



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-25:120	SUBJECT PROPERTY:	52 Purnell Drive, Hamilton
ZONE:	Low Density Residential (R1) Zone	ZONING BY-LAW:	Hamilton Zoning By-law 05-200

APPLICANTS: Owner: Luigi Lauricella & Sheri Lauricella
 Applicant: Jenny Bognar
 Agent: Jenny Bognar

The following variances are requested:

1. A minimum setback of 0.4 metres shall be provided from the side lot line instead of the minimum required setback of 1.2 metres from a side lot line.
2. A minimum setback of 2.4 metres shall be provided from the flankage lot line instead of the minimum required setback of 3.0 metres from a flankage lot line.
3. A roof overhang shall be permitted to encroach 0.3 metres into a required yard instead of the maximum permitted encroachment of 0.2 metres (one-half the distance of the required yard).

PURPOSE & EFFECT: To permit the construction of two (2) additions to the existing Single Detached Dwelling.

Notes:

- i. A further variance will be required if a single area within the required landscaped area is not maintained for tree protection and/or tree planting which provides a minimum length of 3.75 metres on each side and which does not contain hard landscaping or structures.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, April 30, 2026
TIME:	10:35 a.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)
	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon April 28, 2026.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon April 29, 2026.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-25:120, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 Subject Lands

DATED: April 13, 2026

Justin Leung,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



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Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATING PROCEDURES

1. Written Submission Ahead of the Meeting

Members of the public who wish to provide input without speaking at the Hearing may submit written comments in advance of the meeting. Comments must be received by **12:00 p.m. (noon)** on the deadline date for written comment submissions listed on the Notice of Public Hearing.

How to Submit Written Comments:

By Email:

Send to: cofa@hamilton.ca

By Mail:

Committee of Adjustment
City of Hamilton
71 Main Street West, 5th Floor
Hamilton, Ontario
L8P 4Y5

The following information is required with your written submission:

- Committee of Adjustment file number
- Full name and address of the person providing comments. Anonymous comments will not be accepted.

Comments can also be placed in the drop box which is located at the back of the 1st Floor of City Hall, 71 Main Street West. All written comments received by the deadline will be made available to the Committee and the public by the Tuesday prior to the Hearing.

2. Oral Submissions During the Hearing

Interested members of the public, agents, and owners may provide oral comments on Committee of Adjustment Hearing items either virtually via Webex (computer or phone) or by attending in person.

Speaking Time Limit:

All participants providing oral submissions, either in person or virtually are limited to a maximum of 5 minutes to speak. This is to ensure all parties have an equal opportunity to be heard and that the meeting runs efficiently.

3. In-Person Oral Submissions

To participate in person, attend Council Chambers on the date and time listed in the Notice of Public Hearing. You will be required to provide your name and address for the record. It is recommended you arrive at least 10 minutes prior to the scheduled start time.

4. Virtual Oral Submissions

To participate virtually, you must register by 12:00 p.m. (noon) on the virtual oral submissions registration deadline date. This is listed on the Notice of Public Hearing. To register, email cofa@hamilton.ca with the following information:

- Committee of Adjustment file number
- Hearing date
- Full name and address of the person wishing to speak. Anonymous comments will not be accepted.
- Method of participation (phone or video), and, if applicable, the phone number to be used
- Each person must register separately

Registered participants will receive a Webex link one business day before the Hearing. Only those registered will be called upon to speak.

5. Presentations

All presentations are permitted at the discretion of the Committee.

Virtual Presentations:

Presenters participating virtually may be granted permission to share their screen during the Hearing. A copy of the presentation must be submitted to cofa@hamilton.ca **by 12:00 p.m. (noon) on the business day prior to the Hearing**. The submission must be one document in PDF format only.

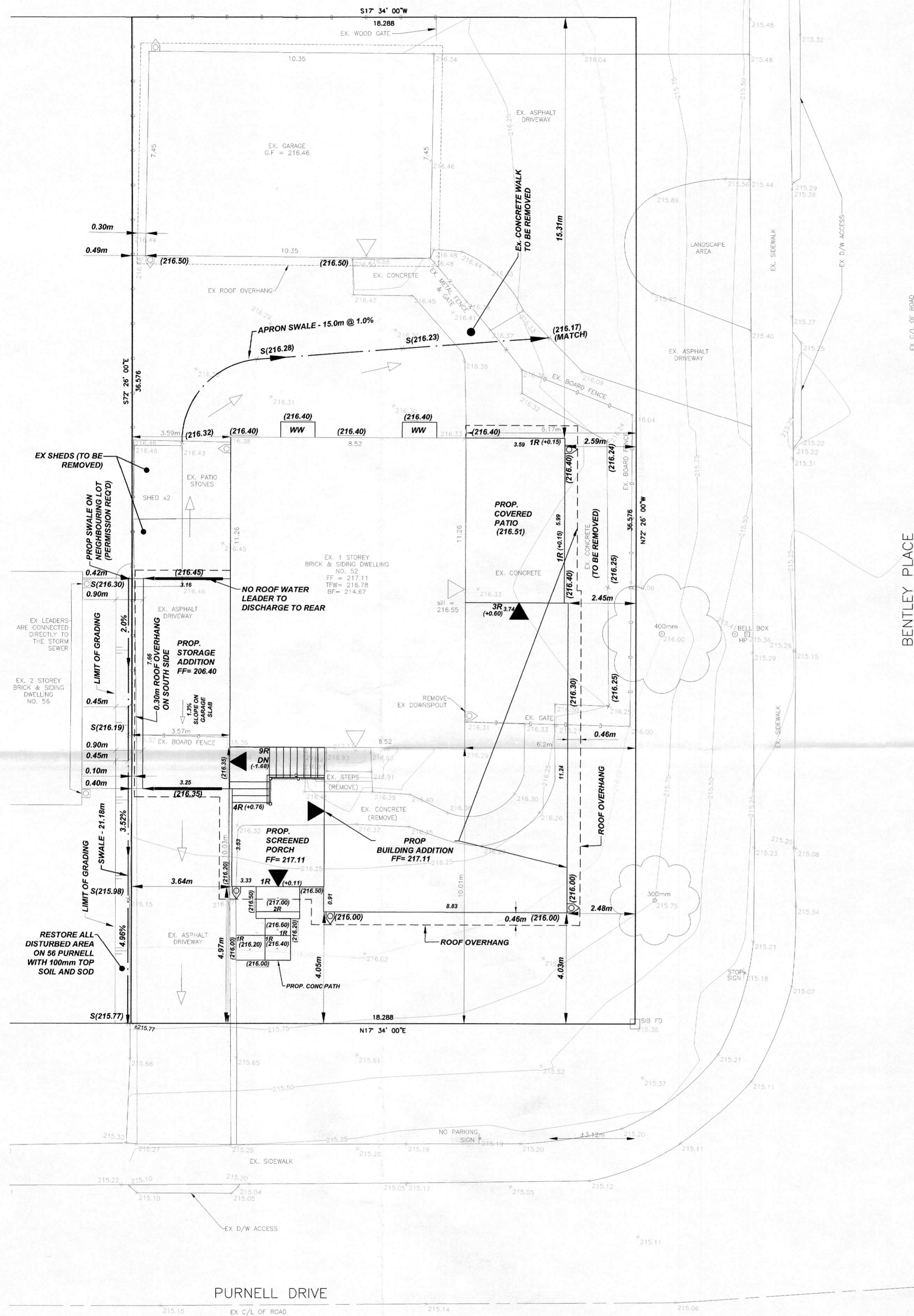
In-Person Presentations:

Presenters attending in person may be granted permission to use the presentation screen. Presentations must be brought on a USB device and opened by the owner/applicant. A copy of the presentation must also be sent to cofa@hamilton.ca **by 12:00 p.m. (noon) on the business day prior to the Hearing**. The submission must be one document in PDF format only. Handouts are permitted only if the same content can be displayed on the presentation screen.

6. Additional Notes

- Webex (video) participation requires a compatible computer or smartphone. The necessary application must be downloaded in advance.
- It is the interested party's responsibility to ensure their device is functional and compatible prior to the Hearing.

For any questions, contact staff at cofa@hamilton.ca or call 905-546-2424 ext. 4221.



DEVELOPMENT STATISTICS			
ADDRESS: 52 PURNELL DRIVE, HAMILTON			
ZONING BY-LAW: 05-200, 24-051 (R1)			
	MINIMUM / MAXIMUM	PROVIDED	OK
MINIMUM LOT AREA:	360.0 sq.m (min)	668.9sq.m	✓
MINIMUM LOT WIDTH:	12.0m (min)	18.3m	✓
MINIMUM SETBACK FROM THE FRONT LOT LINE:	4.0m (max)	4.03m	✓
MINIMUM SETBACK FROM A SIDE LOT LINE:	1.2m (min)	0.40m	*
MINIMUM SETBACK FROM A FLANKAGE LOT LINE:	3.0m (min)	2.45m	*
MINIMUM SETBACK FROM THE REAR LOT LINE:	7.5m (min)	15.31m	✓
MAXIMUM BUILDING HEIGHT:	10.5m (max)	5.27m	✓
MINIMUM LANDSCAPED AREA (FRONT, 57.35 SQM/74.02 SQM):	50% (min)	77.5%	✓
MINIMUM LANDSCAPED AREA (FLANKAGE, 28.32 SQM/42.02 SQM):	50% (min)	66.3%	✓
MINIMUM LANDSCAPED AREA:	30% (min)	30.3%	✓

* = MINOR VARIANCE REQUIRED

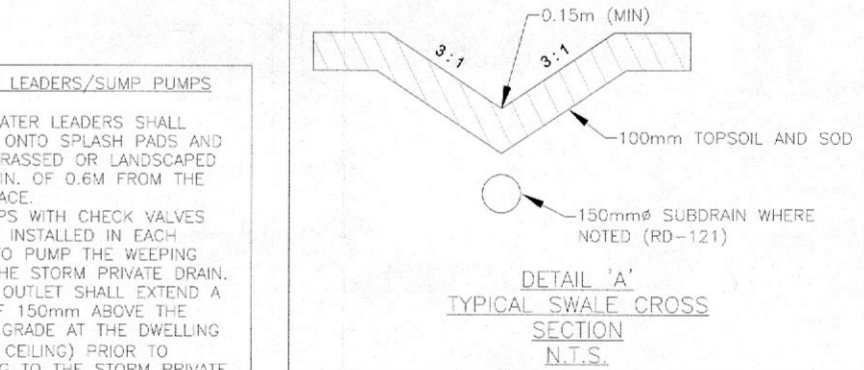
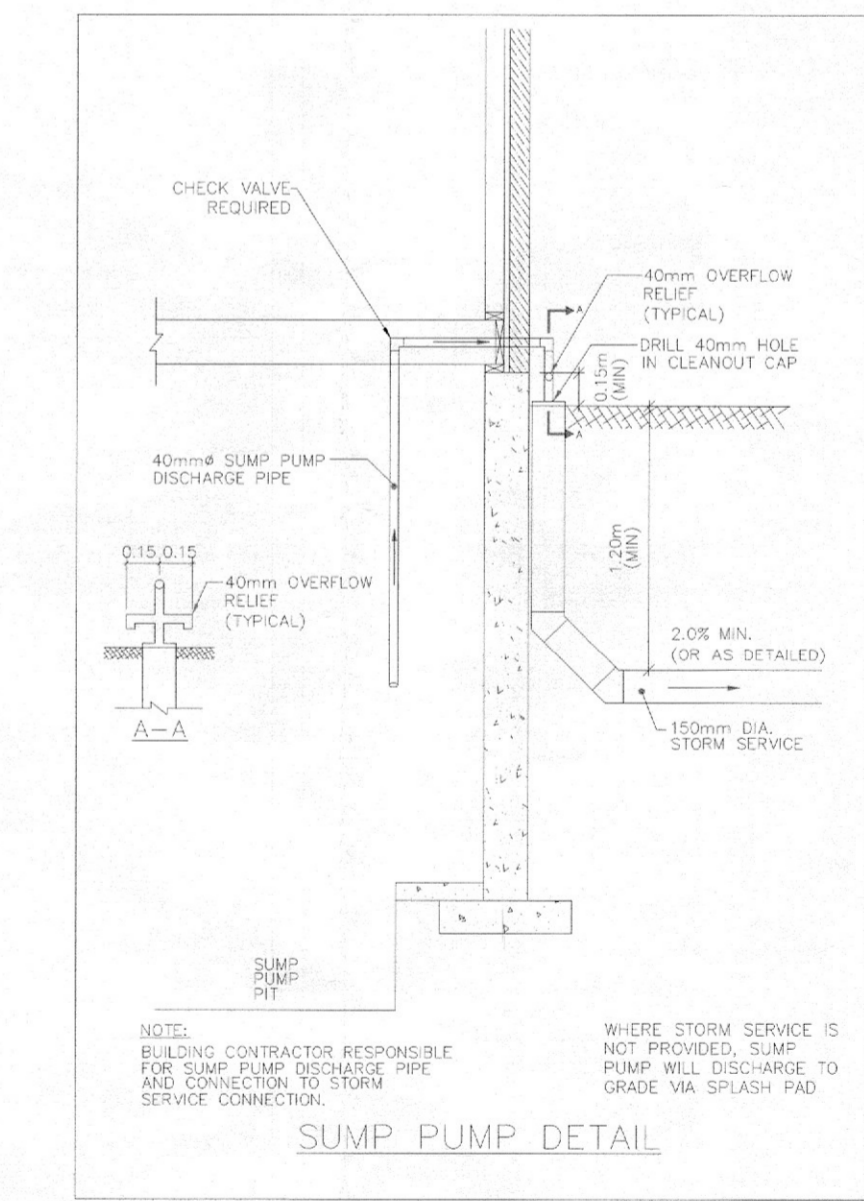
GENERAL PERMISSION
Kim Johnson
 Kim Johnson
 I have reviewed the information contained on this plan and have no objection to the completion of the shared swale along the north limit of my property as described in this Grading Plan.
 Signature: _____ Date: March 26, 2026

LEGEND	
100.50	EXISTING ELEVATION
100.00	EXISTING ELEVATION (CALCULATED)
0.00%	EXISTING SLOPE
100.00	PROPOSED ELEVATION
100.00	PROPOSED APRON ELEVATION
S(100.00)	PROPOSED SWALE ELEVATION
0.00%	PROPOSED SLOPE
	EXISTING DOWNSPOUT
	PROPOSED DOWNSPOUT
	PROPOSED SWALE
	PROPOSED SILT FENCE
	PROPOSED ENTRANCE LOCATION
	PROPOSED SUMP PUMP

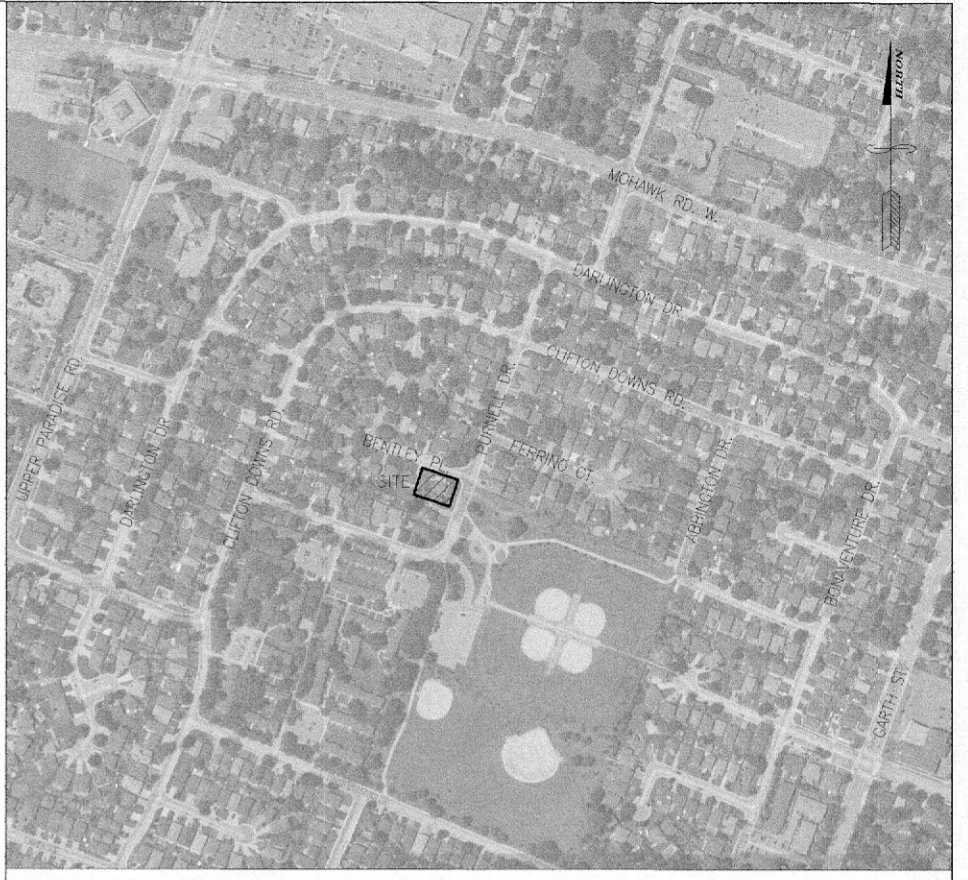
- GENERAL GRADING NOTES:**
1. MATCH EXISTING GRADE AT PROPERTY / DEVELOPMENT LIMITS WITH SLOTTED SLOPES OF MAXIMUM 3:1 AND/OR RETAINING WALLS AS SPECIFIED.
 2. SLOPES OF SWALES FOR BOTH "BACK-TO-FRONT" AND "FRONT-TO-BACK" DRAINAGE SHALL BE NO LESS THAN 2.0% AND NO GREATER THAN 3.5% (3:1).
 3. MINIMUM GRADE FOR APRON "WRAP-AROUND" SWALE AT THE REAR OF THE UNIT SHALL BE 1.0%.
 4. WHEN MATCHING TO EXISTING GRADE AT THE LIMITS OF THE DEVELOPMENT / PROPERTY WHERE 2.0% SLOPE CANNOT BE REASONABLY ACHIEVED A 1.0% GRADE IS PERMITTED PROVIDED A 150MM SUB-DRAIN IS INSTALLED WITH THE SWALE AS PER 80-121 AND CONNECTED TO A SUITABLE OUTLET.
 5. DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2.0% AND SHALL NOT BE MORE THAN 7.0%. REVERSED SLOPED DRIVEWAYS ARE NOT ALLOWED FOR ANY NEW CONSTRUCTION.
 6. GARAGE FLOOR ELEVATION SHALL BE SET A MINIMUM OF 0.30M HIGHER THAN THE BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
 7. THE TOP OF FOUNDATION WALL FOR THE DWELLING UNIT SHALL BE A MINIMUM 150MM (6") ABOVE FINISHED GRADE.
 8. UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS SHALL BE GRADED AS A STRAIGHT LINE.
 9. IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE PROPERTY / DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER, OTHERWISE RETAINING WALLS MUST BE USED.
 10. ALL RETAINING WALLS SHALL BE PLACED A MINIMUM 0.45M FROM PROPERTY LINES.
 11. ANY WALL OF GREATER HEIGHT THAN 1.0M MUST BE DESIGNED BY A PROFESSIONAL ENGINEER.
 12. TOP OF RETAINING WALL ELEVATIONS SHALL BE SET A MINIMUM OF 150MM ABOVE THE PROPOSED SIDE-YARD SWALES.
 13. RETAINING WALLS 0.90M AND HIGHER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. SUCH FENCES OR GUARD RAILS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.
 14. ALL FILL COMPACTED ON THE LOT(S) SHALL BE COMPACTED TO A MINIMUM 95% SPD (UNLESS OTHERWISE RECOMMENDED BY A GEOTECHNICAL ENGINEER). MATERIALS SHALL BE PLACED IN LIFTS NOT EXCEEDING 300MM DEPTH.
 15. FOR DELINEATION OF TREE PROTECTION ZONES, BUFFERS, REMOVALS, AND PROTECTION SCHEMATICS REFER TO THE TREE PROTECTION PLAN (IF APPLICABLE).

- BACKYARD GRADING NOTES:**
1. "REQUIRED BACKYARD" SHALL BE A MINIMUM OF 6.0 METRES UNLESS OTHERWISE SPECIFIED IN THE APPLICABLE ZONING BY-LAW.
 2. THE MAXIMUM SLOPE IN THE BACKYARD ADJACENT TO THE BUILDING FOR A DISTANCE EQUAL TO THE REQUIRED BACKYARD SHALL BE 5% EXCEPT FOR SIDE OR REAR YARD SWALES AND RETAINING WALLS.
 3. WHERE THE 5% RESTRICTION ON THE BACKYARD'S GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN ADJACENT PROPERTIES, RETAINING WALL SHALL BE CONSTRUCTED ALONG THE SIDES AND BACK OF THE LOT.
 4. GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
 5. THE 5% RESTRICTION DOES NOT INCLUDE RETAINING WALLS IN THE REQUIRED BACKYARD PROVIDING THE TERRACES ARE MAINTAINED TO THE 5% GRADE AS SET OUT ABOVE. THE INTENTION OF THIS PROVISION IS TO PROVIDE FOR FLEXIBILITY OF HOUSE CONSTRUCTION.
 6. BACK TO FRONT DRAINAGE SHALL ONLY BE PERMITTED WHERE THE COMBINED SIDE YARD SETBACK IS 2.0M OR MORE, PROVIDING A MINIMUM OF 2.0m BETWEEN FOUNDATION WALLS FOR DRAINAGE SWALES. A 1.0% SETBACK IS REQUIRED ON THE GARAGE SIDE OF THE LOT.

- SILTATION AND EROSION CONTROL NOTES:**
1. SILTATION CONTROL BARRIERS SHALL BE PLACED AS DETAILED ON THE PLAN ACCORDING TO OPSD 219.110 (SEE DETAIL ON THIS SHEET).
 2. ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAINFALL EVENT TO THE SATISFACTION OF THE CITY OF HAMILTON.
 3. CATCH BASIN SEDIMENT CONTROL DEVICES SHALL BE SITSACK BY ACT ENVIRONMENTAL OR APPROVED EQUIVALENT, TO BE PLACED AS PER THE MANUFACTURER'S RECOMMENDATIONS (IF APPLICABLE).
 4. ADDITIONAL SILTATION CONTROL MEASURES MAY BE REQUIRED AS PER FIELD CONDITIONS AS DETERMINED BY THE CITY.



- NOTES:**
1. LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 2. ANY DISCREPANCIES BETWEEN SERVICE LOCATIONS AND THESE ENGINEERING DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER.



KEY PLAN N.T.S.

BENCHMARK NOTE:
 ELEVATION = 214.006m
 DESCRIPTION: B.M. NO. 713 WEST FACE OF BRICK HOUSE #517 ON THE SOUTH SIDE OF MOHAWK RD., SOUTH EAST CORNER MOHAWK & ASHTON RD., PLAQUE IS SET IN THE 2ND ROW OF BLOCKS FROM THE TOP OF THE FOUNDATION, TWO BLOCKS SOUTH OF THE NORTH WEST CORNER OF THE HOUSE.

SITE BENCHMARK:
 ELEVATION = 215.02m

EXISTING SANITARY MANHOLE TOP GRATE TO THE NORTH EAST OF THE SITE AS INDICATED ON THE PLAN.

GENERAL NOTES:

1. TENDERER MUST SATISFY THEMSELVES AS TO THE NATURE OF THE GROUND AND BID ACCORDINGLY.
2. ALL ROCK LINE INDICATIONS SHOWN ON THE PLAN MUST BE VERIFIED BY THE CONTRACTOR.
3. CONTRACTOR SHALL VERIFY LOCATIONS AND INVERTS OF ALL EXISTING SANITARY AND STORM SEWERS AND WATERMANS, PRIVATE DRAINS AND WATER SERVICES, GAS MAINS, CABLE TV, HYDRO AND TELEPHONE DUCTS ETC AT START OF CONSTRUCTION.

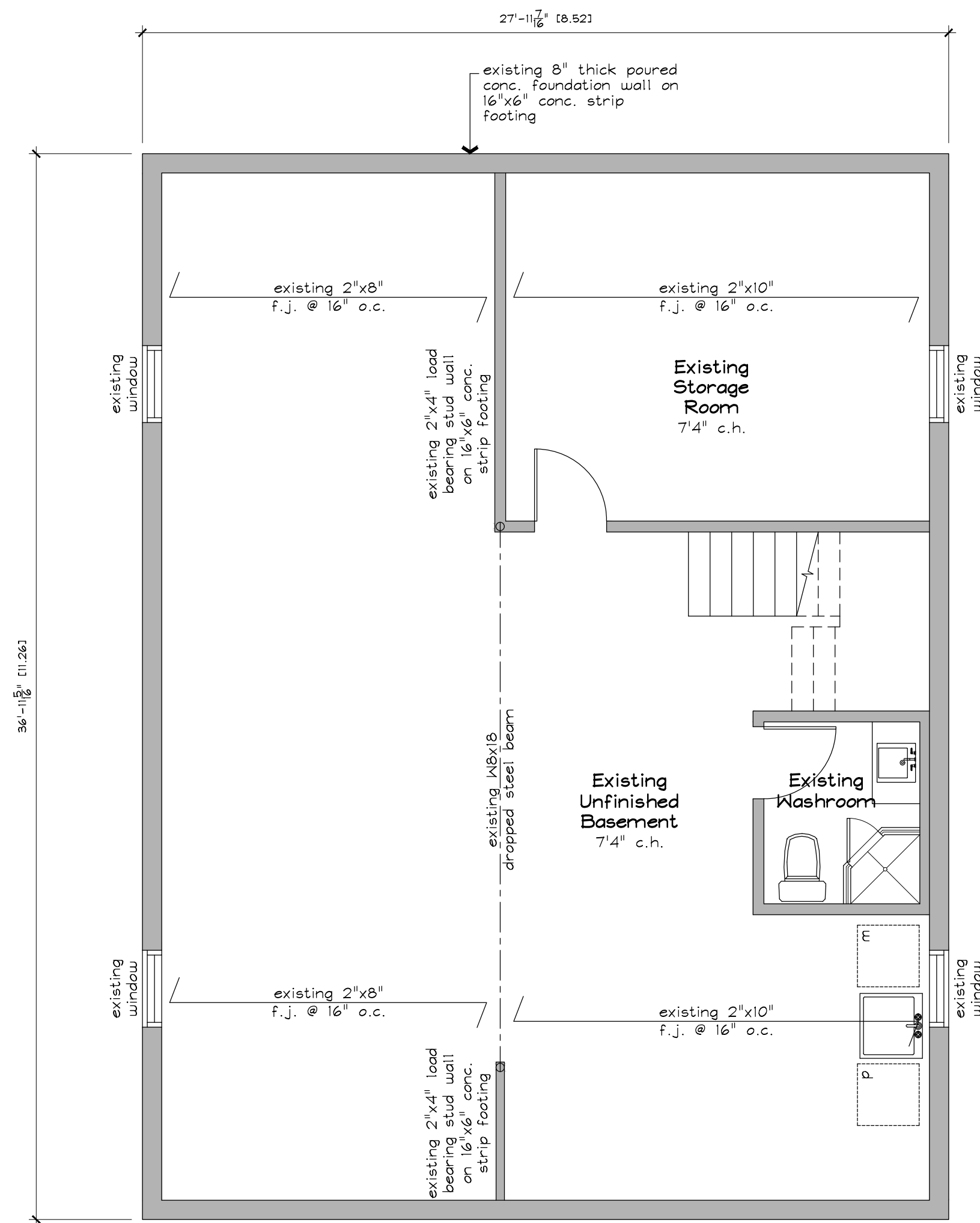
NO.	DATE	DESCRIPTION
6	2028-03-12	UPDATED PER REVISED BUILDING PLANS
5	2025-11-18	ISSUED FOR MINOR VARIANCE REVIEW
4	2025-10-22	REVISED PER UPDATED SITE PLAN
3	2025-07-28	LANDSCAPING CALCULATIONS
2	2025-06-17	ISSUED FOR BUILDING PERMIT SUBMISSION
1	2025-03-24	FIRST SUBMISSION

SEAL

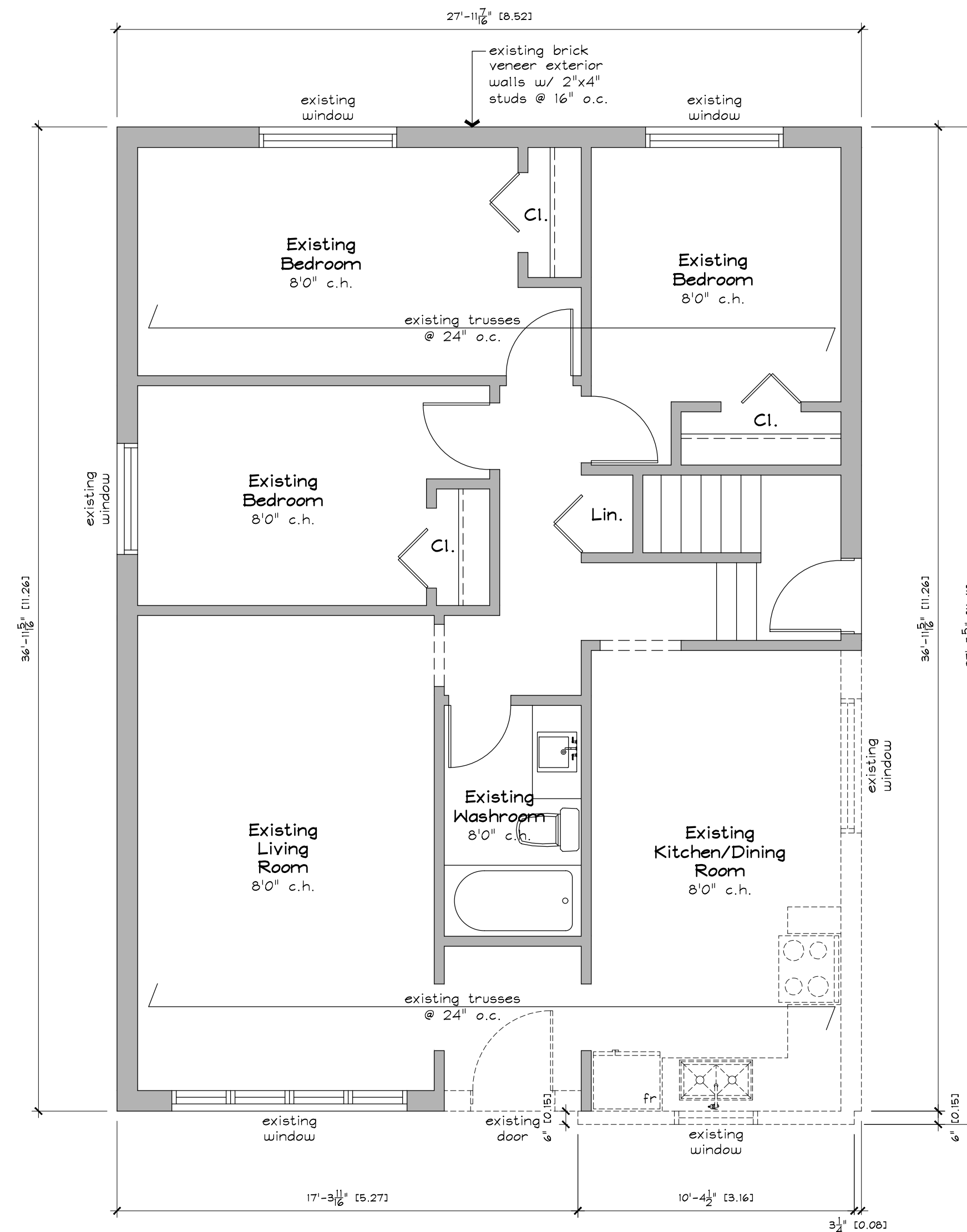
LandSmith ENGINEERING & CONSULTING LTD.
 1059 UPPER JAMES STREET, SUITE 207
 HAMILTON, ON L8C 3A5
 ANDREW@LANDSMITHCE.COM
 289-309-3632

CLIENT:	LUIGI LAURICELLA
MUNICIPALITY:	CITY OF HAMILTON
PROJECT NAME:	52 PURNELL DR.
TITLE:	GRADING PLAN
SCALE:	1:100
DATE:	2025-03-17
CHECKED BY:	AS
DESIGNED BY:	OJ
DWG No:	25007LAU
SHEET No:	G1

1:100



1 EXIST. BASEMENT PLAN
 A1 1/4" = 1'-0"



1 EXIST. FIRST FLOOR PLAN
 A1 1/4" = 1'-0"

THE LAURICELLA
 RESIDENCE
 52 PURNELL DRIVE
 HAMILTON, ON
 L9C 4Y3

drafting + design
 ■ 193 East 43rd Street ■
 ■ Hamilton, ON ■ L8T 3C3 ■
 ■ jbdraftinganddesign@live.ca ■
 ■ 905.517.6027 ■

FOR MINOR VARIANCE
 03.27.26 signature required
 Jennifer Bognar reviews and takes responsibility for the design work described in this document
 firm bcfn 103416 ■ individual bcfn 33001

DATE	ISSUE DESCRIPTION
11.20.21	ISSUED FOR REVIEW
11.26.21	ISSUED FOR REVIEW
01.20.22	ISSUED FOR REVIEW
01.18.22	ISSUED FOR REVIEW
02.18.22	ISSUED FOR REVIEW
02.15.22	ISSUED FOR REVIEW
01.24.22	ISSUED FOR REVIEW CONSULT
01.23.22	ISSUED FOR REVIEW
03.01.22	ISSUED FOR REVIEW
03.01.22	ISSUED FOR REVIEW
03.22.22	RE-ISSUED FOR REVIEW

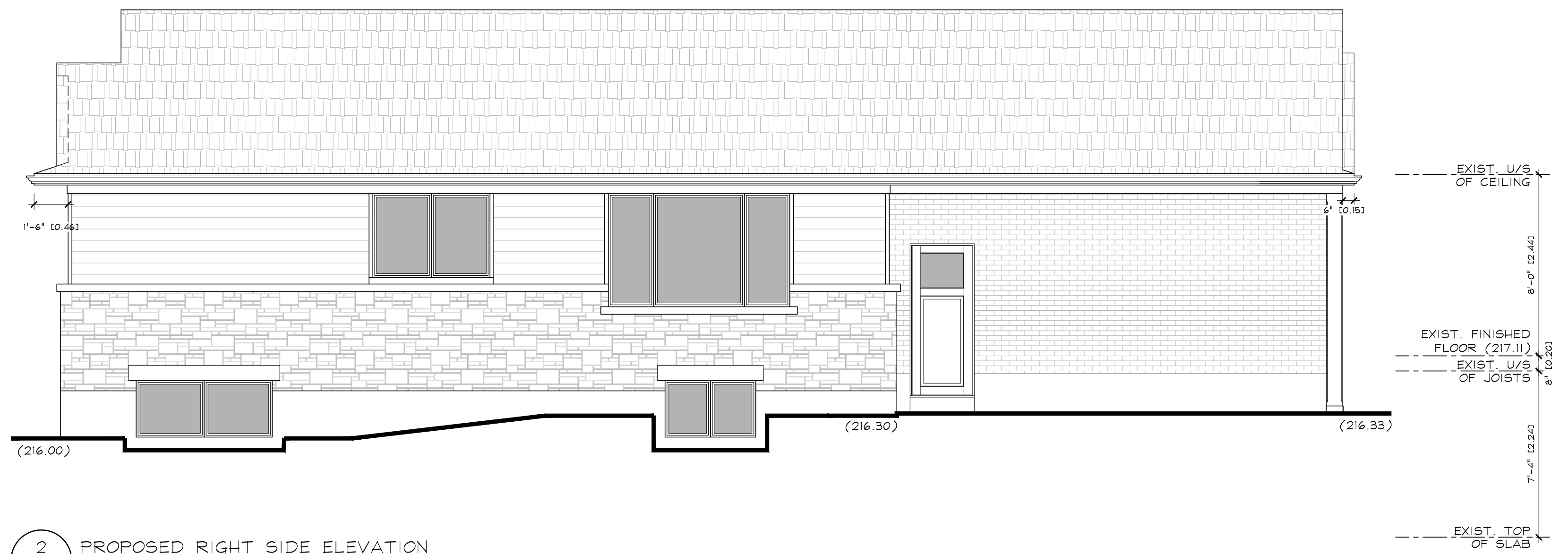
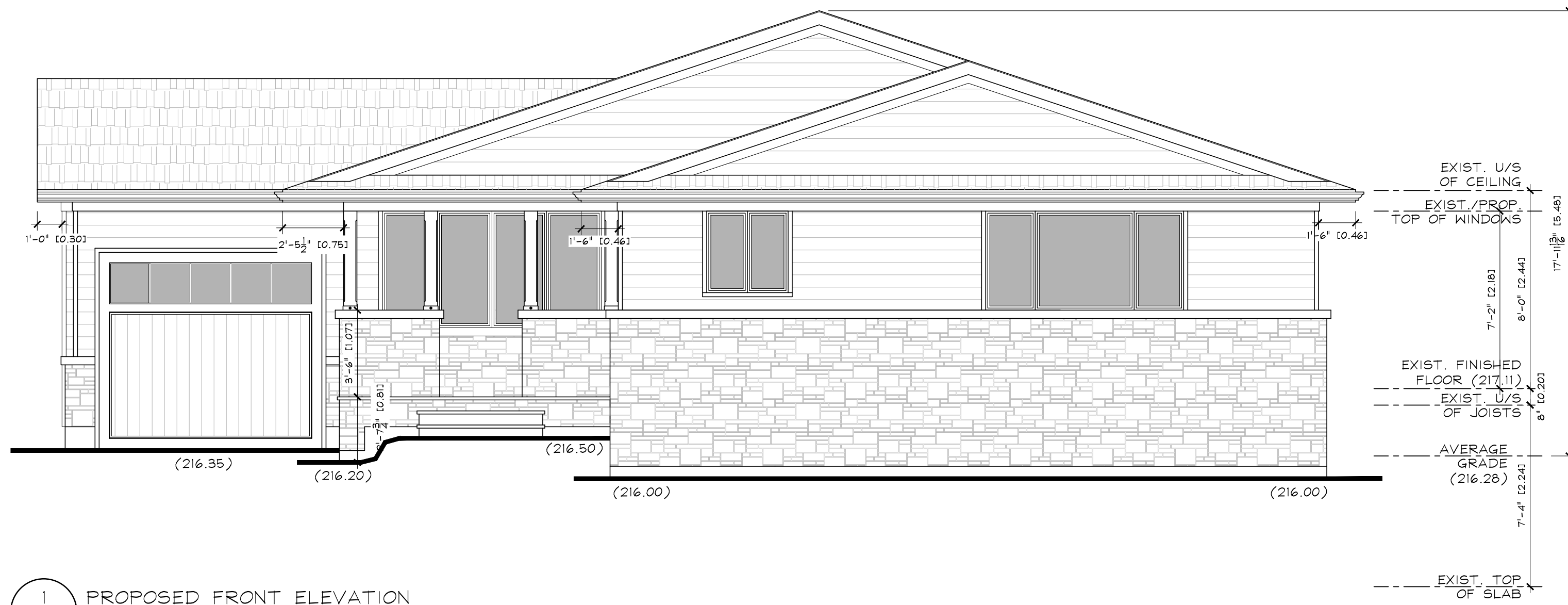
ALL DIMENSIONS AND INFORMATION SHOWN IN THESE DRAWINGS MUST BE CHECKED AND REFERRED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO DIFFER FROM THAT INDICATED BY THE DRAWINGS, THE DESIGNER MUST BE NOTIFIED IMMEDIATELY. THE DESIGNER IS NOT LIABLE FOR ANY CHANGES MADE BY THE CONTRACTOR WITHOUT THE DESIGNER'S KNOWLEDGE AND PERMISSION.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONCRETE CURING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND MAINTAIN NECESSARY SPACING DURING CURING PERIOD OR OTHER TEMPORARY SUPPORTS TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

ALL DRAWINGS AND RELATED DOCUMENTS SHALL REMAIN THE PROPERTY AND COPYRIGHT OF J.B. DRAFTING AND DESIGN. USE LATEST REVISED DRAWINGS. DO NOT SCALE DRAWINGS.

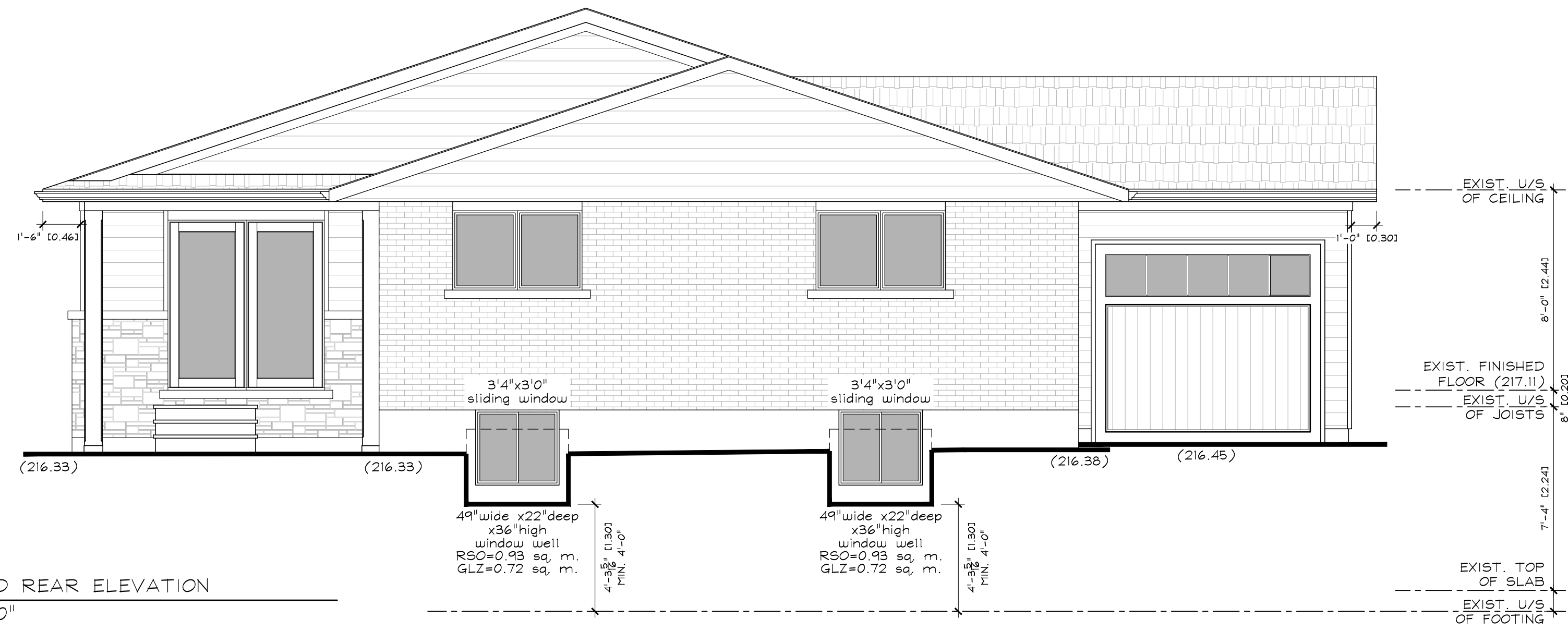
EXISTING
 FLOOR PLANS

SHEET
A1 of 4

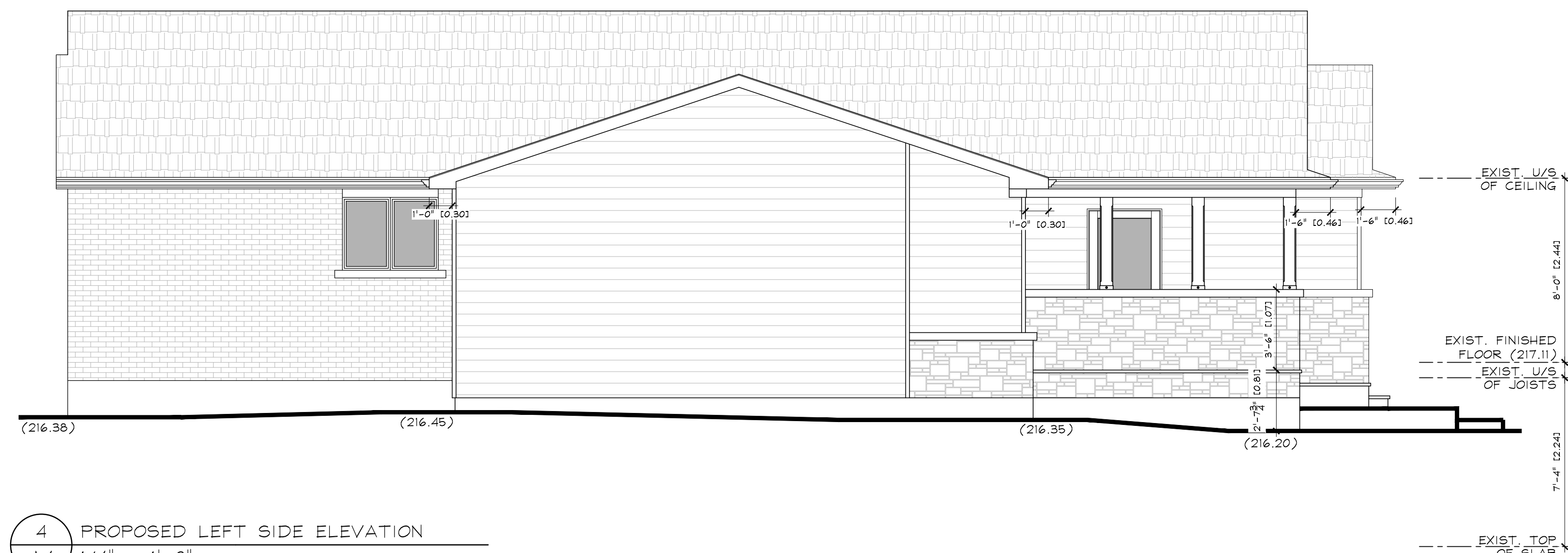


1 PROPOSED FRONT ELEVATION
A4 1/4" = 1'-0"

2 PROPOSED RIGHT SIDE ELEVATION
A4 1/4" = 1'-0"



3 PROPOSED REAR ELEVATION
A4 1/4" = 1'-0"



4 PROPOSED LEFT SIDE ELEVATION
A4 1/4" = 1'-0"

THE LAURICELLA
RESIDENCE
52 PURNELL DRIVE
HAMILTON, ON
L9C 4Y3

drafting + design
 ■ 193 East 43rd Street ■
 ■ Hamilton, ON ■ L8T 3C3 ■
 ■ jbdraftinganddesign@live.ca ■
 ■ 905.517.6027 ■

FOR MINOR VARIANCE
03.27.26 signature required
 Jennifer Bognar reviews and takes responsibility for the design work described in this document
 firm bcjn 103416 ■ individual bcjn 33001

DATE	ISSUE DESCRIPTION
11.20.21	ISSUED FOR REVIEW
11.26.21	ISSUED FOR REVIEW
01.16.22	ISSUED FOR REVIEW
01.18.22	ISSUED FOR REVIEW
02.18.22	ISSUED FOR REVIEW
02.15.22	ISSUED FOR REVIEW
03.02.22	ISSUED FOR REVIEW
03.23.22	ISSUED FOR REVIEW
03.03.22	ISSUED FOR REVIEW
03.22.22	RE-ISSUED FOR REVIEW

ALL DIMENSIONS AND INFORMATION SHOWN IN THESE DRAWINGS MUST BE CHECKED AND REFERRED ON SITE AND ANY DISCREPANCIES REPORTED TO THE DESIGNER PRIOR TO CONSTRUCTION AND FABRICATION OF ITS COMPONENTS. SHOULD EXISTING CONDITIONS OR SERVICES BE FOUND TO DIFFER FROM THAT INDICATED IN THE DRAWINGS, THE DESIGNER MUST BE NOTIFIED IMMEDIATELY. THE DESIGNER IS NOT LIABLE FOR ANY CHANGES MADE BY THE CONTRACTOR WITHOUT THE DESIGNER'S KNOWLEDGE AND PERMISSION.

FEATURES OF CONSTRUCTION NOT FULLY SHOWN ARE ASSUMED TO BE THE SAME AS INDICATED AS THESE NOTED FOR SIMILAR CONDITIONS.

UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS, NO PROVISION HAS BEEN MADE IN THE DESIGN FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE AND MAINTAIN NECESSARY SPACING, BRACING, SHEET PILING OR OTHER TEMPORARY SUPPORTS TO SAFEGUARD ALL EXISTING OR ADJACENT STRUCTURES AFFECTED BY THIS WORK.

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PROPOSED
ELEVATIONS

SHEET
A4
of 4

Minor Variance Application – Re-Submission After Deferral

Project: 52 Purnell Drive

To whom it may concern,

We are kindly requesting consideration for a number of minor variances to facilitate the construction of an addition to the existing single-family dwelling.

Variations Required

1. To permit a flankage yard setback of 2.45m. instead of the required 3.0m. for a proposed 1 story addition.

The homeowner requires more living space for their growing kids. They are outgrowing the 3 small bedrooms they currently have and would like to ensure all living spaces are on the main level so they can stay in this house as they age and be close to their kids and the living space while they're small.

We feel this reduced setback will have very little impact on Bentley Place street as there is an extra large boulevard of 5.0m on this side. We have also met the required front yard setback which ensures great visibility from the corner of Bentley Place and Purnell Drive.

2. To permit a South side lot line of 0.40m. instead of the required 1.20m. for a proposed 1 story addition.

The variance requested with the first submission was 0.33m. to the side yard. After the first meeting we met with staff (from planning and site engineering) on site to discuss the changes and what setbacks they could support. After lengthy discussions it was agreed upon that the 0.40m. side yard setback would be sufficient for accessibility on the side of the addition. The existing detached garage has roughly the same setback and it was shown that the side of the structure is easily accessible.

The neighbouring property owner has signed a letter in support of this addition (see below) and is more than happy to have their property accessed when needed to ensure everything is built and graded appropriately. They have also signed the proposed site plan to show that they are in agreement with the shared swale that is being proposed, which was a condition set by the site engineering department.

3. To permit a 0.10m. eave setback instead of the required encroachment of one-half the width of the required interior side yard.

We have ensured that the roof overhang does not encroach the full width of the proposed side yard. The overhang does follow the roof line and does not present any obstructions from an accessibility standpoint and will not have any negative impacts on the neighboring property.

We feel we have worked with staff to address their major concerns from our first proposal and are happy to come back to the table with a revised plan that we hope will please everyone. We have reduced the number of variances from 4 to 3 and have also reduced the severity of 2 of the remaining 3 variances.

Overall, we feel these additions are in keeping with the neighborhood and surrounding homes and poses no negative impact to the streetscape or neighbors.

We appreciate your time and consideration in this manner.

June 1, 2025

To Whom it May Concern,

This letter is to acknowledge our support of the proposed plans to the property of 52 Purnell Drive, Hamilton ON.

Luigi and Sheri Lauricella have been our next door neighbours since the summer of 2012. They have personally discussed their intention of putting an addition onto the house and placement of a side garage that would sit between our houses. The area in question is already fully hardscaped from the previous owners and to date, we have not had any issues with water pooling or drainage in our side yard. Also, they have identified that should this be approved, they may require access to our property to excavate and we are ok with this as well.

In addition, we appreciate the fact that they have opted not to push out a proposed garage/addition and rather set it back between the houses so as not to impede our view when we sit on our front porch.

To reiterate, we are in support of their proposed plans.

Thank you,

June 3, 2025

Don and Kim Johnson



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

**APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE PLANNING ACT**

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS
Registered Owners(s)	Luigi Lauricella & Sheri Lauricella (nee Spolnik)	
Applicant(s)	Jenny Bognar	
Agent or Solicitor	As per applicant	

1.2 Primary contact Applicant Owner
 Agent/Solicitor

1.3 Sign should be sent to Applicant Owner
 Agent/Solicitor

1.4 Request for digital copy of sign Yes* No

If YES, provide email address where sign is to be sent _____

1.5 All correspondence may be sent by email Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type In person Credit over phone*
 Cheque _____

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	52 Purnell Drive		
Assessment Roll Number			
Former Municipality	Hamilton		
Lot	83	Concession	
Registered Plan Number	M-29	Lot(s)	
Reference Plan Number (s)		Part(s)	

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

Part 99 Plan WHR 58 4' Easement (off rear property line)

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

See attached

Second Dwelling Unit Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

See attached

3.3 Is this an application 45(2) of the Planning Act.

Yes No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
18.288 m.	36.576 m.	668.90 sq. m.	20.0 m.

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Existing Dwelling	10.01 m.	15.28 m.	6.17 m./3.57 m.	1980's appr.
Existing Detached Garage	n/a	1.22 m.	0.61 m./7.32 m.	2020

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Dwelling Additions	4.03 m.	16.75 m.	2.45 m./0.40 m.	ASAP

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Existing Dwelling	95.93 sq. m.	95.93 sq. m.	1	4.69 m.
Existing Detached Garage	77.06 sq. m.	77.06 sq. m.	1	4.5 m.

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Dwelling w/ Additions including front porch	209.93 sq. m.	209.93 sq. m.	1	5.48 m.

- 4.4 Type of water supply: (check appropriate box)
 publicly owned and operated piped water system
 privately owned and operated individual well

- lake or other water body
 other means (specify)
-

- 4.5 Type of storm drainage: (check appropriate boxes)
 publicly owned and operated storm sewers
 swales

- ditches
 other means (specify)
-

4.6 Type of sewage disposal proposed: (check appropriate box)

publicly owned and operated sanitary sewage

system privately owned and operated individual

septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

provincial highway

right of way

municipal road, seasonally maintained

other public road

municipal road, maintained all year _____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):

Single detached dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):

Single detached dwellings

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:

August 15, 2012

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single detached dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)

Single detached dwelling

7.4 Length of time the existing uses of the subject property have continued:

Always

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): _____

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) Neighbourhoods

Please provide an explanation of how the application conforms with the Official Plan.

See attached

7.6 What is the existing zoning of the subject land? R1

7.8 Has the owner previously applied for relief in respect of the subject property?

(Zoning By-law Amendment or Minor Variance)

Yes

No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes

No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 0

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
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