



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

| | | | |
|-------------------------|------------------------------|--------------------------|------------------------------|
| APPLICATION NO.: | A-26:028 | SUBJECT PROPERTY: | 21 Dundas Street, Dundas |
| ZONE: | R3 (Low Density Residential) | ZONING BY-LAW: | Dundas Zoning By-law 3581-86 |

APPLICANTS: Owner: Michael Peetz and Patricia Peetz
 Applicant:
 Agent:

The following variances are requested:

1. The construction of a new dormer and an additional 32.0 square metres of Gross floor area shall be permitted whereas the by-law prohibits an expansion of a legally established non-conforming use.

PURPOSE & EFFECT: To construct an addition onto a legal non-conforming Apartment Building

Notes:

- i. Our records indicate the use to be a Legally Established Non-Conforming Apartment Building containing six (6) dwelling units.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

| | |
|---------------|---|
| DATE: | Thursday, April 30, 2026 |
| TIME: | 10:15 a.m. |
| PLACE: | Via video link or call in (see attached sheet for details) |
| | City Hall Council Chambers (71 Main St. W., Hamilton) |
| | To be streamed (viewing only) at |

| |
|--|
| www.hamilton.ca/committeeofadjustment |
|--|

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

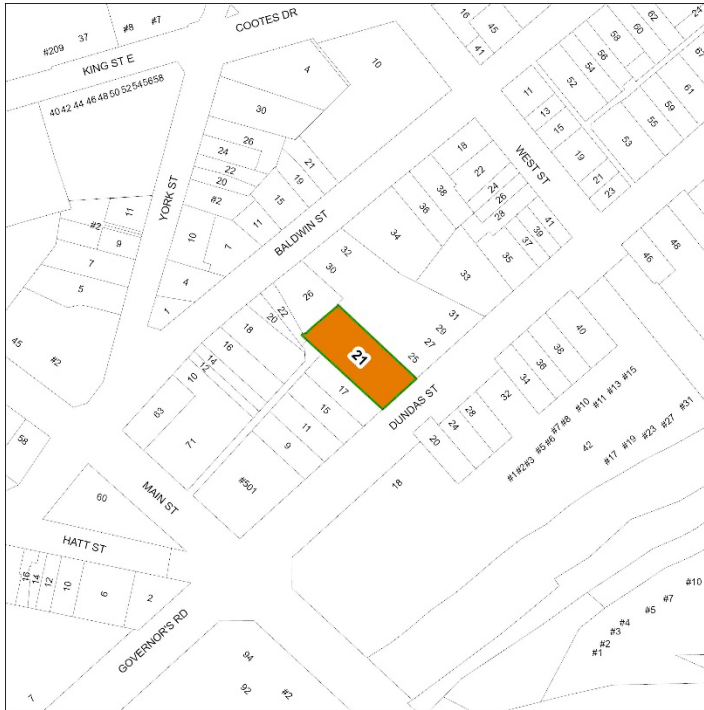
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon April 28, 2026.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon April 29, 2026.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-26:028, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



DATED: April 13, 2026

Justin Leung,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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PARTICIPATING PROCEDURES

1. Written Submission Ahead of the Meeting

Members of the public who wish to provide input without speaking at the Hearing may submit written comments in advance of the meeting. Comments must be received by **12:00 p.m. (noon)** on the deadline date for written comment submissions listed on the Notice of Public Hearing.

How to Submit Written Comments:

By Email:

Send to: cofa@hamilton.ca

By Mail:

Committee of Adjustment
City of Hamilton
71 Main Street West, 5th Floor
Hamilton, Ontario
L8P 4Y5

The following information is required with your written submission:

- Committee of Adjustment file number
- Full name and address of the person providing comments. Anonymous comments will not be accepted.

Comments can also be placed in the drop box which is located at the back of the 1st Floor of City Hall, 71 Main Street West. All written comments received by the deadline will be made available to the Committee and the public by the Tuesday prior to the Hearing.

2. Oral Submissions During the Hearing

Interested members of the public, agents, and owners may provide oral comments on Committee of Adjustment Hearing items either virtually via Webex (computer or phone) or by attending in person.

Speaking Time Limit:

All participants providing oral submissions, either in person or virtually are limited to a maximum of 5 minutes to speak. This is to ensure all parties have an equal opportunity to be heard and that the meeting runs efficiently.

3. In-Person Oral Submissions

To participate in person, attend Council Chambers on the date and time listed in the Notice of Public Hearing. You will be required to provide your name and address for the record. It is recommended you arrive at least 10 minutes prior to the scheduled start time.

4. Virtual Oral Submissions

To participate virtually, you must register by 12:00 p.m. (noon) on the virtual oral submissions registration deadline date. This is listed on the Notice of Public Hearing. To register, email cofa@hamilton.ca with the following information:

- Committee of Adjustment file number
- Hearing date
- Full name and address of the person wishing to speak. Anonymous comments will not be accepted.
- Method of participation (phone or video), and, if applicable, the phone number to be used
- Each person must register separately

Registered participants will receive a Webex link one business day before the Hearing. Only those registered will be called upon to speak.

5. Presentations

All presentations are permitted at the discretion of the Committee.

Virtual Presentations:

Presenters participating virtually may be granted permission to share their screen during the Hearing. A copy of the presentation must be submitted to cofa@hamilton.ca **by 12:00 p.m. (noon) on the business day prior to the Hearing**. The submission must be one document in PDF format only.

In-Person Presentations:

Presenters attending in person may be granted permission to use the presentation screen. Presentations must be brought on a USB device and opened by the owner/applicant. A copy of the presentation must also be sent to cofa@hamilton.ca **by 12:00 p.m. (noon) on the business day prior to the Hearing**. The submission must be one document in PDF format only. Handouts are permitted only if the same content can be displayed on the presentation screen.

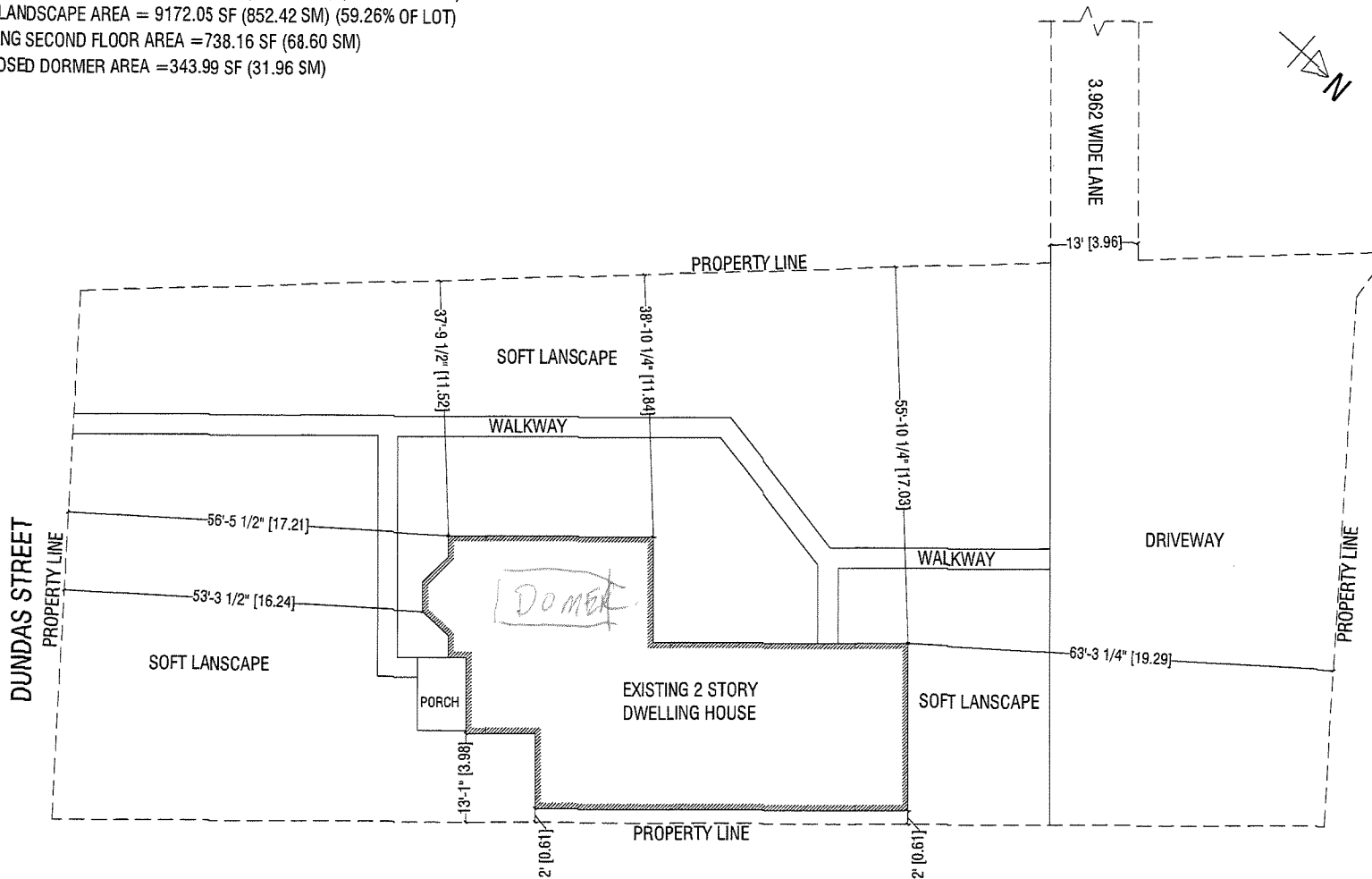
6. Additional Notes

- Webex (video) participation requires a compatible computer or smartphone. The necessary application must be downloaded in advance.
- It is the interested party's responsibility to ensure their device is functional and compatible prior to the Hearing.

For any questions, contact staff at cofa@hamilton.ca or call 905-546-2424 ext. 4221.

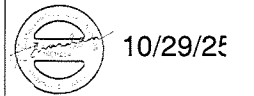
LOT AREA = 15460.53 SF (1,436.85 SM)
 BUILDING AREA = 2026.92 SF (188.37 SM) (13.09% OF LOT)
 HARD LANDSCAPE AREA = 4282.73 SF (398.02 SM) (27.65% OF LOT)
 SOFT LANDSCAPE AREA = 9172.05 SF (852.42 SM) (59.26% OF LOT)
 EXISTING SECOND FLOOR AREA = 738.16 SF (68.60 SM)
 PROPOSED DORMER AREA = 343.99 SF (31.96 SM)

MAIN STREET



GENERAL NOTES:
 - ALL EXISTING SITE CONDITIONS AND ALL DIMENSIONS ON DRAWINGS MUST BE CHECKED AND VERIFIED ON SITE BY CONTRACTOR. ANY VARIANCES OR DISCREPANCIES MUST BE REPORTED TO THE DESIGNER/ENGINEER PRIOR TO COMMENCEMENT OF THE WORK.
 - ALL THE WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF ONTARIO BUILDING CODE AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
 - ALL FIRE SAFETY SYSTEM TO BE ACTIVE DURING AND AFTER CONSTRUCTION.
 - IF EXISTING CONSTRUCTION IS DAMAGED DURING THE WORK, CONTRACTOR TO MAKE GOOD TO MATCH EXISTING.
 - DO NOT SCALE THE DRAWING.
 - THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE DESIGNER/ENGINEER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT WRITTEN PERMISSION OF THE DESIGNER/ENGINEER.

STAMP:



PROJECT:

21 DUNDAS ST,
DUNDAS, ON

TITLE:

SITE PLAN

CONSULTANT:

DORMER PERM.
8.78 m x 3.66 m

| | | | |
|-----------|---------------|--------------|-----|
| DRAWN BY: | A.B.K. | DRAWING NO.: | |
| DATE: | 25.10.2025 | | |
| SCALE: | 1/16" = 1'-0" | | A-1 |

Attic/Roof Renovation

21 DUNDAS ST, DUNDAS, ONTARIO

- A-0(a) = OBC MATRIX
- A-1 = SITE PLAN
- A-2 = EXISTING SECOND FLOOR PLAN
- A-3 = EXISTING ATTIC FLOOR PLAN
- A-4 = PROPOSED DORMER FLOOR PLAN
- A-5 = EXISTING FRONT ELEVATION
- A-6 = PROPOSED FRONT ELEVATION
- A-7 = EXISTING REAR ELEVATION
- A-8 = PROPOSED REAR ELEVATION
- A-9 = EXISTING RIGHT ELEVATION
- A-10 = PROPOSED RIGHT ELEVATION
- A-11 = LEFT ELEVATION
- A-12 = SECTION A-A
- A-13 = SECTION B-B
- A-14 = VINYL SIDING WALL DETAIL
- A-15 = BRICK VENEER WALL DETAIL
- A-16 = ATTIC SECTION DETAIL

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STAMP:



10/29/25

PROJECT:

21 DUNDAS ST,
DUNDAS, ON

TITLE:

COVER SHEET

CONSULTANT:

DRAWN BY: A.B.K.

DATE 25.10.2025

SCALE N.T.S.

DRAWING NO:

A-0

BLE - 3, OBC 9.7.2.3 OR 11.5.1.1.

| ROOMS | REQD. WINDOW AREA | WINDOW AREA |
|--------|--------------------------|-------------|
| DORMER | 5% OF 343.99 SF=17.19 SF | 25.63 SF |

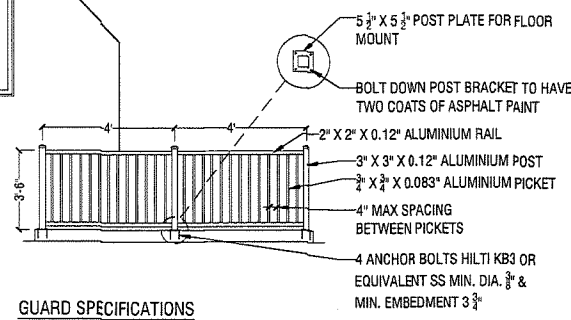
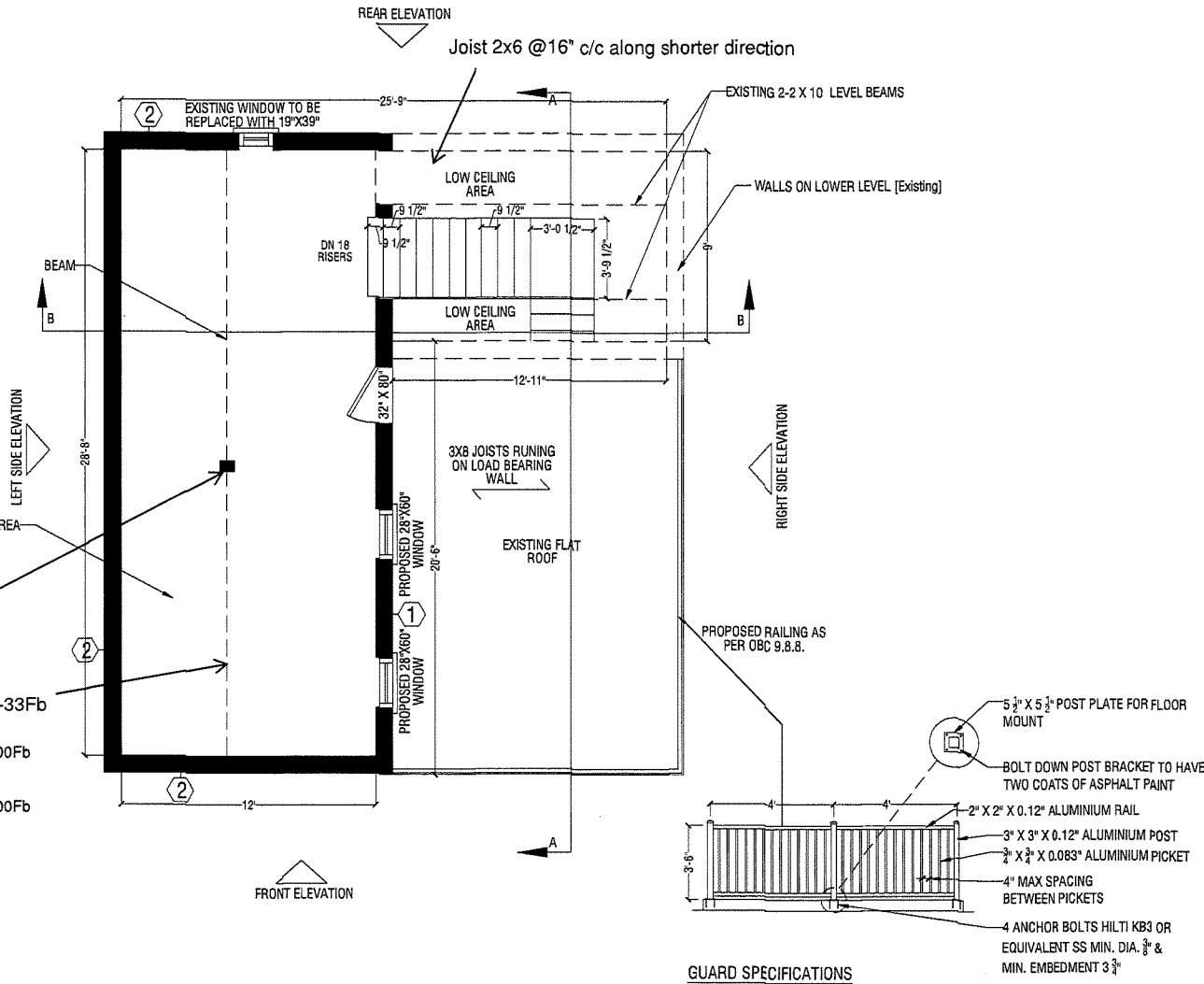
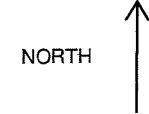
RMR VENTILATION COMPLIES WITH OBC 9.32.3.3. NO ADDITIONAL MECHANICAL VENTILATION IS REQUIRED.

VINYL SIDING, WEATHER-RESISTANT BARRIER (TYVEK OR EQUIVALENT), 7/16" OSB SHEATHING, 2x6 WOOD STUDS @ 16" O.C. WITH R-22 BATT INSULATION, CONTINUOUS 6 MIL POLYETHYLENE VAPOUR BARRIER (SEALED AT JOINTS AND PENETRATIONS), 1/2" INTERIOR GYPSUM BOARD, PAINTED FINISH.

BRICK VENEER, 1" AIR CAVITY WITH WEEP HOLES AT BASE, WEATHER-RESISTANT BARRIER (TYVEK OR EQUIVALENT), 7/16" OSB OR 1/2" PLYWOOD SHEATHING, 2x6 WOOD STUDS @ 16" O.C. WITH R-22 BATT INSULATION, CONTINUOUS 6 MIL POLYETHYLENE VAPOUR BARRIER (SEALED AT JOINTS AND PENETRATIONS), 1/2" INTERIOR GYPSUM BOARD, PAINTED FINISH.

8x8 if installed in the Middle of Span

1.5x9.5 BIRCH/ASPEN LVL GRADE 2.0E-33Fb
 3x8 POST AT 1/3 POINT OF THE BEAM
 1.75x9.5 BIRCH/ASPEN LVL GRADE 2.0E-3300Fb
 3x8 POST AT THE MID POINT OF THE BEAM



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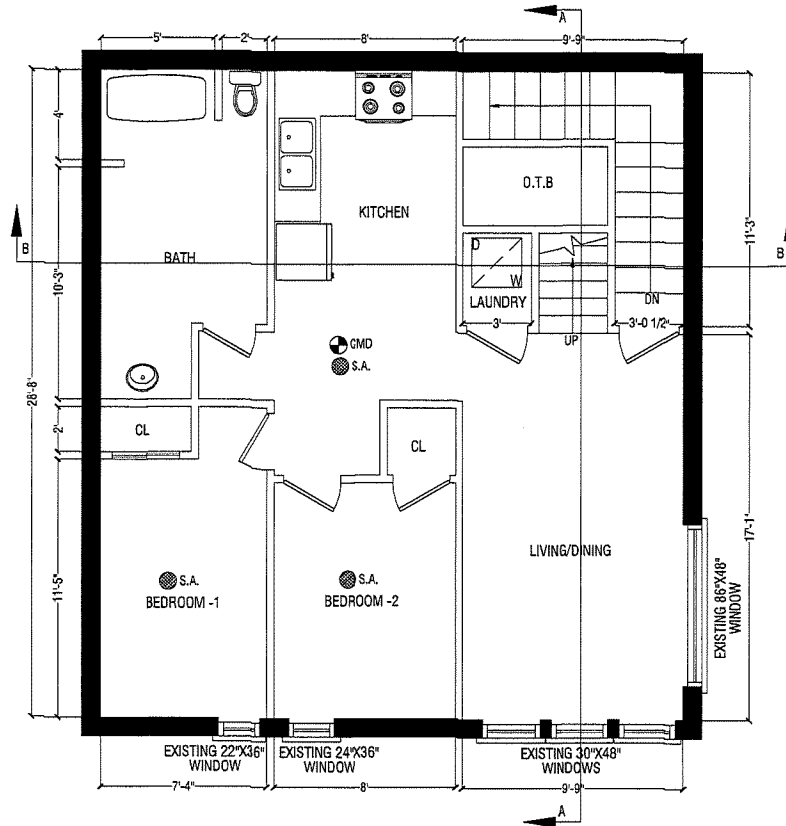
STAMP:

PROJECT:
 21 DUNDAS ST,
 DUNDAS, ON


TITLE:
 PROPOSED DORMER
 FLOOR PLAN

CONSULTANT:
 DRAWN BY: A.B.K.
 DATE: 25.10.2025
 SCALE: 3/16" = 1'-0"
 DRAWING NO: A-4

HEIGHT = 10'-0"



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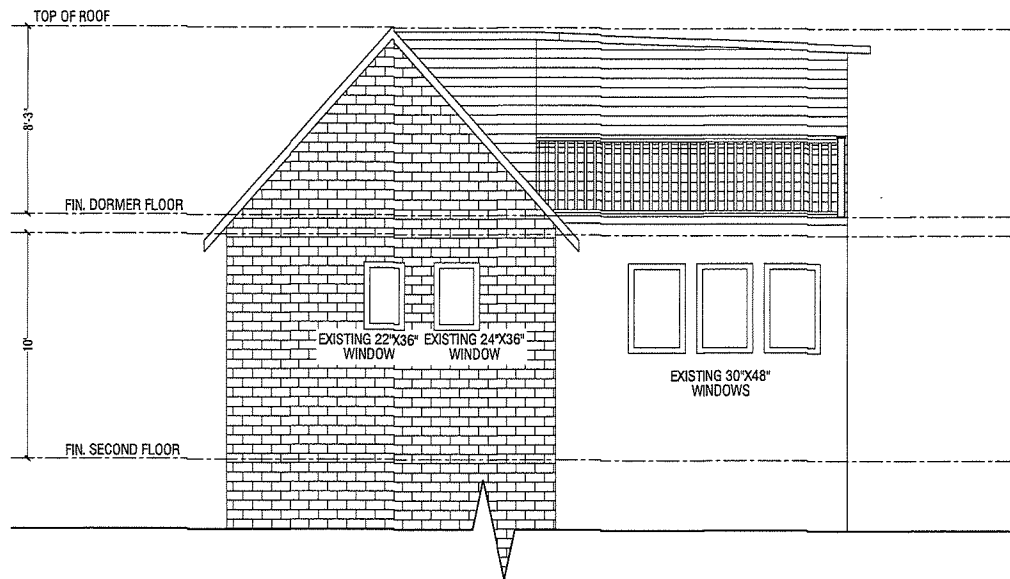
STAMP:
 10/29/25

PROJECT:
 21 DUNDAS ST,
 DUNDAS, ON

TITLE:
 EXISTING SECOND
 FLOOR PLAN

CONSULTANT:

| | | | |
|-----------|---------------|-------------|-----|
| DRAWN BY: | A.B.K | DRAWING NO: | A-2 |
| DATE: | 25.10.2025 | | |
| SCALE: | 3/16" = 1'-0" | | |



PROPOSED FRONT ELEVATION

GENERAL NOTES:
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STAMP:



10/29/25

PROJECT:

21 DUNDAS ST,
 DUNDAS, ON

TITLE:

PROPOSED FRONT
 ELEVATION

CONSULTANT:

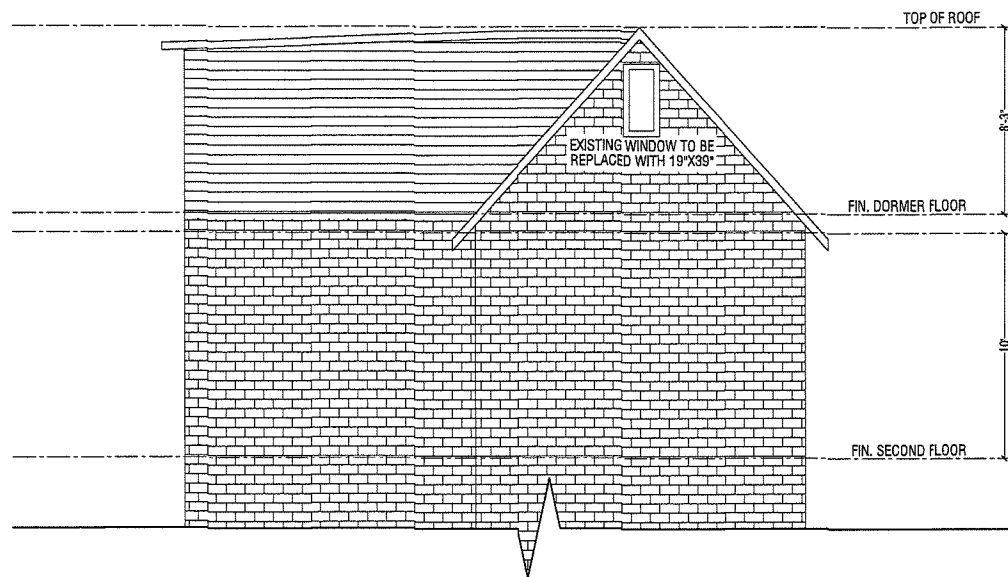
DRAWN BY: A.B.K

DATE: 25.10.2025

DRAWING NO:

SCALE: 3/16"=1'-0"

A-6



PROPOSED REAR ELEVATION

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STAMP:



10/29/25

PROJECT:

21 DUNDAS ST,
 DUNDAS, ON

TITLE:

PROPOSED REAR
 ELEVATION

CONSULTANT:

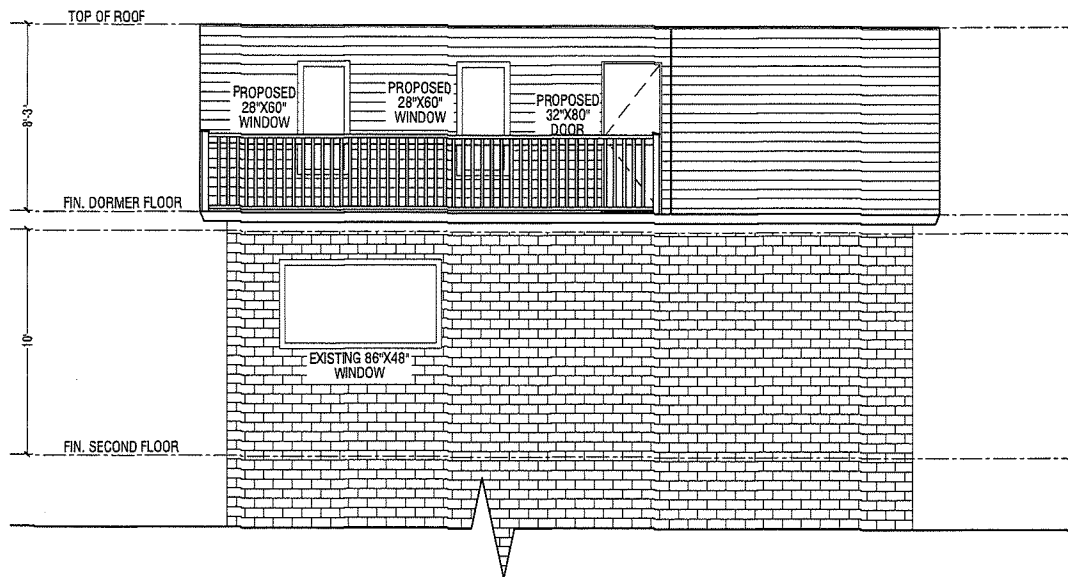
DRAWN BY: A.B.K.

DATE: 25.10.2025

SCALE: 3/16"=1'-0"


DRAWING NO:

A-8



PROPOSED RIGHT ELEVATION

GENERAL NOTES:
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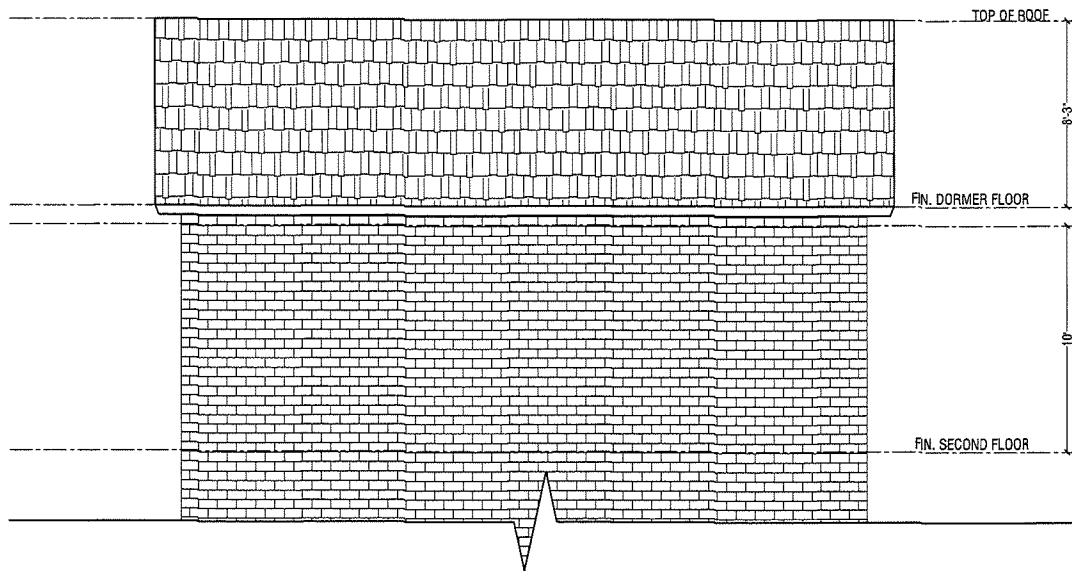
STAMP:
 10/29/25

PROJECT:
 21 DUNDAS ST,
 DUNDAS, ON

TITLE:
 PROPOSED RIGHT
 ELEVATION


CONSULTANT:

| | | | |
|-----------|------------|--------------|-------------|
| DRAWN BY: | A.B.K | DRAWING NO.: | A-10 |
| DATE: | 25.10.2025 | SCALE: | 3/16"=1'-0" |



LEFT ELEVATION

GENERAL NOTES:
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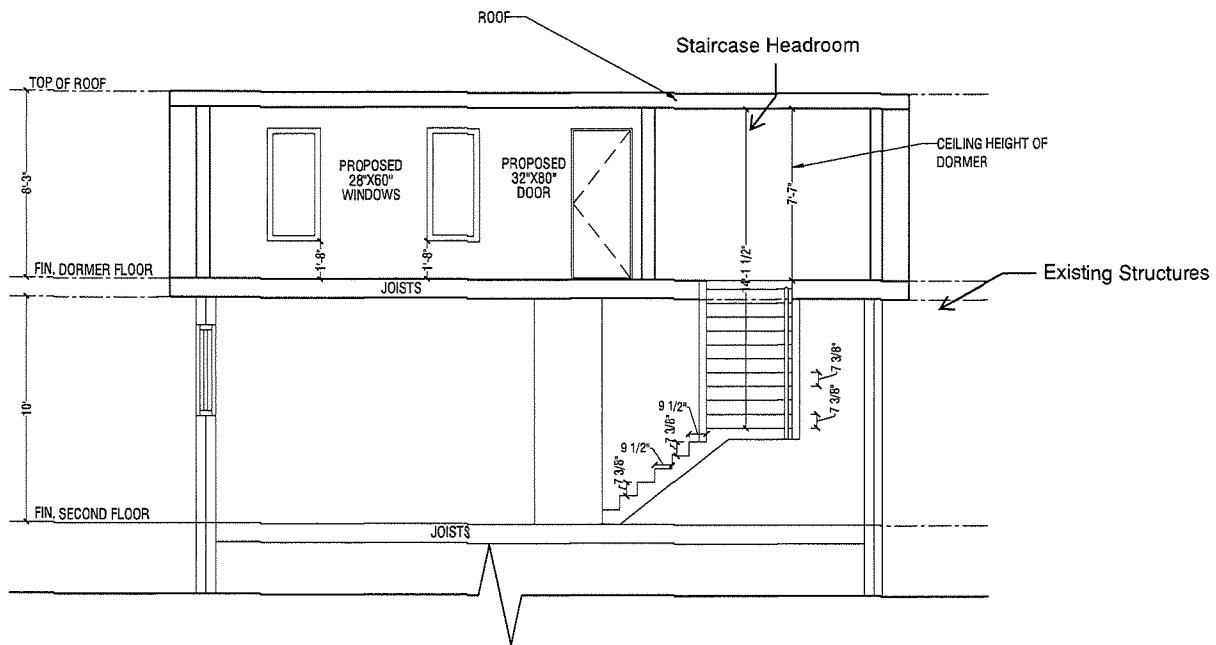
STAMP:  10/29/21

PROJECT:
 21 DUNDAS ST,
 DUNDAS, ON

TITLE:
 LEFT ELEVATION

CONSULTANT:

| | | | |
|-----------|---------------|-------------|------|
| DRAWN BY: | A.B.K | DRAWING NO: | |
| DATE: | 25.10.2025 | | |
| SCALE: | 3/16" = 1'-0" | | A-11 |



SECTION A-A

- GENERAL NOTES:
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STAMP:



10/29/25

PROJECT:

21 DUNDAS ST,
DUNDAS, ON

TITLE:

SECTION A-A

CONSULTANT:

DRAWN BY:
A.B.K.

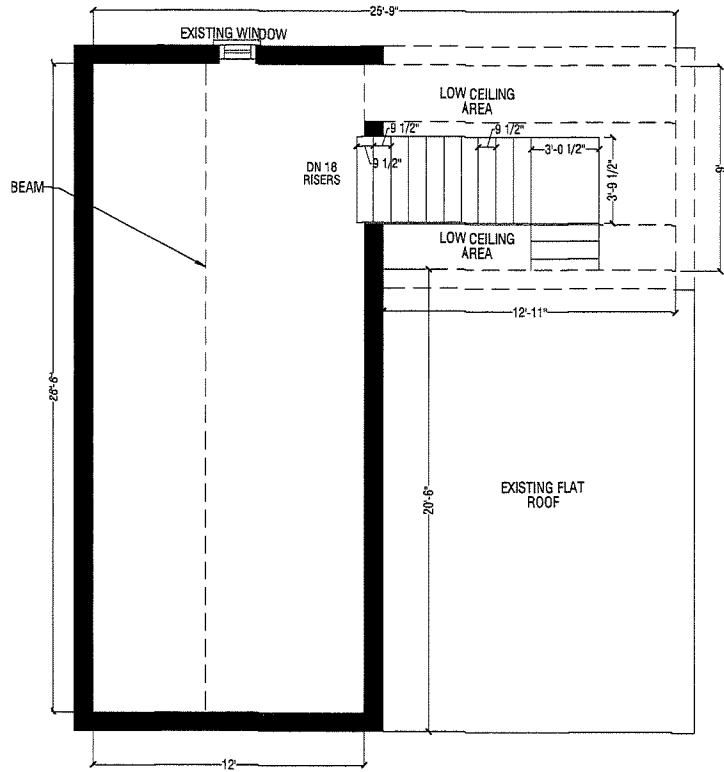
DATE: 25.10.2025

DRAWING NO.:

SCALE: 3/16" = 1'-0"

A-12

CEILING HEIGHT = 10'-0"



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STAMP:



10/29/25

PROJECT:

21 DUNDAS ST,
DUNDAS, ON

TITLE:

EXISTING ATTIC
FLOOR PLAN

CONSULTANT:

DRAWN BY: A.B.K

DATE: 25.10.2025

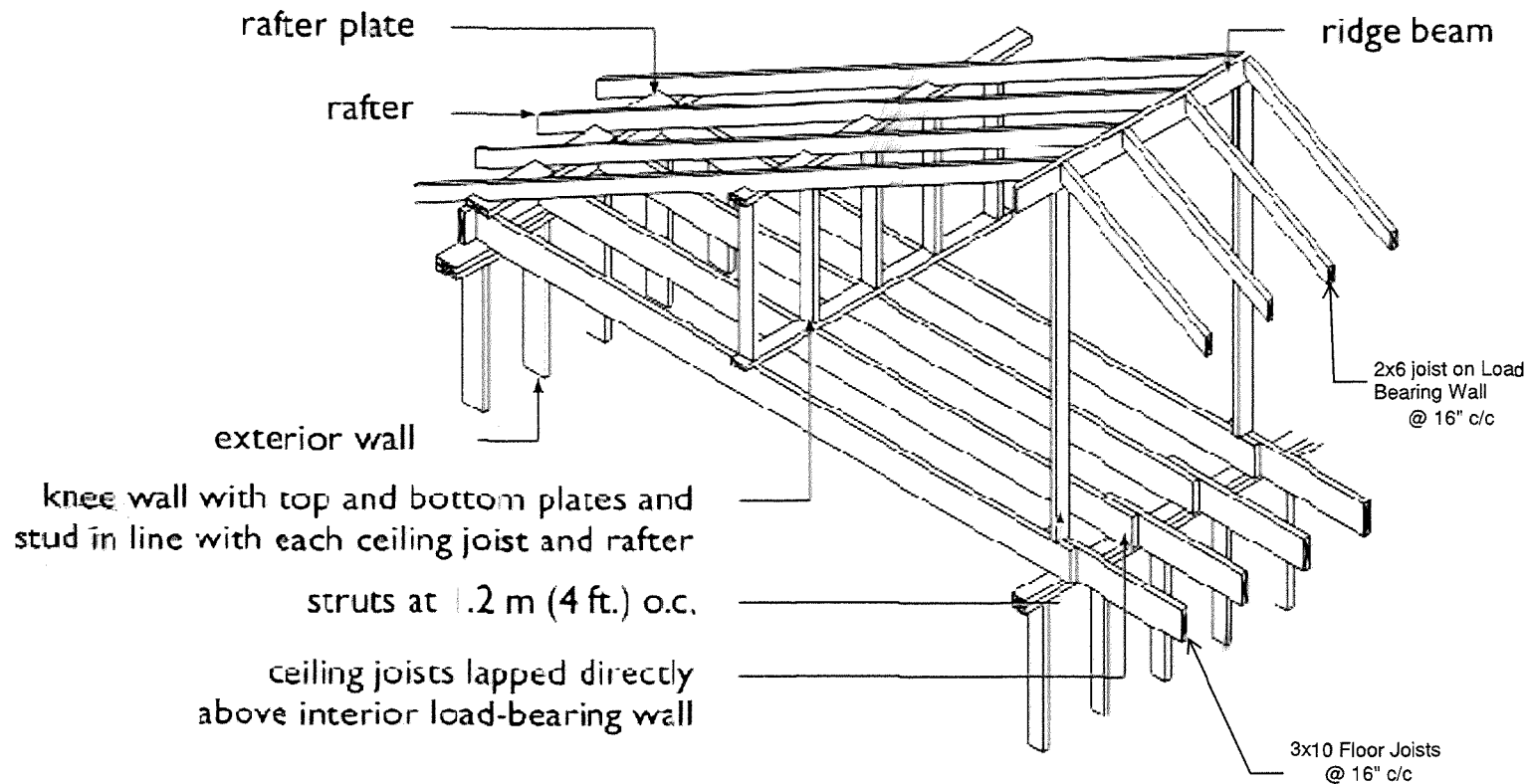
SCALE: 3/16" = 1'-0"

DRAWING NO:

A-3


Rafter heel supported on a rafter plate

Rafter plate nailed to top of each ceiling joist with at least two 100 mm (4 in.) nails



GENERAL NOTES:

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STAMP:  10/29/25

PROJECT:


21 DUNDAS ST,
DUNDAS, ON

TITLE:
ROOF DETAIL

CONSULTANT:

| | | | |
|-----------|--------------|-------------|------|
| DRAWN BY: | A.B.K | DRAWING NO: | A-16 |
| DATE: | 13.08.2025 | | |
| SCALE: | 1/4" = 1'-0" | | |

GENERAL NOTES:
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 - ALL THE WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE LATEST VERSION OF ONTARIO BUILDING CODE AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
 - ALL FIRE SAFETY SYSTEM TO BE ACTED DURING AND AFTER CONSTRUCTION.
 - IF EXISTING CONSTRUCTION IS DAMAGED DURING THE WORK, CONTRACTOR TO MAKE GOOD TO MATCH EXISTING.
 - DO NOT SCALE THE DRAWING.
 - THE DESIGN AND CONTRACT DOCUMENTS ARE THE COPYRIGHT OF THE DESIGNER/ENGINEER AND MAY NOT BE REPRODUCED, REUSED OR ALTERED WITHOUT WRITTEN PERMISSION OF THE DESIGNER/ENGINEER.

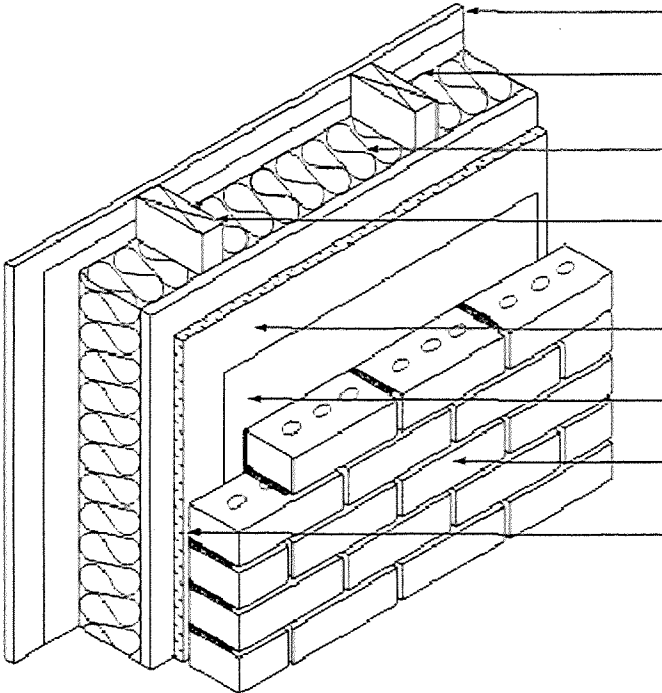
STAMP:
 10/29/2

PROJECT:
 21 DUNDAS ST,
 DUNDAS, ON

TITLE
 BRICK VENEER WALL
 DETAIL

CONSULTANT:
 DRAWN BY: A.B.K.
 DATE: 13.08.2025 DRAWING NO:
 SCALE: 1/4" = 1'-0" A-15

Brick veneer cladding with insulation in the framing space and outboard



- 12.7 mm (1/2 in.) gypsum board
- polyethylene sheet
- batt insulation
- 38 x 140 mm (2 x 6 in.) framing
- rigid insulation sheathing
- sheathing membrane (air barrier)
- 100 mm (4 in.) clay brick
- 25 mm (1 in.) air space

OBC DATA MATRIX

PROJECT: ATTIC STOCK RENOVATION

ADDRESS: 21 DUNDAS STREET, DUNDAS, ON

REFERENCE CODE: OBC 2024

| ITEM | DATA / DESCRIPTION |
|--------------------------|---|
| MAJOR OCCUPANCY | GROUP C – RESIDENTIAL (SINGLE DWELLING UNIT) |
| BUILDING TYPE | PART 9 – COMBUSTIBLE WOOD FRAME |
| STOREYS | 2 STOREYS EXISTING |
| DWELLING UNITS | 6 Plex (Existing) |
| SCOPE OF WORK | Attic Renovation by creating more headroom |
| SPRINKLER / FIRE ALARM | NOT REQUIRED (SMOKE ALARMS PER 9.10.19) |
| FIRE SEPARATION | NOT REQUIRED WITHIN SINGLE DWELLING |
| SPATIAL SEPARATION | COMPLIES (> 1.2 m FROM PROPERTY LINE) |
| STRUCTURE | EXISTING WOOD JOISTS & RAFTERS & RIDGE BEAM |
| INSULATION VALUES | WALL R-22 (RSI 3.87) – ROOF R-31 (RSI 5.46) |
| HEATING / VENTILATION | EXISTING CENTRAL SYSTEM; NATURAL VENTILATION IN ATTIC (9.32.3.3) |
| GUARDS / HANDRAILS | 1070 mm HEIGHT – MAX 100 mm OPENING |
| BARRIER-FREE DESIGN | NOT APPLICABLE |
| CLIMATIC DATA (HAMILTON) | JAN –18 °C – JUL 30 °C – S _s =1.0 kPa – S _r =0.4 kPa – q=0.46 kPa |

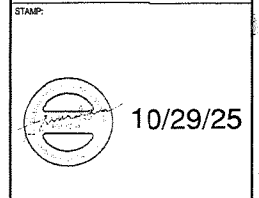
NOTES:

ALL WORK TO COMPLY WITH OBC 2024 AND CITY OF HAMILTON REQUIREMENTS.

ALL DIMENSIONS TO BE VERIFIED ON SITE. DO NOT SCALE DRAWINGS.

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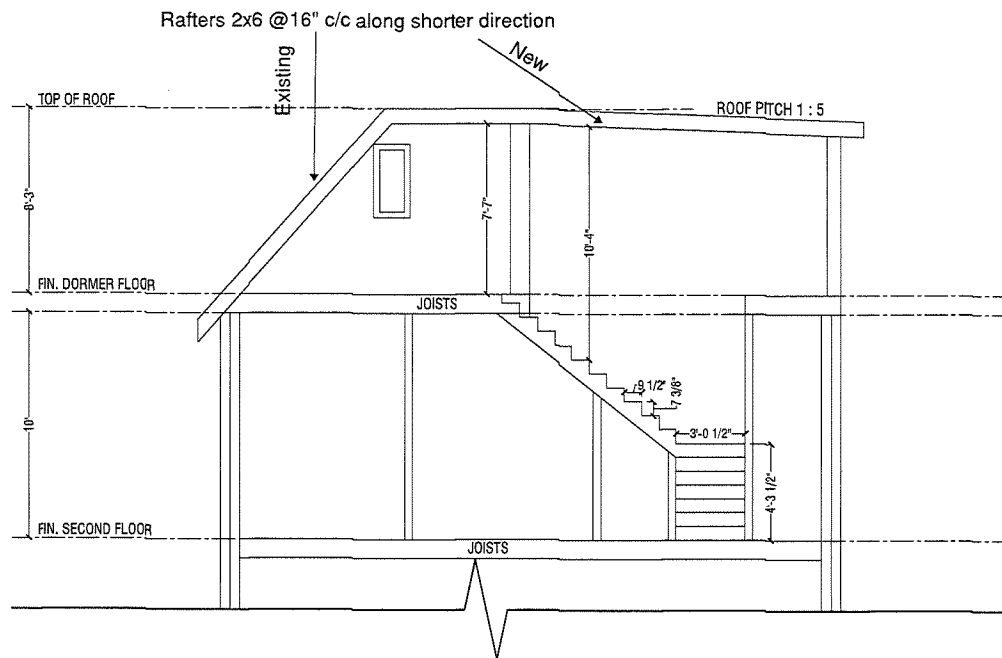


PROJECT:
 21 DUNDAS ST,
 DUNDAS, ON

TITLE:
 DATA MATRIX

CONSULTANT:

| | |
|---------------------|-----------------------|
| DRAWN BY: A.B.K | DRAWING NO: A-0(a) |
| DATE: 25.10.2025 | |
| SCALE: N.T.S. | |



SECTION B-B

GENERAL NOTES:
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STAMP:



10/29/21

PROJECT:

21 DUNDAS ST,
 DUNDAS, ON

TITLE:

SECTION B-B

CONSULTANT:

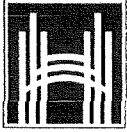
DRAWN BY:
 A. B. K.

DATE
 25.10.2025

SCALE
 3/16" = 1'-0"

DRAWING NO.:

A-13



Hamilton

PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT
Building Division
71 Main Street West
Hamilton, Ontario, Canada, L8P 4Y5
Phone: 905.546.2720 Fax: 905.546.2764
www.hamilton.ca

January 21st, 2026

FOLDER: ALR 21-132992
ATTENTION OF: Morgan Gowans
EMAIL: morgan.gowans@hamilton.ca

Patti Peetz


Attention:

Re: Applicable Law Review – Determination of a Legally Established Non-Conforming Use
Zoning District: Low Density Residential (R3)
Zoning By-law: Dundas Zoning By-law No. 3581-86
Address: 21 Dundas Street

An Applicable Law Review respecting zoning by-law compliance pursuant to determine a legally established non-conforming use.

COMMENTS:

1. The application is to determine if "Six-plex" which is considered a Apartment Building in Zoning By-law 3581-86 is a legally established non-conforming use on the property.
2. Submitted supporting evidence includes copies of Tax Assessment from 1960, 1971, 1980, 1993, 2000,2005, 2010, 2015.
3. The Dundas Zoning By-law 3581-86 was passed May 22, 1986, the previous Dundas Zoning By-law 1964 passed May 7, 1962 prior to this no zoning or building permits where required. The Tax Assessment record from 1960 shows it was established prior to the Zoning By-law 1964 coming into effect.
4. The submitted Tax Assessment from 1971, 1980, 1993, 2000,2005, 2010, 2015. show continuity of the Apartment Building use.
5. There has been no building permit for change of use, conversions, renovations, alterations, additions or new buildings since 2015 from City of Hamilton Records.
6. Therefore, based on the submitted evidence and property file records this division deems the use of a Apartment Building (6 units) to be a legally established non-conforming use as it was established prior to the passing of Dundas Zoning By-law 1964 on May 7, 1962 and has continued since.

Yours truly

Morgan Gowans

for the Manager of Zoning and Committee of Adjustment



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

| | NAME | MAILING ADDRESS | |
|----------------------|---------------------------------|-----------------|---------|
| Registered Owners(s) | MICHAEL PEETZ PATRICIA PEETZ | [REDACTED] | |
| Applicant(s) | | | Phone: |
| | | | E-mail: |
| Agent or Solicitor | | | Phone: |
| | | | E-mail: |

1.2 Primary contact Applicant Owner Agent/Solicitor

1.3 Sign should be sent to Applicant Owner Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type In person Credit over phone* Cheque

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

| | | | |
|---------------------------|----------------------------------|------------|--|
| Municipal Address | 21 DUNDAS ST, DUNDAS ON, L9H 1A1 | | |
| Assessment Roll Number | 260250048000000 | | |
| Former Municipality | | | |
| Lot | | Concession | |
| Registered Plan Number | | Lot(s) | |
| Reference Plan Number (s) | | Part(s) | |

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

EXPANDING THE GROSS FLOOR AREA
31.96 SM ADDING A DOMER.

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

DOMER TO MAKE AREA MORE USEFULL.

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

* If yes, please provide an explanation:

LEGAL NON CONFORMING USE. FOR A DOMER

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

| | | | |
|--------------|-----------|-------------------------|-----------------|
| Lot Frontage | Lot Depth | Lot Area | Width of Street |
| 24.3 m | 58.9 m | 1436.85 SM ² | 26.6 m |

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

| Type of Structure | Front Yard Setback | Rear Yard Setback | Side Yard Setbacks | Date of Construction |
|-------------------|--------------------|-------------------|--------------------|----------------------|
| SIX PLEX | 16.24 m | 19.29 m | 2 m 11.52 m | 1840 |
| | | | | |
| | | | | |

Proposed:

| Type of Structure | Front Yard Setback | Rear Yard Setback | Side Yard Setbacks | Date of Construction |
|-------------------|--------------------|-------------------|----------------------|----------------------|
| DOMER | 16.24 m | 19.29 m | 2 m, 61 m 11.52 m | |
| | | | | |
| | | | | |

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Storeys | Height |
|-------------------|-------------------|------------------|-------------------|--------|
| 6 PLEX | 188.37 SM | 256.97 SM | 2 | 7.10 m |
| | | | | |
| | | | | |

Proposed:

| Type of Structure | Ground Floor Area | Gross Floor Area | Number of Storeys | Height |
|-------------------|-------------------|------------------|-------------------|--------|
| DOMER | 31.96 SM | SAME | 1 | 2.4 m |
| | | | | |
| | | | | |

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway
- municipal road, seasonally maintained
- municipal road, maintained all year
- right of way
- other public road

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

RESIDENTIAL 6 PLEX

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

RESIDENTIAL 6 PLEX

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

2005

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

6 PLEX

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

6 PLEX

7.4 Length of time the existing uses of the subject property have continued:

60 YEARS

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) NIEBOURGHOOD

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land?

R-3

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 6

8.2 Number of Dwelling Units Proposed: _____

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
-
-