIONS.
3. CURB DEPRESSION AT DRIVEWAYS AS PER OPSD 600.040 AND OPSD 310-050.
4. 1.5m WIDE CONCRETE SIDEWALK AS PER OPSD 310.010 (125mm THICKNESS, MIN. 30 MPa STRENGTH WITH GRANULAR 'A' BASE AS REQUIRED TO PROVIDE A LEVELING COURSE FOR THE CONCRETE. AT DRIVEWAYS, CONCRETE DEPTH TO BE MIN. 175mm).

GENERAL ENGINEERING NOTES:

1. ALL WORK INVOLVED IN THE CONSTRUCTION, RELOCATION, REPAIR OF MUNICIPAL SERVICES FOR THE PROJECT SHALL BE TO THE SATISFACTION OF THE DIRECTOR OF PLANNING AND CHIEF PLANNERS, PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES INCLUDING GASMAINS, WATERMANS, TELEVISION CABLES, HOME TELEPHONE CABLES, ETC.
3. ALL SURVEY INFORMATION ON THIS PLAN IS FOR INFORMATION PURPOSES ONLY.
4. THE APPROVAL OF THIS PLAN DOES NOT EXEMPT THE OWNER'S BONDED CONTRACTOR FROM THE REQUIREMENTS TO OBTAIN THE VARIOUS PERMITS/APPROVALS NORMALLY REQUIRED TO COMPLETE A CONSTRUCTION PROJECT, SUCH AS, BUT NOT LIMITED TO THE FOLLOWING:
 - BUILDING PERMIT
 - RELOCATION OF SERVICES
 - APPROACH APPROVAL PERMITS
 - ENFORCEMENT AGREEMENTS
 - COMMITTEE OF ADJUSTMENT OF REDUCED
5. LOT GRADING IS TO CONFORM TO THE LATEST REVISION OF THE CITY OF HAMILTON LOT GRADING POLICY.
6. ALL CURB STOPPERS AND VALVES MUST BE CERTIFIED TO BE IN WORKING ORDER AT THE TIME OF ISSUANCE OF THE FINAL LOT GRADING CERTIFICATE. FINAL LOT GRADING CERTIFICATE MUST INCLUDE A STATEMENT AFFIRMING THE DATE OF INSPECTION AND THAT THE WATER BOX IS AT GRADE AND FOUND TO BE FREE FROM DAMAGE OR DEFECT.
7. ALL DISTURBED AREAS WITHIN THE ROAD ALLOWANCE SHALL BE RESTORED TO EXISTING CONDITION OR BETTER.
8. ALL DISTURBED AREAS ARE TO BE REINSTATED WITH MINIMUM 150mm TOPSOIL AND NO. 1 NURSERY SOIL IN ACCORDANCE WITH OPSD 803 and TO THE SATISFACTION OF THE CITY OF HAMILTON.
9. LOT GRADING SHALL CONFORM STRICTLY WITH THIS PLAN, ANY CHANGES, UNLESS APPROVED PRIOR TO CONSTRUCTION BY THE TOWN, SHALL RESULT IN NON-ACCEPTANCE OF THE DEVELOPMENT BY THE TOWN.
10. ABANDONED ACCESSES MUST BE REMOVED AND THE CURB AND BOULEVARD RESTORED WITH NO. 1 NURSERY SOIL AT THE OWNER'S EXPENSE TO THE SATISFACTION OF THE CITY OF HAMILTON.
11. ALL SERVICES TO BE INSTALLED AS PER CITY OF HAMILTON CONSTRUCTION AND MATERIAL SPECIFICATIONS MANUAL (LATEST EDITION) AND MINISTRY OF ENVIRONMENT GUIDELINES (LATEST EDITION).
12. MINIMUM HORIZONTAL SEPARATION BETWEEN WATER SERVICES/MANS AND SEWER DRAINS AND MUNICIPAL SEWER MAINS SHALL BE 2.5M MEASURED FROM THE CLOSEST PIPE EDGE TO CLOSEST PIPE EDGE. VERTICAL SEPARATION WHERE WATER SERVICE/MAN PASSES OVER A SEWER MAIN SHALL BE A MINIMUM OF 1.0M OR AN EQUIVALENT APPROVED BY URBAN FORESTRY. 0.25M UNLESS GREATER SEPARATION IS REQUIRED TO PROVIDE FOR PROPER BEDDING AND STRUCTURAL SUPPORT. WATER SERVICES/MANS PASSING UNDER SEWER DRAINS OR MUNICIPAL SEWER MAINS MUST HAVE A SEPARATION OF 0.5M BETWEEN THE INVERT OF THE SEWER MAIN/GRAN AND THE CROWN OF THE WATER SERVICE/MAN. ALL WATER SERVICES TO BE INSTALLED WITH A MINIMUM OF 1.0m COVER. SEWER DRAINS TO BE INSTALLED WITH A MINIMUM COVER OF 2.0m AT THE PROPERTY LINE BELOW THE FINAL ROAD GRADE OR AT SUCH HIGHER ELEVATION ONLY AS MAY BE NECESSITATED BY THE LEVEL OF THE MAIN SEWER OR PRIVATE PROPERTY THE MINIMUM COVER FOR SEWER DRAINS IS TO BE NO LESS THAN 1.2m.
13. APPROVAL OF THIS DRAWING IS FOR MATERIAL ACCEPTABILITY AND COMPLIANCE WITH MUNICIPAL AND PROVINCIAL SPECIFICATIONS AND STANDARDS ONLY. APPROVAL AND INSPECTION BY THE CITY OF THE WORKS DOES NOT CERTIFY THE LINE AND GRADE OF THE WORKS AND IS THE OWNER'S RESPONSIBILITY TO HAVE THEIR ENGINEER CERTIFY THIS ACCORDINGLY.

SEWERS:

CONSTRUCTION OF SANITARY & STORM SEWERS & PRIVATE DRAINS SHALL BE IN ACCORDANCE WITH THE CITY STANDARDS & SPECIFICATIONS (LATEST EDITION) AND MINISTRY OF ENVIRONMENT (MOE) GUIDELINES (LATEST EDITION).

1. THE REUSE OF EXISTING SEWERS ON PRIVATE PROPERTY IS AT THE OWNER'S SOLE RISK AND RESPONSIBILITY. SEWER LINES WITHIN THE MUNICIPAL ROAD ALLOWANCE OR WITHIN MUNICIPAL EASEMENTS MAY BE REUSED IF IN GOOD WORKING CONDITION, MEET BY-LAW REQUIREMENTS AND ARE OF ADEQUATE CAPACITY TO MEET THE REQUIREMENTS OF THE SITE. THE OWNER OR THEIR CONTRACTOR IS RESPONSIBLE FOR HAVING THE LATERAL TO BE REUSED VIDEO INSPECTED WHILE THE CITY OF HAMILTON SEWER INSPECTOR IS PRESENT. CONTACT PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT, GROWTH MANAGEMENT DIVISION.
2. A SEWER SERVICE CONNECTION TO A MUNICIPAL SEWER MAIN MUST BE BY PROPER "T" OR "Y" FITTINGS. SADDLE MAY ONLY BE USED WHERE APPROVED BY THE SENIOR DIRECTOR OF GROWTH MANAGEMENT OR THEIR ASSOCIATE AND IN ACCORDANCE WITH THE APPROVED SEWER PRODUCTS LIST "CITY OF HAMILTON CONSTRUCTION AND MATERIAL SPECIFICATIONS MANUAL" LATEST EDITION.

SEWERAGE:

IF DOWNGRADE IS REQUIRED TO SUPPORT CONSTRUCTION ACTIVITIES, THE APPLICANT IS REMINDED THAT DOWNGRADE DISCHARGE MUST COMPLY WITH CITY OF HAMILTON SEWER LINES BY-LAW STANDARDS. SMALL SEWER SERVICE/LANHAM/CA TO BETTER UNDERSTAND WATER DISCHARGES TO CITY INFRASTRUCTURE. IF DOWNGRADE IS EXPECTED TO EXCEED 50,000 L/DAY, REGISTRATION WITH THE ENVIRONMENTAL ACTION SECTOR BOARD IS REQUIRED TO TAKE WATER FROM THE MAIN. CITY OF ENVIRONMENT, CONSERVATION, AND PARKS MAY BE REQUIRED.

DRAINAGE:

IF DOWNGRADE IS REQUIRED TO SUPPORT CONSTRUCTION ACTIVITIES, THE APPLICANT IS REMINDED THAT DOWNGRADE DISCHARGE MUST COMPLY WITH CITY OF HAMILTON SEWER LINES BY-LAW STANDARDS. SMALL SEWER SERVICE/LANHAM/CA TO BETTER UNDERSTAND WATER DISCHARGES TO CITY INFRASTRUCTURE. IF DOWNGRADE IS EXPECTED TO EXCEED 50,000 L/DAY, REGISTRATION WITH THE ENVIRONMENTAL ACTION SECTOR BOARD IS REQUIRED TO TAKE WATER FROM THE MAIN. CITY OF ENVIRONMENT, CONSERVATION, AND PARKS MAY BE REQUIRED.

EROSION & SEDIMENT CONTROL:

1. ALL EROSION AND SEDIMENT CONTROL ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS PRIOR TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND.
2. ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAIN AND SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND.
3. ADDITIONAL SILT CONTROL MEASURES MAY BE REQUIRED AS DETERMINED BY THE CITY OF HAMILTON.
4. EROSION AND SEDIMENT CONTROLS SHALL BE MAINTAINED IN PROPER WORKING ORDER AT ALL TIMES UNLESS DAMAGED OR CLOGGED DEVICES SHALL BE REPAIRED WITHIN 48 HOURS.
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TREE PRESERVATION:

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7. IT IS THE APPLICANT'S RESPONSIBILITY TO DISCUSS POTENTIAL IMPACTS TO TREES LOCATED NEAR OR WHOLLY ON ADJACENT PROPERTIES OR ON SHARED BOUNDARY LINES WITH THEIR NEIGHBOURS. SHOULD SUCH TREES BE INJURED TO THE POINT OF INSTABILITY OR DEATH, THE APPLICANT MAY BE HELD RESPONSIBLE THROUGH CIVIL ACTION. THE APPLICANT WOULD ALSO BE REQUIRED TO REPLACE SUCH TREES TO THE SATISFACTION OF URBAN FORESTRY.
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12. ANY ROOTS OR BRANCHES INDICATED ON THIS PLAN WHICH REQUIRE PRUNING, AS APPROVED BY URBAN FORESTRY, MUST BE PRUNED BY AN ARBORIST. ALL PRUNING OF TREE ROOTS AND BRANCHES MUST BE IN ACCORDANCE WITH BEST PRACTICES. ROOTS THAT HAVE RECEIVED APPROVAL FROM URBAN FORESTRY TO BE PRUNED MUST FIRST BE EXPOSED USING PRELIMINARY EXCAVATION, BY HAND DIGGING OR BY A USING LOW PRESSURE HYDRAULIC (WATER) EXCAVATION. THE WATER PRESSURE FOR HYDRAULIC EXCAVATION MUST BE LOW ENOUGH THAT ROOT BARK IS NOT DAMAGED OR REMOVED. THIS WILL ALLOW A PROPER PRUNING CUT AND MINIMIZE TEARING OF THE ROOTS. THE ARBORIST RETAINED TO CARRY OUT CROWN OR ROOT PRUNING MUST CONTACT URBAN FORESTRY NO LESS THAN THREE WORKING DAYS PRIOR TO CONDUCTING ANY SPECIFIED WORK.
13. THE APPLICANT/OWNER SHALL PROTECT ALL BY-LAW REGULATED TREES IN THE AREA OF CONSIDERATION THAT HAVE NOT BEEN APPROVED FOR REMOVAL THROUGHOUT DEVELOPMENT WORKS TO THE SATISFACTION OF URBAN FORESTRY.

DRAINAGE:

IF DOWNGRADE IS REQUIRED TO SUPPORT CONSTRUCTION ACTIVITIES, THE APPLICANT IS REMINDED THAT DOWNGRADE DISCHARGE MUST COMPLY WITH CITY OF HAMILTON SEWER LINES BY-LAW STANDARDS. SMALL SEWER SERVICE/LANHAM/CA TO BETTER UNDERSTAND WATER DISCHARGES TO CITY INFRASTRUCTURE. IF DOWNGRADE IS EXPECTED TO EXCEED 50,000 L/DAY, REGISTRATION WITH THE ENVIRONMENTAL ACTION SECTOR BOARD IS REQUIRED TO TAKE WATER FROM THE MAIN. CITY OF ENVIRONMENT, CONSERVATION, AND PARKS MAY BE REQUIRED.

4. ALL EXISTING UNSEWER DRAINS SERVING A PROPERTY BEING REDEVELOPED, IN WHOLE OR IN PART, MUST BE EITHER REMOVED FROM MUNICIPAL PROPERTY (I.E. ALLOWANCE ETC., WITH AN APPROPRIATE REPAIR TO THE MUNICIPAL SEWER TO WITH STOOD SLOPES (MIN. 3% TO 1%) AND/OR RETAINING WALLS AS SPECIFIED. UNSEWER DRAINS MAY BE ABANDONED IN ACCORDANCE WITH CITY MINIMUM WITHIN THE ENTIRE ROW.

5. THE EXISTING SANITARY SEWER CONNECTION AT THE STREET LINE TO BE CONFIRMED IN FIELD PRIOR TO CONSTRUCTION TO ENSURE GRAVITY FLOW.

6. CONTRACTOR TO DETERMINE EXISTING INVERTS AND REPORT ANY DISCREPANCIES TO THE CIVIL ENGINEER (WESTX INC.).

7. SEWER ABANDONMENT: PUG SLURRY AT EITHER END WITH A MINIMUM 300mm COVER.

8. APPROVAL OF THIS DRAWING IS FOR MATERIAL ACCEPTABILITY AND COMPLIANCE WITH MUNICIPAL AND PROVINCIAL SPECIFICATIONS AND STANDARDS ONLY. APPROVAL AND INSPECTION BY THE CITY OF THE WORKS DOES NOT CERTIFY THE LINE AND GRADE OF THE WORKS AND IS THE OWNER'S RESPONSIBILITY TO HAVE THEIR ENGINEER CERTIFY THIS ACCORDINGLY.

COMPACTION REQUIREMENTS:

1. ALL BEDDING AND BACKFILL MATERIAL, ROAD SUBGRADES AND GENERALLY ALL MATERIALS TO BE PLACED IN LAYERS NOT EXCEEDING 300MM LIFTS.
2. ALL GRANULAR TO BE PLACED IN LAYERS NOT EXCEEDING 300MM LIFTS.
3. USE OF VIBRATOR OR COMPACTOR WHILE COMPACTING IS NOT PERMITTED.

EROSION & SEDIMENT CONTROL:

1. ALL EROSION AND SEDIMENT CONTROL ARE TO BE INSTALLED ACCORDING TO APPROVED PLANS PRIOR TO COMMENCEMENT OF ANY EARTH MOVING WORK ON THE SITE AND SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND.
2. ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAIN AND SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH THE INTENDED FINAL GROUND.
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KEY PLAN
SCALE: N.T.S.

LEGEND

- PROPERTY LINE
- EX. SANITARY / STORM SEWER
- EX. WATERMAIN
- EXISTING FENCE
- EXISTING GRADE
- EXISTING HYDRO POLE
- PR. SANITARY SEWER
- PR. STORM SEWER
- PR. WATER SERVICE
- PR. CURB STOP
- PR. CATCH BASIN
- DOWNSPOUT LOCATION AND DIRECTION (COMPLETE WITH SPLASH PAD)
- PROPOSED GRADE
- PROPOSED BOTTOM OF SWALE GRADE
- GRADE TAG (TO MATCH EXISTING)
- PROPOSED MINOR FLOW DIRECTION
- PROPOSED GRASSED SWALE
- PROPOSED GRASSED SWALE C/W UNDERDRAIN
- PROPOSED 3:1 SLOPE AND BOTTOM OF SLOPE
- OVERLAND FLOW PATHWAY
- PROPOSED TREE PROTECTION FENCE
- SILT FENCE PER OPSD 219.130
- SILT FENCE PER MODIFIED SILT FENCE DETAIL ON C02
- TREE TO BE REMOVED
- ROOM / OVERHANG
- BUILDING ENVELOPE
- BUILDING ENTRANCE (PERSONNEL DOOR)
- BUILDING ENTRANCE (OVERHEAD DOOR)
- PR AC UNIT
- SUMP PUMP
- WATER METER
- SAN. BACKFLOW PREVENTER
- TREE PROTECTION FENCE DIMENSION
- LANDSCAPE WALL

FOR GRADING ONLY
Feb 27 2026

FOR SENIOR DIRECTOR
CITY OF HAMILTON
Planning & Economic Development Dept.
Growth Management Division

INSPECTION NOTES:

THE CONTRACTOR IS TO PROVIDE WESTX ENGINEERING WITH 48 HOUR NOTICE FOR ALL INSPECTIONS. PLEASE CONTACT WESLEY TAYLOR AT WESLEY@WESTX.ENGINEERING TO SCHEDULE INSPECTIONS. IN ORDER TO PROVIDE CERTIFICATION, WESTX NEEDS TO BE ON SITE FOR THE FOLLOWING MILESTONES:

1. INSTALLATION OF SANITARY AND WATER SERVICE CONNECTIONS
2. INSTALLATION OF STORM SEWER CONNECTION
3. FINAL GRADING INSPECTION (PRIOR TO LANDSCAPE WORKS)

1 CROSS SECTION C01
SCALE: N.T.S.

2 CROSS SECTION C01
SCALE: N.T.S.

TYPICAL GRASSED SWALE DETAIL
SCALE: N.T.S.

NOTE:
ALL DIMENSIONS ARE IN MILLIMETERS.

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1007 BEACH BOULEVARD HAMILTON, ON

SITE AND GRADING PLAN

westX
Civil Engineering

W. TAYLOR
100216611
2016.01.23
PROVINCE OF ONTARIO

1 ISSUED FOR SUBMISSION 2026/FEB/23
0 ISSUED FOR SUBMISSION 2025/AUG/19

No. ISSUE / REVISION YYYY/MM/DD

Project 1007 BEACH BOULEVARD HAMILTON, ON

Drawing 1007 BEACH BOULEVARD HAMILTON, ON

SITE AND GRADING PLAN

westX
Civil Engineering

WESTX INC. - CIVIL ENGINEERING
t. 905 526-3404
e. wesley@westx.engineering
w. www.westx.engineering

Drawn JT **Design** KKG **Project No.** 24-0130
Check WST **Scale** 1:100 **Sheet** 1 of 2 **Dwg.** C01



Hamilton

Mailing Address:
71 Main Street West
Hamilton, Ontario
Canada L8P 4Y5
www.hamilton.ca

Planning and Economic Development Department
Planning Division
71 Main Street West, 4th Floor, Hamilton, Ontario, L8P 4Y5
Phone: 905-546-2424 ext. 1291
Fax: 905-540-5611

November 25, 2025

Sandra Clark
1007 Beach Boulevard
Hamilton Ontario
L8H 6Z8

Re: Notice of Council Decision for Heritage Permit Application HP2025-026 for 1007 Beach Boulevard, Hamilton (Ward 5), Hamilton Beach Heritage Conservation District, Designated under Part V of the *Ontario Heritage Act* (By-law No. 00-135)

Please be advised that Council, at its meeting on November 19, 2025, resolved to approve Heritage Permit Application HP2025-026 (Planning Committee Minutes 25-015, Item 9.3, PED25228) for the demolition of the existing two-storey single-detached dwelling; and construction of two new two-storey dwellings at 1007 Beach Boulevard, Hamilton under section 34 of the Ontario Heritage Act, in accordance with the submitted Heritage Permit Application and the following conditions:

- a) That the design of the new proposed dwellings be revised to remove the attached front garages and that the revised designs, including plans and elevations, be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner;
- b) That the **final architectural drawings** and **material choices** for the new dwellings be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- c) That a **Landscape Plan**, including new landscaping and street trees in the front yard, be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Consent to Sever, Building Permit and / or the commencement of any alterations;
- d) That the applicant makes reasonable effort to facilitate removal and salvage of heritage materials and any material which can be reused as to avoid additional waste as part of the demolition process and submit documentation of the salvage efforts, to the satisfaction and approval of the Director of Planning and Chief Planner;

**Re: Notice of Council Decision for HP2025-026
for 1007 Beach Boulevard, Hamilton (Ward 5)
Hamilton Beach Heritage Conservation District,
Designated under Part V of the Ontario Heritage
Act (By-law No. 00-135)**

November 25, 2025

Page 2 of 2

- e) That any minor changes to the plans and elevations following approval shall be submitted to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- f) That demolition, construction, and site alterations, in accordance with this approval, shall be completed no later than September 30, 2028. If the construction and site alterations are not completed by September 30, 2028, then this approval expires as of that date, and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

Please note that this property is designated under Part V of the *Ontario Heritage Act*, and that this permit is only for the above-noted work. Any departure from the approved plans and specifications is prohibited, and could result in penalties, as provided for by the *Ontario Heritage Act*. The terms and conditions of this approval may be appealed to the Ontario Land Tribunal within 30 days of your receipt of this permit.

The issuance of this permit under the *Ontario Heritage Act* is not a waiver of any of the provisions of any By-law of the City of Hamilton, the requirements of the *Building Code Act*, the *Planning Act*, or any other applicable legislation.

If you have any questions, please contact me at 905-546-2424, Ext. 1291, or via email at Lisa.Christie@hamilton.ca.

Kind regards,



Lisa Christie
Cultural Heritage Planner
Development Planning, Heritage and Urban Design

CITY OF HAMILTON
BY-LAW NO. 22-195

That the District Maps appended to and forming part of Zoning By-law No. 6593 (Hamilton) are amended by adding Site Specific S-1822 to lands zoned:

That SECTION 19: RESIDENTIAL CONVERSION REQUIREMENTS be amended by modifying Section 19.1 (i) as follows:

i) By adding a clause to Subsection 19.1 (i) (a):

1. Notwithstanding Section 19.1 (i) (a), one parking space shall be required for a Secondary Dwelling Unit - Detached if it constitutes the fourth Dwelling Unit on a lot.

ii) By adding a new Subsection:

(iv) Notwithstanding any applicable regulations of this By-law, no more than four Dwelling Units shall be permitted on a lot in a "B-1", "B-2", "C", "R-4", "D", or "R-2" District.

"Dwelling, Two Family" shall mean a building comprising two self-contained Class A dwelling units, whether or not a private garage or other accessory building is attached to the same, and which may also contain such lodgers' rooms as may be permitted under the provisions of this By-law in the district in which it is located.

e) That notwithstanding Section 9, (3) and (4), in the "C" (Urban Protected Residential, etc.) District, the following provisions shall apply to the uses permitted in Section 3 b) to this By-law:

i) A Semi-Detached Dwelling shall be subject to the provisions as provided in subsection 9A. (3) (b) and (c).

To Amend Former City of Hamilton Zoning By-law No. 6593 Respecting Modifications and Updates to Low Density Residential Zones
Page 4 of 8

f) A Two Family Dwelling shall be subject to the provisions as provided in subsection 10B. (3) and (4).

ii) A Street Townhouse Dwelling shall be subject to the provisions as provided in subsection 10F. (4), (5), and (6).

Use	"B-1" District	"B-2" District	"C" District	"R-4" District	"D" District	"R-2" District
Semi-Detached Dwelling	✓	✓	✓	✓	✓	✓
Two Family Dwelling	✓	✓	✓	✓	✓	✓
Street Townhouse Dwelling	✓	✓	✓	✓	✓	✓

4. That the SECTION 19: RESIDENTIAL CONVERSION REQUIREMENTS contained in Section 19 of Zoning By-law No. 6593, applicable to the lands the extent and boundaries of which are shown on Schedules "A-1" and "A-2" to this By-law, be amended to include the following special requirements:

a) That in addition to the requirements of Section 19, the following provisions shall apply to conversions in "B-1", "B-2", "C", "R-4", "D", and "R-2" Districts:

To Amend Former City of Hamilton Zoning By-law No. 6593 Respecting Modifications and Updates to Low Density Residential Zones
Page 5 of 8

i) For the purpose of Section 4 to this By-law, a converted dwelling shall mean a single detached or two family dwelling, existing as of XX, 2022, converted to contain greater than two but no more than four Dwelling Units.

ii) All the regulations of Zoning By-law No. 6593 applicable to the existing dwelling shall continue to apply unless specifically provided in Section 4 to this By-law.

iii) Notwithstanding any applicable regulations of Zoning By-law No. 6593, no more than four Dwelling Units shall be permitted on a lot.

iv) No parking spaces are required for Dwelling Units within a converted dwelling, provided the required parking spaces which existed on XX, 2022 for the existing dwelling shall continue to be provided and maintained.

v) Notwithstanding Section 4 a) iv) to this By-law, one parking space is required for the following conditions:

1) For the fourth Dwelling Unit in a converted dwelling; and,

2) For the fourth Dwelling Unit on a lot.

5. That no building or structure shall be erected, altered, extended, or enlarged, nor shall any building or structure or part thereof be used, nor shall any land be used, except in accordance with the "B-1" (Suburban Agriculture and Residential, etc.) District provisions, "B-2" (Suburban Residential District provisions), "C" (Urban Protected Residential, etc.) District provisions, "R-4" (Small Lot Single Family Detached) District provisions, "D" (Urban Protected Residential - One and Two Family Dwellings, etc.) District provisions, and "R-2" (Urban Protected Residential One and Two Family Dwellings, etc.) District provisions, subject to the special requirements in Section 3 and 4 of this By-law.

6. That the District maps appended to and forming part of Zoning By-law No. 6593, are amended by marking the lands referred to in Section 1 of this By-law as Schedule S-1822.

7. That Zoning By-law No. 6593 is amended by adding this By-law to Section 19B as Schedule S-1822.

To Amend Former City of Hamilton Zoning By-law No. 6593 Respecting Modifications and Updates to Low Density Residential Zones
Page 6 of 8

8. That no building or structure shall be erected, altered, extended or enlarged, nor shall any building or structure or part thereof be used, nor shall any land be used, except in accordance with Section 2 of this By-law.

9. That the Clerk is hereby authorized and directed to proceed with the giving of notice of the passing of this By-law in accordance with the Planning Act.

10. That this By-law shall not come into force and effect until such time as Official Plan Amendment No. 167 to the Urban Hamilton Official Plan is in full force and effect.

11. That for the purposes of the Ontario Building Code, this By-law or any part if it is not made until it has come into force as provided by Section 34 of the Planning Act.

The Corporation of the City of Hamilton
BY-LAW NO. 99-169
To Amend
Zoning By-law No. 6593

1. The "C" (Urban Protected Residential, etc.) District, the "G" (Neighbourhood Shopping Centre, etc.) District, and the "H" (Community Shopping and Commercial, etc.) District provisions, as contained in Section 9, 13 and 14, respectively, of Zoning By-law No. 6593, applicable to the lands east (lake side) of Beach Boulevard, the extent and boundaries of which are shown on plans hereto annexed as Schedules "A-1" and "A-2", are amended to the extent only of the special requirements that:

(a) all buildings and structures, including accessory buildings, shall provide a side yard along each side lot line, of a width of at least 1.2 metres; and

(b) notwithstanding clause (a), a side yard may be reduced to a width of at least 1.5 metres, only where a common wall between the adjoining properties has been approved under a Lot Grading Agreement or approved under a Site Plan Control Agreement; and

(c) notwithstanding clauses (a) and (b), Sections 18(3)(v), (vico), and (vi) of the Act shall not apply to side yards.

2. The "C" (Urban Protected Residential, etc.) District provisions, as contained in Section 9 of Zoning By-law No. 6593, applicable to the lands comprised in Blocks "1" and "2", the extent and boundaries of each Block are shown on a plan hereto annexed as Schedule "A-3", are amended to the extent only of the special requirements that:

(a) No building or structure, except fences shall be located within 4.5 metres of the rear lot line;

(i) every fence, excluding the supporting posts must be at least 275mm from the ground to the bottom of the fence, so as not to obstruct the natural flow of water.

SITE STATISTICS

MUNICIPAL ADDRESS
1007 BEACH BLVD
HAMILTON, ONT.

BUILDING CLASSIFICATION
RESIDENTIAL

ZONING
"C" - URBAN PROTECTED RESIDENTIAL, ETC

REQUIREMENTS FOR DETACHED
MIN. SIDE YARDS 1.2 M (3.94')
MIN. FRONT YARD 6.0 M (19.68')
MIN. REAR YARD 7.5 M (24.61')
MAX. BLDG HT. 11.0 M (36.09')

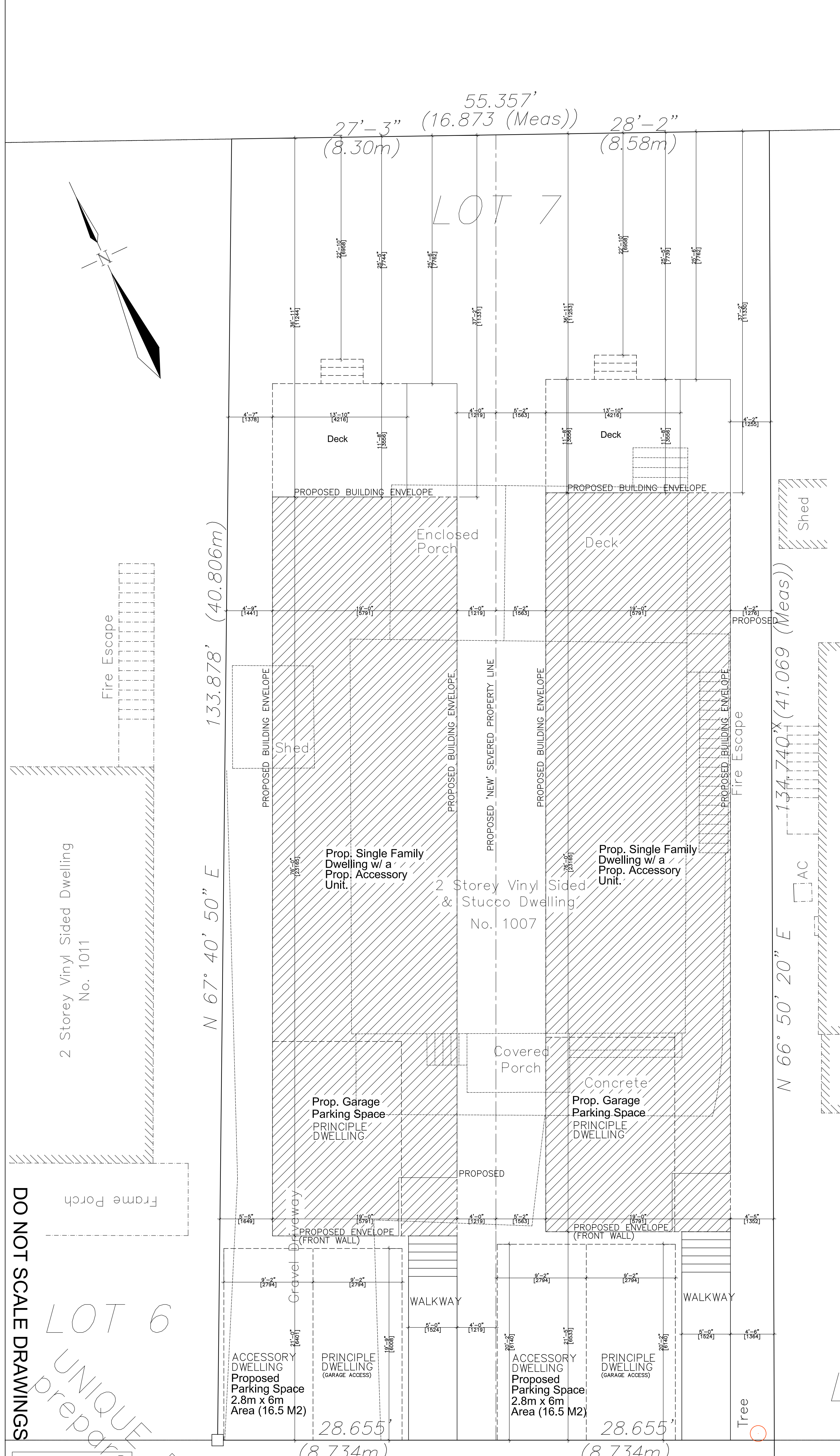
INTENSITY OF USE - LOT AREA
MIN. REQD. LOT WIDTH = 32.0 M (105.37')
MIN. REQD. LOT AREA = 308.0 SQ.M (3826.35 SQ.FT.)

OTHER BY-LAW REQUIREMENTS:
BY-LAW 00-136
MAX. HT. 9.0M (29.527')
FRONT YARD SETBACK 12.0M (39.370')
GARAGE WALL TO BE 1.5M (4.921') FROM FRONT WALL OF DWELLING AND HAVE A FRONT YARD OF 7.5M (24.60')

BY-LAW 22-195 - 2 FAMILY PERMITTED
MAX. HT. 9.0M (29.527')
FRONT YARD SETBACK 12.0M (39.370')
GARAGE WALL TO BE 1.5M (4.921') FROM FRONT WALL OF DWELLING AND HAVE A FRONT YARD OF 7.5M (24.60')

BY-LAW 99-169
MIN. SIDE YARD 1.7M (5.57')
MIN. SIDE YARD 1.5M PERMITTED WITH A GRADING PLAN SHOWING COMMON SWALES BETWEEN DWELLINGS UNDER AN APPROVED LOT GRADING AGREEMENT
NO BUILDING OR STRUCTURE OTHER THAN A FENCE TO BE WITHIN 4.5M OF REQUIRED REAR YARD.

- REQUIRED/ QUESTIONS:**
1. SEVERANCE OF PROPERTY INTO TWO PARCELS.
 2. VARIANCE FOR LOT WIDTH - VIA SEVERANCE?
 3. VARIANCE FOR SETBACKS SIDE YARDS ONLY! 4'-0" ONE SIDE AND 5'-0" OTHER...UNDER GRADING PLAN AND APPROVAL?
 4. VARIANCE FOR SETBACK OF GARAGE TO BE FLUSH OR CLOSE TO FLUSH WITH HAVING TO BE 1.5M BEHIND FRONT WALL AS ALLOT OF NEW HOMES ON THIS SIDE ARE?
 5. IS STREET PARKING PERMITTED?
 6. CAN PARKING BE 1 CAR IN GARAGE AND STREET PARKING
 7. CAN 3 UNITS BE A POSSIBILITY OR JUST TWO PER BUILDING?



DO NOT SCALE DRAWINGS

UNIQUE DESIGNS INC. prepared for variance

CLARK RESIDENCE

1007 BEACH BLVD., HAMILTON, ONT.

PROPOSED (PER EA. CREATED LOT) 57.309' (17.468m (Meas))

PROPOSED (PER EA. CREATED LOT) 57.309' (17.468m (Meas))

BEACH BLVD.

PLOT PLAN

UNIQUE DESIGNS INC.
31090 BDN

072423

072723

3/16"=1'-0"

AO

CLARK RESIDENCE

1007 BEACH BLVD., HAMILTON, ONT.

UNIQUE DESIGNS INC.
DRAFTING DESIGN INC.

SECONDARY DWELLING UNIT - DETACHED

PLOT PLAN

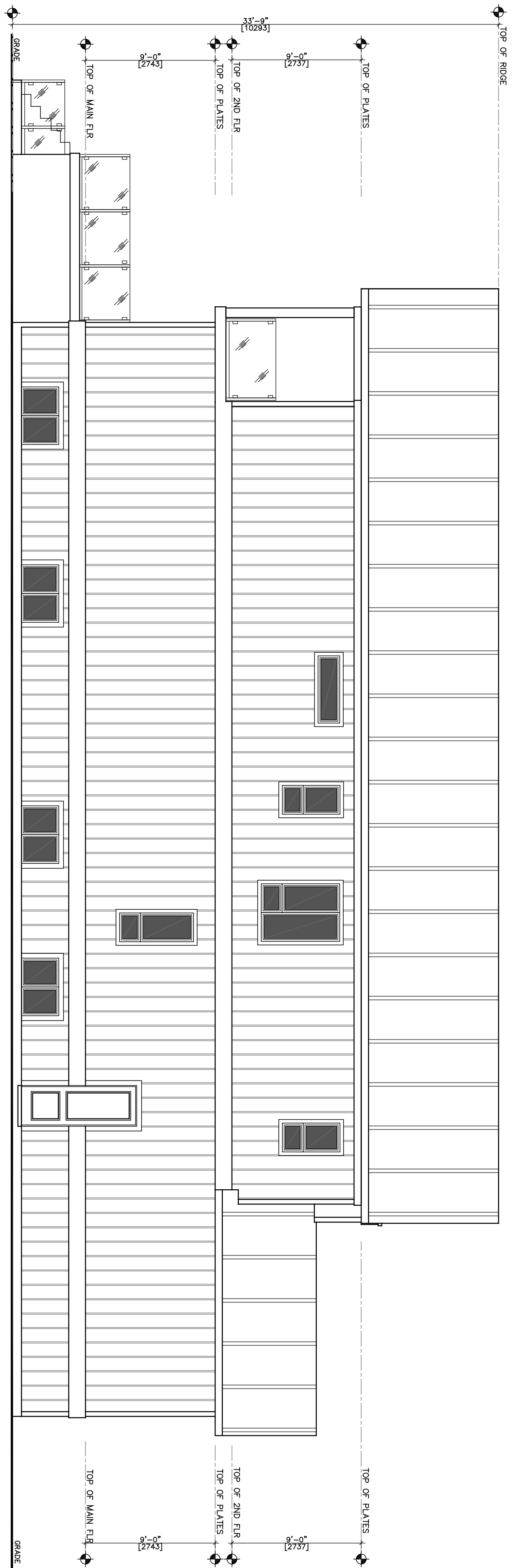
A. ISSUED FOR PROPOSED LAND SEVERANCE AND REQUIRED MINOR VARIANCES

No.	DATE	DESCRIPTION
1.	07.26.23	ISSUED FOR REVIEW
2.	08.09.23	RE-ISSUED FOR REVIEW
3.	01.02.24	RE-ISSUED FOR SEVERANCE/ VARIANCES
4.	05.06.24	RE-ISSUED FOR SEVERANCE/ VARIANCES
5.		
6.		
7.		
8.		

THESE DRAWINGS ARE NOT TO BE REPRODUCED, COPIED, OR ALTERED. CONTRACTOR MUST CHECK CONDITIONS ON THE PROJECT; AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.

THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.



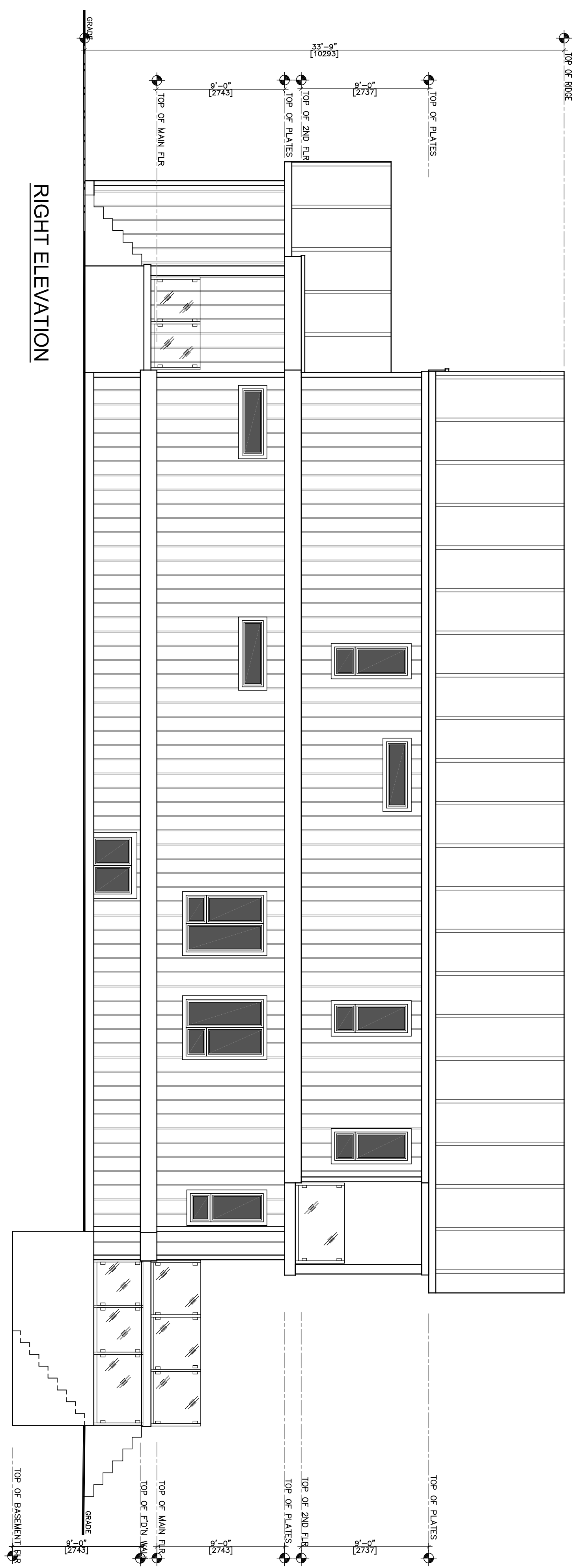


LEFT ELEVATION

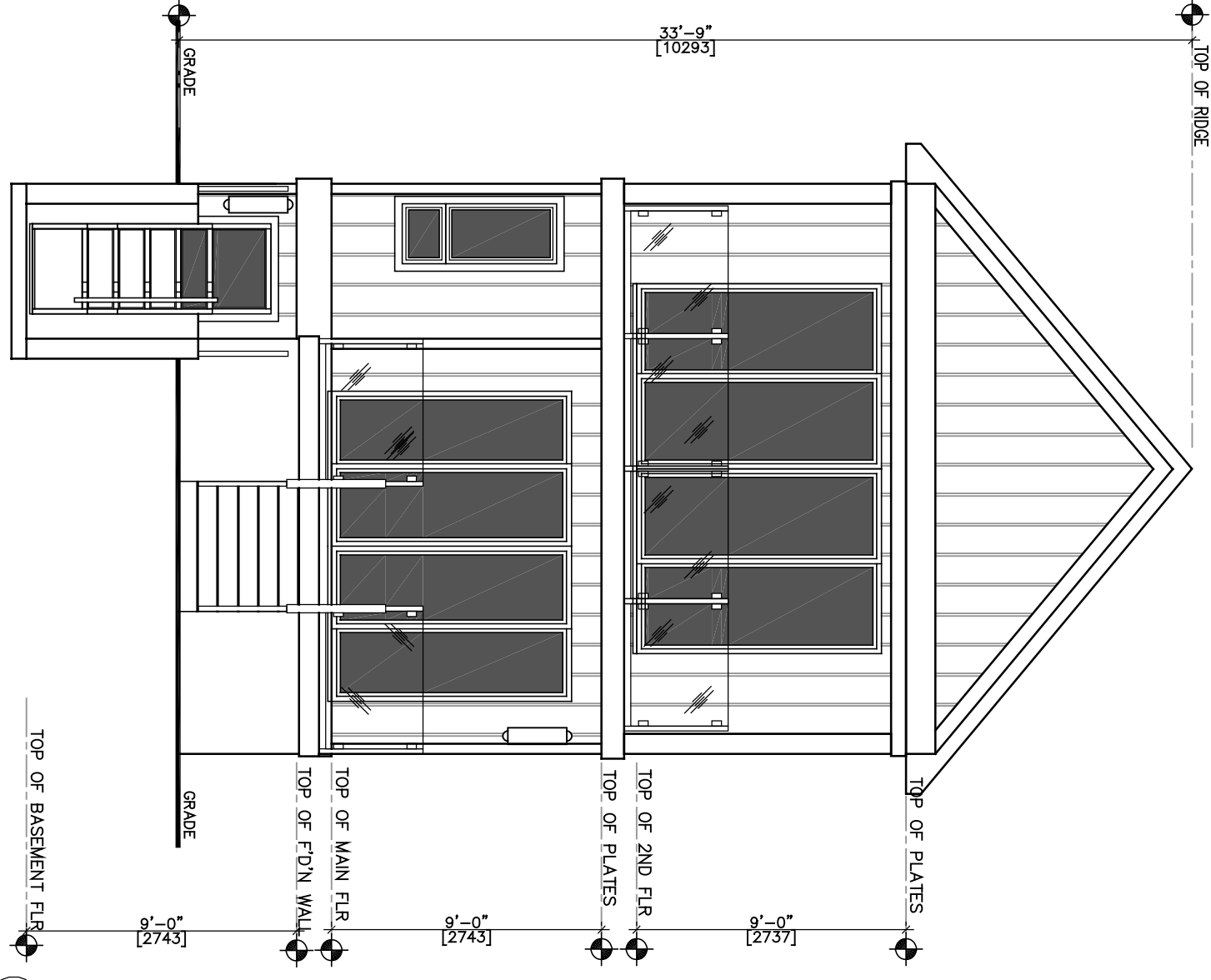


FRONT ELEVATION

IT SHALL BE THE RESPONSIBILITY OF THE BUILDER TO HAVE ALL GRADES AND FINISHES CHECKED BY A REGISTERED PROFESSIONAL ENGINEER GRADING AND SERVICES ENGINEER. PROPOSED GRADE LINE AS INDICATED SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND FINISHED NECESSARILY DEPOT FINISHED GRADING CONDITIONS.



RIGHT ELEVATION



REAR ELEVATION

DO NOT SCALE DRAWINGS

UNIQUE DESIGNS INC.
prepared for variance



A. ISSUED FOR PROPOSED LAND SEVERANCE AND REQUIRED MINOR VARIANCES

No.	DATE	DESCRIPTION
1.	07.26.23	ISSUED FOR REVIEW
2.	08.09.23	RE-ISSUED FOR REVIEW
3.	10.27.23	LOT SEVERANCE APPLICATION
4.	01.02.24	RE-ISSUED FOR SEVERANCE/ VARIANCE
5.	05.06.24	RE-ISSUED FOR SEVERANCE/ VARIANCE
6.		
7.		
8.		

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THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.

The undersigned has reviewed and takes responsibility for this design, and has verified the qualifications and meets the requirements set out in the Ontario Building Code. QUALIFICATION INFORMATION: Required unless design is exempt under Div. C, Article 3.2.5.1 of the Building Code.
Name: MAURO FORTINATO
Signature: [Signature]
15084 BDN
REGISTRATION INFORMATION: Required unless design is exempt under Div. C, Article 3.2.4.1 of the Building Code.
UNIQUE DESIGNS INC.
31090 BDN

Drawn By: [Name]
Scale: 3/16"=1'-0"
Date: 10.27.23
Job Number: 072423
A1

CLARK RESIDENCE

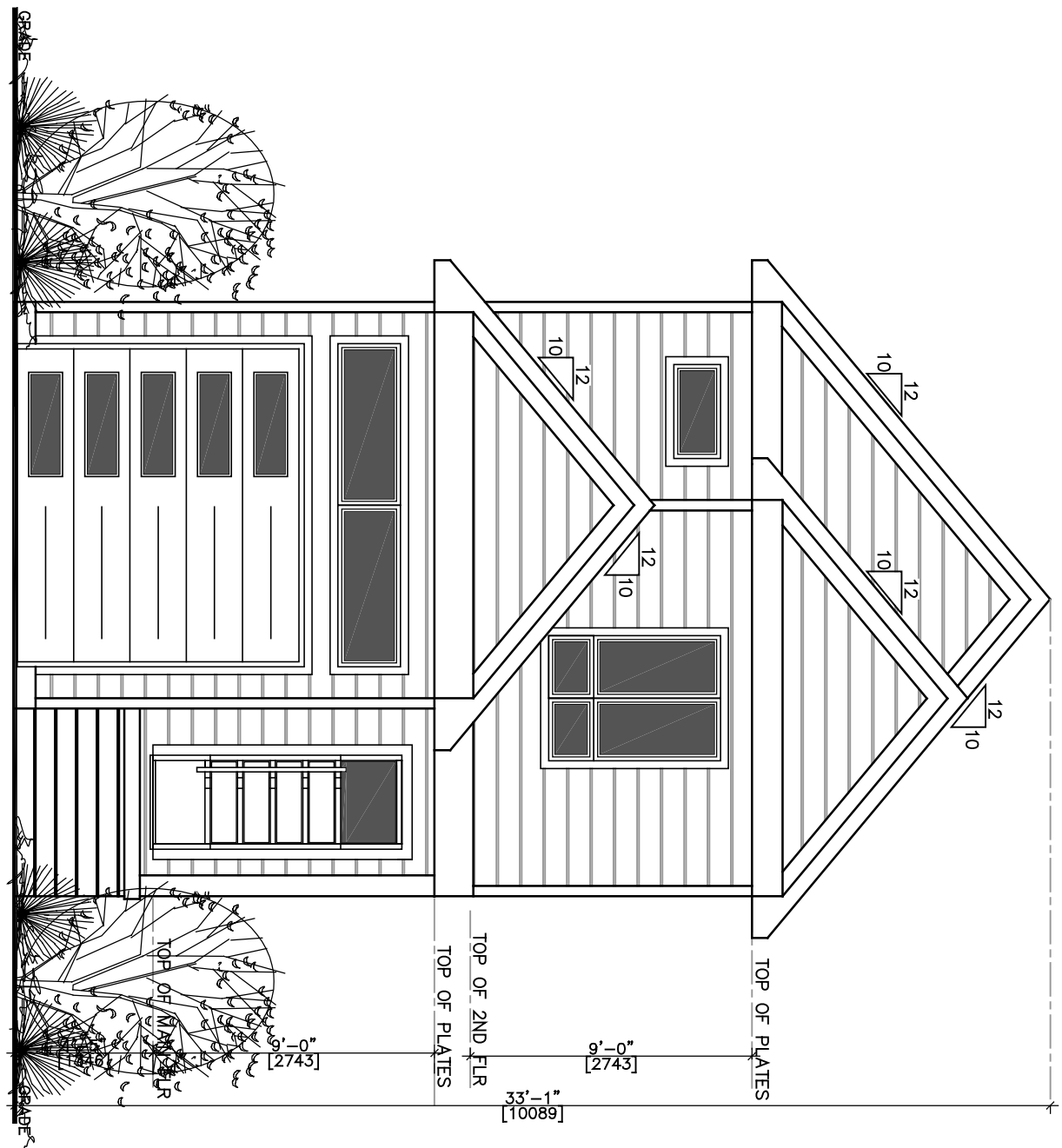
1007 BEACH BLVD.,
HAMILTON, ONT.



UNIQUE DESIGNS INC.

LOT SEVERANCE
MINOR VARIANCE
APPLICATION

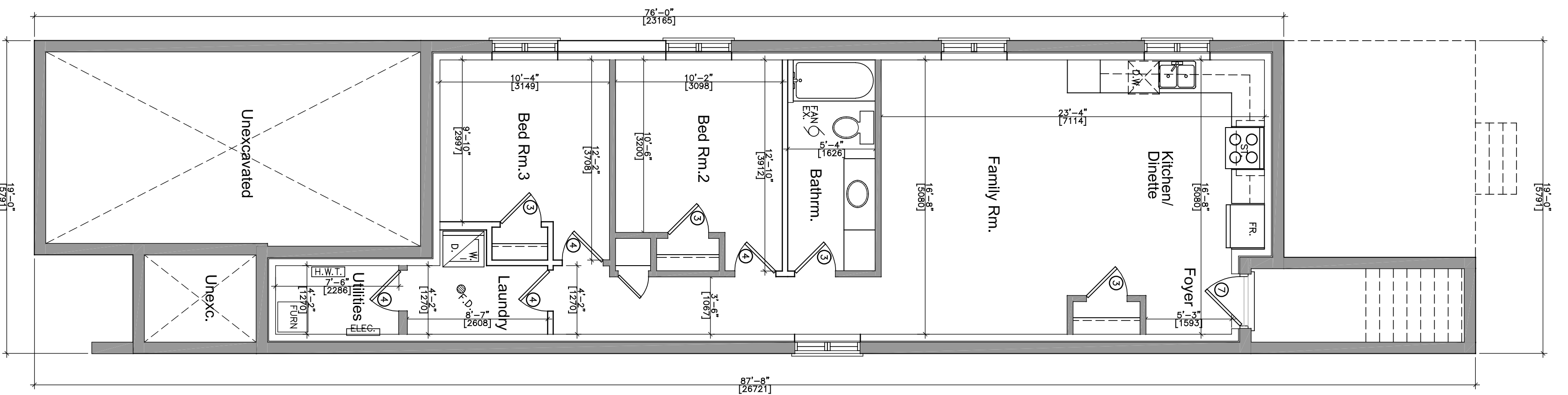
PROPOSED ELEVATIONS
FOR BOTH SIDES



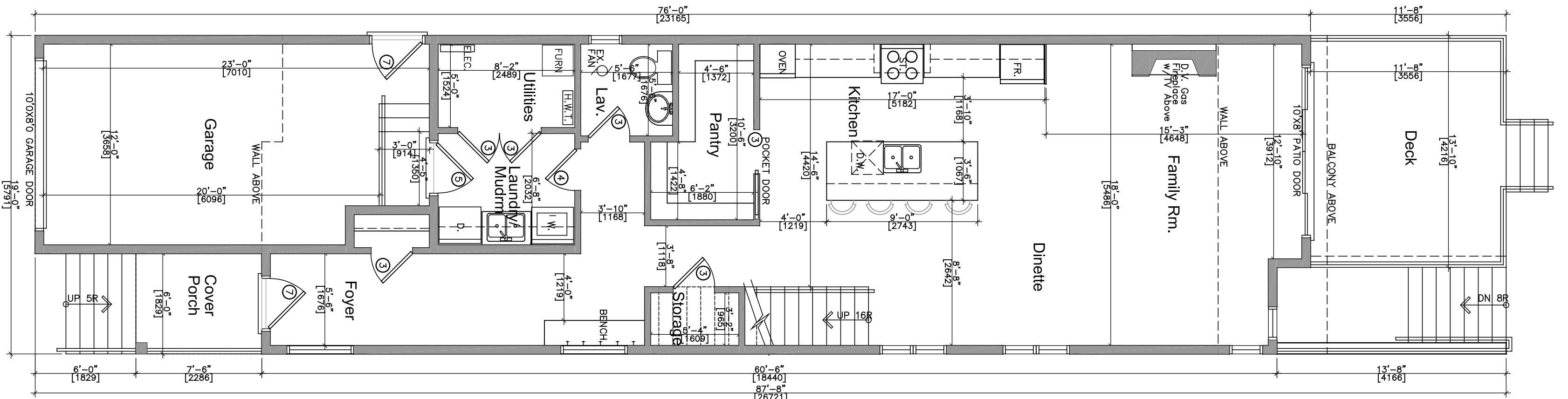
OPTIONAL - FRONT ELEVATION - 'B'



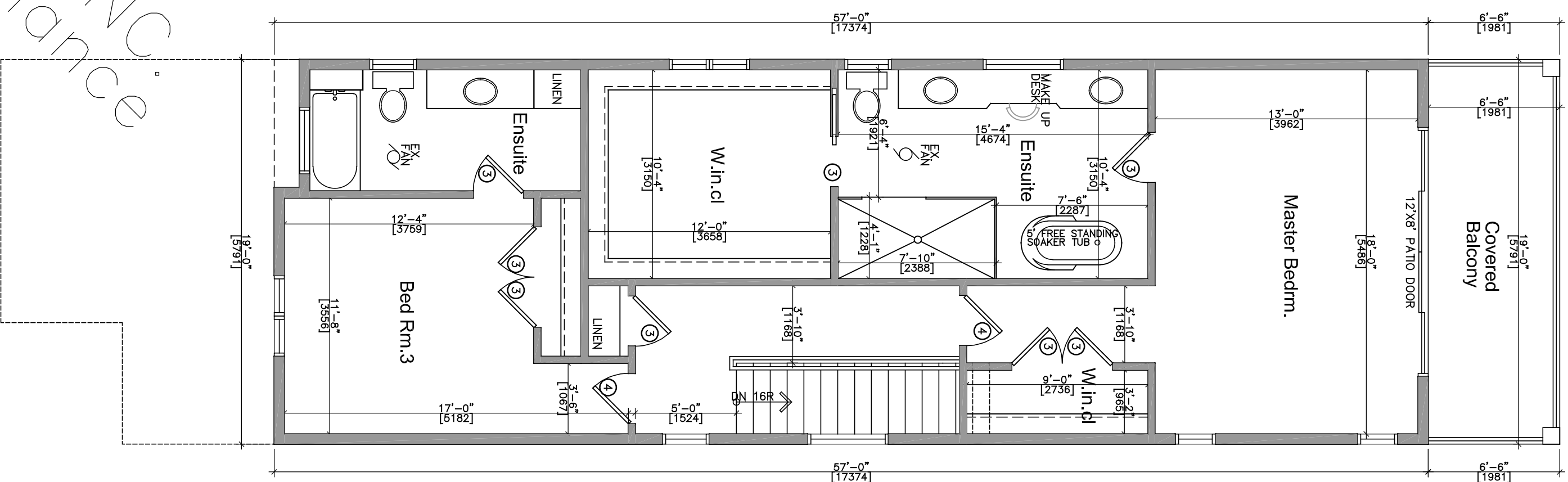
OPTIONAL FRONT ELEVATION - 'C'



FOUNDATION PLAN
PROPOSED ADU
794 SQ. FT.



FIRST FLOOR PLAN
1064 SQ. FT.



SECOND FLOOR PLAN - 'B'
1077 SQ. FT.



A. ISSUED FOR PROPOSED LAND SEVERANCE AND REQUIRED MINOR VARIANCES

No.	DATE	DESCRIPTION
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2.	08.09.23	RE-ISSUED FOR REVIEW
3.	10.27.23	LOT SEVERANCE APPLICATION
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6.		
7.		
8.		

THESE DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT; AND MUST REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
THE USE OF THIS DRAWING OR PART THEREOF IS FORBIDDEN WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER.



UNIQUE DESIGNS INC.

LOT SEVERANCE
MINOR VARIANCE
APPLICATION

PROPOSED FLOOR PLANS

**CLARK
RESIDENCE**

1007 BEACH BLVD.,
HAMILTON, ONT.

Drawn By

Scale

Date:

3/16"=1'-0"

Job Number

10.27.23

Firm Name

072423

A2

The undersigned has reviewed and takes responsibility for this design, and one for qualifications and meets the requirements set out in the Ontario Building Code. QUALIFICATION INFORMATION: Required unless design is exempt under Div. C, Article 3.2.5.1 of the Building Code
Name: MAURO FORTINATO
Signature: [Signature]
15084
REGISTRATION INFORMATION: Required unless design is exempt under Div. C, Article 3.2.4.1 of the Building Code
UNIQUE DESIGNS INC.
31090
RDN

DO NOT SCALE DRAWINGS

UNIQUE DESIGNS INC.
prepared for variance

Variances required as determined by an Applicable Law Review – Zoning By-law on February 23, 2024

1. A maximum building height of 10.09 metres shall be provided whereas the by-law permits a maximum height of two storeys or 9.0 metres.
2. A minimum side yard setback of 1.22 metres for the western lot and 1.28 metres for the eastern lot shall be provided whereas the by-law requires a minimum side yard setback of 1.7 metres.
3. A minimum lot frontage of 8.73 metres shall be provided for each lot whereas the by-law requires a minimum lot frontage of 12.0 metres.
4. A minimum lot area of 338 square metres for the western lot and 352 square metres for the eastern lot shall be provided whereas the by-law requires a minimum lot area of 360 square metres.
5. A minimum landscaped area of X% for the western lot and X% for the eastern lot shall be provided whereas the by-law requires a minimum of 50% of the gross area of the front yard to be landscaped.

Yours truly



for the Manager of Zoning & Committee of Adjustment

I am Sandra Clark, owner of the property known as 1007 Beach Blvd. in the City of Hamilton.

I recently purchased this property with the intention of severing and creating 2 building lot, each having a frontage of 8.734 metres and a lot area of 356.4 square metres. At the present time there is an existing abandoned dwelling unit that is a complete eyesore to the area residents and not viable to be rehabilitated. That being the case, I understand that variances would be required as this property is located in a "C" (urban protected residential) zoning and within the Heritage District of Beach Blvd.

I discussion with the City's planning staff, they have stated that these proposed lot sizes are not consistent with the current lot fabric of the area.

In my research, I have discovered that there are numerous lots in the area with a lot frontage of approximately 9 metres which in my opinion complements this area.

My goal if my variance and severance applications are approved by the Committee is to construct new dwelling units on each lot with each dwelling containing a secondary dwelling unit. These dwelling units will be designed and constructed to compliment the area as shown on the attached drawings prepared by Unique Designs Inc., a local firm experienced infill developments such as this.

I intend to live in one of the units and therefore add 3 units to the affordable rental housing inventory.

In my opinion, the designated Heritage District for this area is outdated and does not meet the needs of the citizens of Hamilton who wish to live in this area.

I therefore hope that this Committee approves my severance application and my minor variance application before you.

I have compiled a list of the lot sizes on Beach Blvd that are 35 foot frontage and smaller

485- 15x95

1071-1063. 5 lots 19x124

1091-1081 6 lots townhouses similar in size

491- 24x95

483- 25x114

493-25x95

495-25x96

285-27x125

305-30x87

307-30x58

397-30x216

401-30x495

841-30x100

851-30x135

208-32x169

198-33x156

271-33x234

795-33x149

204-34x158



Hamilton

Committee of Adjustment

City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

**APPLICATION FOR CONSENT TO SEVER LAND
and VALIDATION OF TITLE
UNDER SECTION 53 & 57 OF THE PLANNING ACT**

Please see additional information regarding how to submit an application, requirements for the required sketch and general information in the Submission Requirements and Information.

1. APPLICANT INFORMATION

	NAME
Purchaser*	
Registered Owners(s)	SANDRA CLARK
Applicant(s)**	
Agent or Solicitor	MICHAEL P. SABELLI



*Purchaser must provide a copy of the portion of the agreement of purchase and sale that authorizes the purchaser to make the application in respect of the land that is the subject of the application.

** Owner's authorisation required if the applicant is not the owner or purchaser.

1.2 All correspondence should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.3 Sign should be sent to Purchaser Owner
 Applicant Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	1007 BEACH BLVD.		
Assessment Roll Number			
Former Municipality	-		
Lot	7	Concession	
Registered Plan Number	452	Lot(s)	-
Reference Plan Number (s)	-	Part(s)	-

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3 PURPOSE OF THE APPLICATION

3.1 Type and purpose of proposed transaction: (check appropriate box)

- | | |
|--|--|
| <input checked="" type="checkbox"/> creation of a new lot(s) | <input type="checkbox"/> concurrent new lot(s) |
| <input type="checkbox"/> addition to a lot | <input type="checkbox"/> a lease |
| <input type="checkbox"/> an easement | <input type="checkbox"/> a correction of title |
| <input type="checkbox"/> validation of title (must also complete section 8) | <input type="checkbox"/> a charge |
| <input type="checkbox"/> cancellation (must also complete section 9) | |
| <input type="checkbox"/> creation of a new non-farm parcel (must also complete section 10)
(i.e. a lot containing a surplus farm dwelling
resulting from a farm consolidation) | |

3.2 Name of person(s), if known, to whom land or interest in land is to be transferred, leased or charged:

N/A

3.3 If a lot addition, identify the lands to which the parcel will be added:

N/A

3.4 Certificate Request for Retained Lands: Yes*

* If yes, a statement from an Ontario solicitor in good standing that there is no land abutting the subject land that is owned by the owner of the subject land other than land that could be conveyed without contravening section 50 of the Act. (O. Reg. 786/21)

4 DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Description of subject land:

All dimensions to be provided in metric (m, m² or ha), attach additional sheets as necessary.

	Retained (remainder)	Parcel 1	Parcel 2	Parcel 3*	Parcel 4*

Identified on Sketch as:	LANDS TO BE SEVERED	LANDS TO BE RETAINED			
Type of Transfer	N/A				
Frontage	8.734M	8.734M			
Depth	40.806M	40.806M	40.806M		
Area	356.40m ²	356.40m ²			
Existing Use	RESIDENTIAL	RESIDENTIAL			
Proposed Use	RESIDENTIAL	RESIDENTIAL			
Existing Buildings/ Structures	SINGLE FAMILY DWELLING	SINGLE FAMILY DWELLING			
Proposed Buildings/ Structures	SINGLE FAMILY DWELLING	SINGLE FAMILY DWELLING			
Buildings/ Structures to be Removed	EXISTING DWELLING	EXISTING DWELLING			

* Additional fees apply.

4.2 Subject Land Servicing

a) Type of access: (check appropriate box)

- | | |
|---|--|
| <input type="checkbox"/> provincial highway | <input type="checkbox"/> right of way |
| <input type="checkbox"/> municipal road, seasonally maintained | <input type="checkbox"/> other public road |
| <input checked="" type="checkbox"/> municipal road, maintained all year | _____ |

b) Type of water supply proposed: (check appropriate box)

- | | |
|--|---|
| <input checked="" type="checkbox"/> publicly owned and operated piped water system | <input type="checkbox"/> lake or other water body |
| <input type="checkbox"/> privately owned and operated individual well | <input type="checkbox"/> other means (specify) |
| | _____ |

c) Type of sewage disposal proposed: (check appropriate box)

- | |
|--|
| <input checked="" type="checkbox"/> publicly owned and operated sanitary sewage system |
| <input type="checkbox"/> privately owned and operated individual septic system |
| <input type="checkbox"/> other means (specify) _____ |

4.3 Other Services: (check if the service is available)

- | | | | |
|---|---|---|--|
| <input checked="" type="checkbox"/> electricity | <input checked="" type="checkbox"/> telephone | <input type="checkbox"/> school bussing | <input checked="" type="checkbox"/> garbage collection |
|---|---|---|--|

5 CURRENT LAND USE

5.1 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) NEIGHBOURHOODS

Please provide an explanation of how the application conforms with a City of Hamilton Official Plan.

- 5.2 Is the subject land currently the subject of a proposed official plan amendment that has been submitted for approval?
 Yes No Unknown

If YES, and known, provide the appropriate file number and status of the application.

- 5.3 What is the existing zoning of the subject land? "C" - URBAN PROTECTED RESIDENTIAL

If the subject land is covered by a Minister's zoning order, what is the Ontario Regulation Number?

- 5.4 Is the subject land the subject of any other application for a Minister's zoning order, zoning by-law amendment, minor variance, consent or approval of a plan of subdivision?
 Yes No Unknown

If YES, and known, provide the appropriate file number and status of the application.

TO BE ASSIGNED

- 5.5 Are any of the following uses or features on the subject land or within 500 metres of the subject land, unless otherwise specified. Please check the appropriate boxes, if any apply.

Use or Feature	On the Subject Land	Within 500 Metres of Subject Land, unless otherwise specified (indicate approximate distance)
An agricultural operation, including livestock facility or stockyard * Submit Minimum Distance Separation Formulae (MDS) if applicable	<input type="checkbox"/>	
A land fill	<input type="checkbox"/>	
A sewage treatment plant or waste stabilization plant	<input type="checkbox"/>	
A provincially significant wetland	<input type="checkbox"/>	
A provincially significant wetland within 120 metres	<input type="checkbox"/>	
A flood plain	<input type="checkbox"/>	
An industrial or commercial use, and specify the use(s)	<input type="checkbox"/>	
An active railway line	<input type="checkbox"/>	
A municipal or federal airport	<input type="checkbox"/>	

6 HISTORY OF THE SUBJECT LAND

6.1 Has the subject land ever been the subject of an application for approval of a plan of subdivision or a consent under sections 51 or 53 of the *Planning Act*?
 Yes No Unknown

If YES, and known, provide the appropriate application file number and the decision made on the application.

6.2 If this application is a re-submission of a previous consent application, describe how it has been changed from the original application.

6.3 Has any land been severed or subdivided from the parcel originally acquired by the owner of the subject land?
 Yes No

If YES, and if known, provide for each parcel severed, the date of transfer, the name of the transferee and the land use.

6.4 How long has the applicant owned the subject land?

1 YEAR

6.5 Does the applicant own any other land in the City? Yes No
If YES, describe the lands below or attach a separate page.

7 PROVINCIAL POLICY

7.1 Is this application consistent with the Policy Statements issued under Section 3 of the *Planning Act*?
 Yes No (Provide explanation)

7.2 Is this application consistent with the Provincial Policy Statement (PPS)?
 Yes No (Provide explanation)

7.3 Does this application conform to the Growth Plan for the Greater Golden Horseshoe?
 Yes No (Provide explanation)

7.4 Are the subject lands subject to the Niagara Escarpment Plan?
 Yes No (Provide explanation)

7.5 Are the subject lands subject to the Parkway Belt West Plan?

Yes No (Provide explanation)

7.6 Are the subject lands subject to the Greenbelt Plan?

Yes No (Provide explanation)

7.7 Are the subject lands within an area of land designated under any other provincial plan or plans?

Yes No (Provide explanation)

8 ADDITIONAL INFORMATION - VALIDATION

8.1 Did the previous owner retain any interest in the subject land?

Yes No (Provide explanation)

8.2 Does the current owner have any interest in any abutting land?

Yes No (Provide explanation and details on plan)

8.3 Why do you consider your title may require validation? (attach additional sheets as necessary)

9 ADDITIONAL INFORMATION - CANCELLATION

9.1 Did the previous owner retain any interest in the subject land?

Yes No (Provide explanation)

9.2 Does the current owner have any interest in any abutting land?

Yes No (Provide explanation and details on plan)

9.3 Why do you require cancellation of a previous consent? (attach additional sheets as necessary)

10 ADDITIONAL INFORMATION - FARM CONSOLIDATION

10.1 Purpose of the Application (Farm Consolidation)

If proposal is for the creation of a non-farm parcel resulting from a farm consolidation, indicate if the consolidation is for:

- Surplus Farm Dwelling Severance from an Abutting Farm Consolidation
- Surplus Farm Dwelling Severance from a Non-Abutting Farm Consolidation

10.2 Location of farm consolidation property:

Municipal Address			
Assessment Roll Number			
Former Municipality			
Lot		Concession	
Registered Plan Number		Lot(s)	
Reference Plan Number (s)		Part(s)	

10.3 Rural Hamilton Official Plan Designation(s)

If proposal is for the creation of a non-farm parcel resulting from a farm consolidation, indicate the existing land use designation of the abutting or non-abutting farm consolidation property.

10.4 Description of farm consolidation property:

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use(s): _____ Proposed Land Use(s): _____

10.5 Description of abutting consolidated farm (excluding lands intended to be severed for the surplus dwelling)

Frontage (m):	Area (m ² or ha):
---------------	------------------------------

Existing Land Use: _____ Proposed Land Use: _____

10.7 Description of surplus dwelling lands proposed to be severed:

Frontage (m): (from Section 4.1)	Area (m ² or ha): (from Section 4.1)
----------------------------------	---

Front yard set back: _____

a) Date of construction:

- Prior to December 16, 2004 After December 16, 2004

b) Condition:

- Habitable Non-Habitable

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application Form
- Signatures Sheet

11.2 Validation of Title

- All information documents in Section 11.1
- Detailed history of why a Validation of Title is required
- All supporting materials indicating the contravention of the Planning Act, including PIN documents and other items deemed necessary.

11.3 Cancellation

- All information documents in Section 11.1
- Detailed history of when the previous consent took place.
- All supporting materials indicating the cancellation subject lands and any neighbouring lands owned in the same name, including PIN documents and other items deemed necessary.

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
- _____
- _____