



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING
Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION NO.:	A-26:060	SUBJECT PROPERTY:	335 Carlisle Road, Flamborough
ZONE:	S1 (Settlement Residential)	ZONING BY-LAW:	Hamilton Zoning By-law 05-200

APPLICANTS: Owner: Angelo Venturin, Michele Pankcatz
 Applicant:
 Agent:

The following variances are requested:

1. A maximum Gross Floor Area of 68.0 square metres shall be permitted for buildings accessory to the Single Detached Dwelling instead of the requirement that all buildings accessory to a Single Detached Dwelling shall not exceed 45.0 square metres or 7.5% of the lot area, whichever is the lesser.
2. A maximum Building Height of 5.1 metres shall be permitted for all buildings accessory to the Single Detached Dwelling instead of the requirement that all buildings accessory to a Single Detached Dwelling shall have a maximum Building Height of 4.5 metres.

PURPOSE & EFFECT: To construct a detached garage in the rear yard of a Single Detached Dwelling

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Thursday, April 30, 2026
TIME:	10:45 a.m.
PLACE:	Via video link or call in (see attached sheet for details)
	City Hall Council Chambers (71 Main St. W., Hamilton)

	To be streamed (viewing only) at www.hamilton.ca/committeeofadjustment
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For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

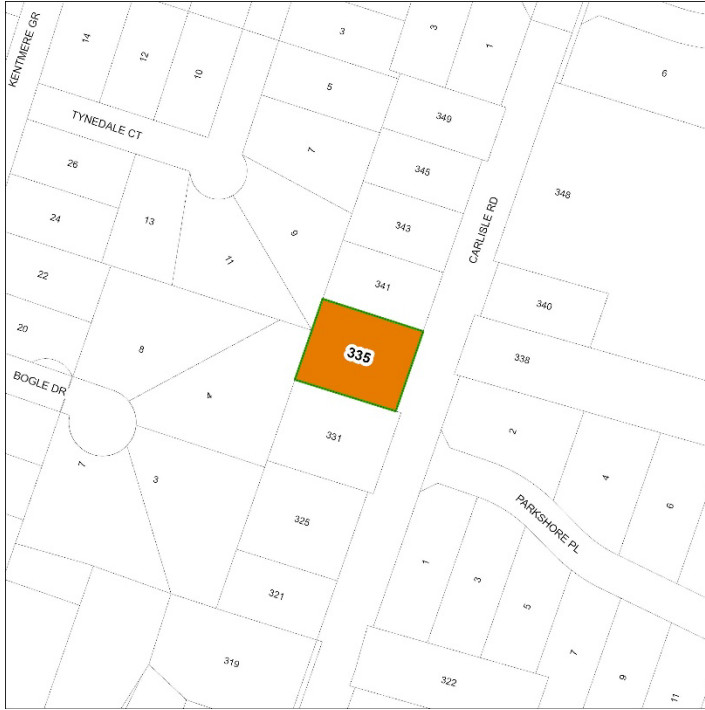
Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Please see attached page for complete instructions, written comments must be received no later than noon April 28, 2026.

Orally: If you would like to speak to this item at the hearing you may do so via video link, calling in, or attending in person. Please see attached page for complete instructions, registration to participate virtually must be received no later than noon April 29, 2026.

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding A-26:060, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



 **Subject Lands**

DATED: April 13, 2026

Justin Leung,
Secretary-Treasurer
Committee of Adjustment

Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.



Hamilton

COMMITTEE OF ADJUSTMENT

City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5

Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

PARTICIPATING PROCEDURES

1. Written Submission Ahead of the Meeting

Members of the public who wish to provide input without speaking at the Hearing may submit written comments in advance of the meeting. Comments must be received by **12:00 p.m. (noon)** on the deadline date for written comment submissions listed on the Notice of Public Hearing.

How to Submit Written Comments:

By Email:

Send to: cofa@hamilton.ca

By Mail:

Committee of Adjustment
City of Hamilton
71 Main Street West, 5th Floor
Hamilton, Ontario
L8P 4Y5

The following information is required with your written submission:

- Committee of Adjustment file number
- Full name and address of the person providing comments. Anonymous comments will not be accepted.

Comments can also be placed in the drop box which is located at the back of the 1st Floor of City Hall, 71 Main Street West. All written comments received by the deadline will be made available to the Committee and the public by the Tuesday prior to the Hearing.

2. Oral Submissions During the Hearing

Interested members of the public, agents, and owners may provide oral comments on Committee of Adjustment Hearing items either virtually via Webex (computer or phone) or by attending in person.

Speaking Time Limit:

All participants providing oral submissions, either in person or virtually are limited to a maximum of 5 minutes to speak. This is to ensure all parties have an equal opportunity to be heard and that the meeting runs efficiently.

3. In-Person Oral Submissions

To participate in person, attend Council Chambers on the date and time listed in the Notice of Public Hearing. You will be required to provide your name and address for the record. It is recommended you arrive at least 10 minutes prior to the scheduled start time.

4. Virtual Oral Submissions

To participate virtually, you must register by 12:00 p.m. (noon) on the virtual oral submissions registration deadline date. This is listed on the Notice of Public Hearing. To register, email cofa@hamilton.ca with the following information:

- Committee of Adjustment file number
- Hearing date
- Full name and address of the person wishing to speak. Anonymous comments will not be accepted.
- Method of participation (phone or video), and, if applicable, the phone number to be used
- Each person must register separately

Registered participants will receive a Webex link one business day before the Hearing. Only those registered will be called upon to speak.

5. Presentations

All presentations are permitted at the discretion of the Committee.

Virtual Presentations:

Presenters participating virtually may be granted permission to share their screen during the Hearing. A copy of the presentation must be submitted to cofa@hamilton.ca **by 12:00 p.m. (noon) on the business day prior to the Hearing**. The submission must be one document in PDF format only.

In-Person Presentations:

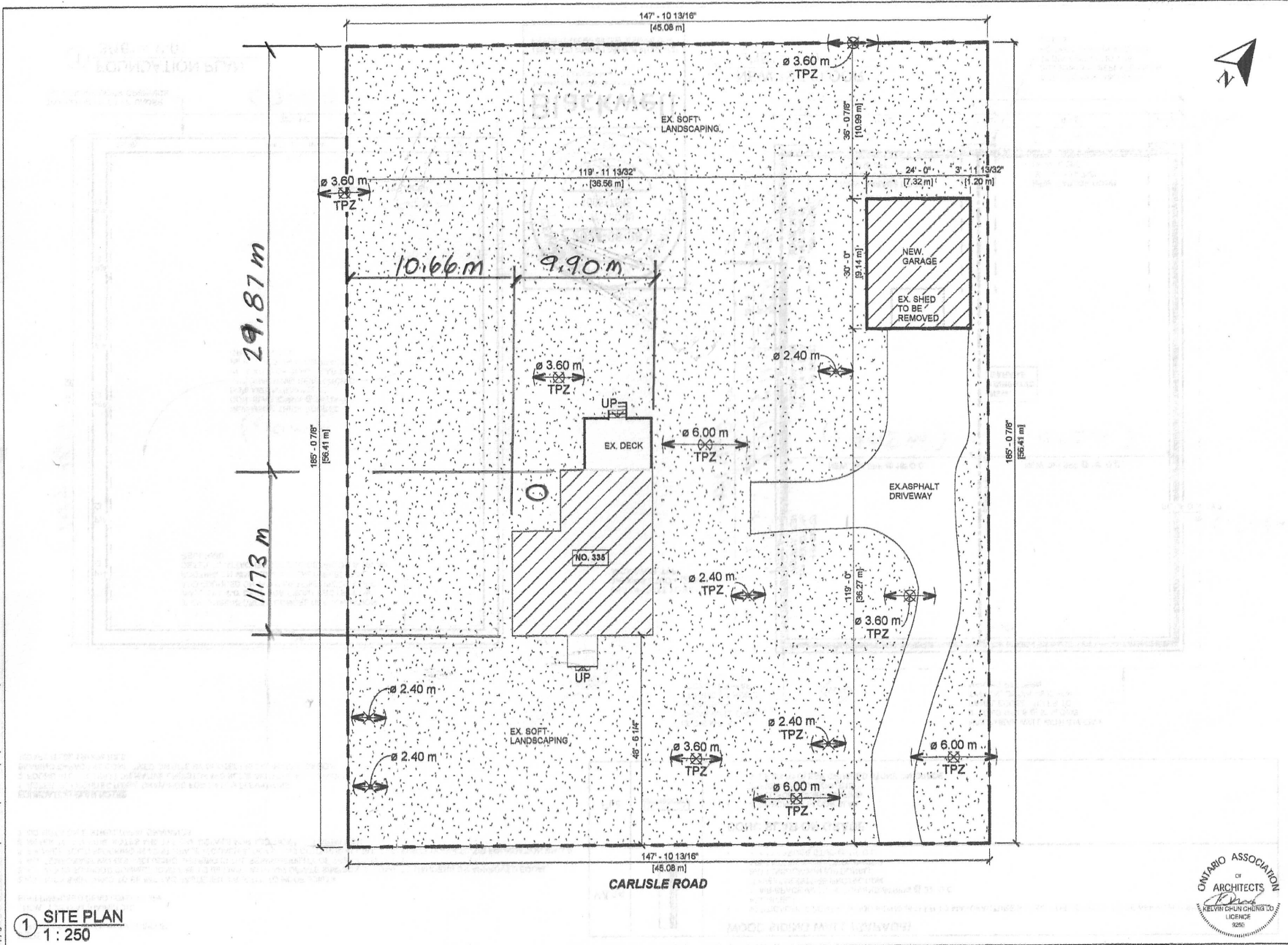
Presenters attending in person may be granted permission to use the presentation screen. Presentations must be brought on a USB device and opened by the owner/applicant. A copy of the presentation must also be sent to cofa@hamilton.ca **by 12:00 p.m. (noon) on the business day prior to the Hearing**. The submission must be one document in PDF format only. Handouts are permitted only if the same content can be displayed on the presentation screen.

6. Additional Notes

- Webex (video) participation requires a compatible computer or smartphone. The necessary application must be downloaded in advance.
- It is the interested party's responsibility to ensure their device is functional and compatible prior to the Hearing.

For any questions, contact staff at cofa@hamilton.ca or call 905-546-2424 ext. 4221.

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PROPOSED DETACHED GARAGE
335 CARLISLE ROAD
 HAMILTON, ONTARIO L0R 1H1

Permit Works
 Approvals Made Easy
 3575 14TH AVE - UNIT 18
 MARKHAM, ON L3R 0H6
 email: info@permitworks.ca
 mobile: 416-989-8900

KCCL Architect

Drawn by	DHC
Date	2024-08-27
Scale	1 : 250
Project Number	24094
DRAWING NAME	SITE PLAN
SHEET NUMBER	A1.1



① SITE PLAN
 1 : 250

CONTRACTOR SHALL VERIFY SITE DIMENSIONS

3
 26

PROPOSED DETACHED GARAGE
335 CARLISLE ROAD
HAMILTON. ONTARIO L0R 1H1

KCCL Architect

LICENSED ARCHITECT BY ONTARIO ARCHITECT ASSOCIATION

348 Hemlock Drive, Whitchurch Stouffville, Ontario Canada L4A 5A7/
Tel: 416 881 9898. Mobile: 416 602 9616
Email: Info@kcclarchitect.ca
Web: <https://www.kcclarchitect.ca>

OAA - Licence # 9250. Certificate of Practice # 6195

GENERAL NOTES 1.0

Drawings:

1. Owner and contractor is fully responsible for verifying all existing structural condition prior to any work. Any and all discrepancies shall be reported to KCCL Architect Inc. Prior to any work. Owner and contractor is fully responsible for shoring existing structure prior to any work.
2. DO NOT SCALE DRAWINGS
3. If any conflict of discrepancy exists in the drawings documents, the following priority sequence is to be followed:
 - Drawings of a later date supersede drawings of an earlier date
 - Larger scales drawings supersede those of a smaller scale
 - the specifications supersede the drawings
5. Mechanical and electrical contractos are to cross reference the architectural and engineering drawings through-out the course of the project and report any discrepancies to the architect before proceeding

Permits & Inspections:

1. **NO DEMOLITION OR CONSTRUCTION IS TO START WITHOUT ISSUANCE OF A VALID BUILDING PERMIT.**
2. Upon completion of the work, the contractors shall pay for and obtain a signed release from the municipality having jurisdiction indicating that the work is complete and the permit is signed off.
3. The contractor shall give all required notices for inspections as required by the building permit and all authorities having jurisdiction.
4. The architect will abide by the mechanic's lien act in his/her review of all progress invoices on the project.

Cooperation & Protection:

1. Each contractor is responsible for all necessary cutting and patching required by their respective trades.
2. Protection: The general contractor shall protect all finished work from construction any damage arising from any cause shall be made good by the general contractor to the satisfaction of the architect.
3. Protection: Contractor to provide protection over any base building equipment during all phases of construction.

Substitutions:

1. No substitution for any product or material will be accepted unless authorized by the architect in the form of an addendum.

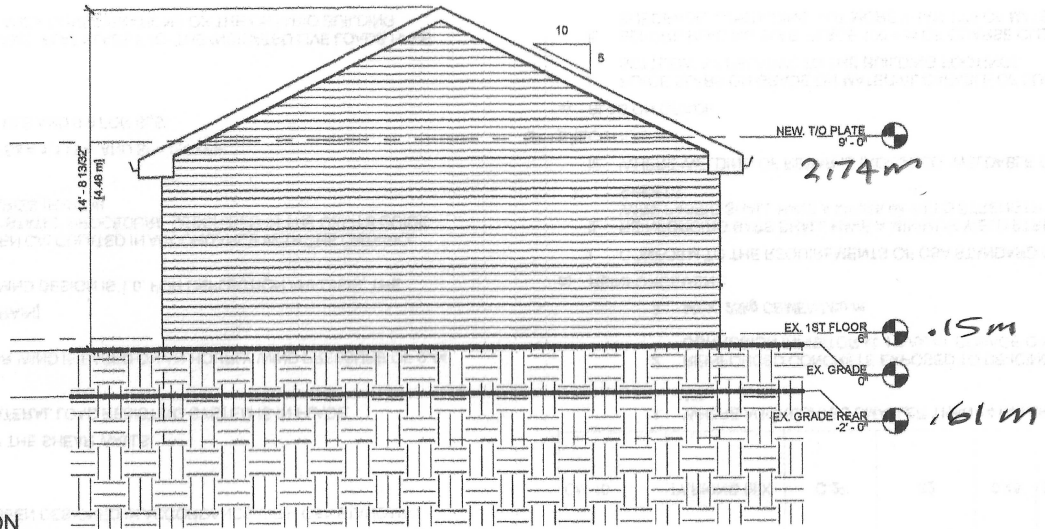
Building Code Compliance Note:

1. These drawings do not represent a comprehensive and exhaustive guide for compliance with the Ontario Building Code. It is assumed that the contractor has reasonably sufficient knowledge of the Ontario Building Code in order to perform all work as per these drawings in such a way that will comply with all aspects of the OBC and will not contravene any other applicable laws.

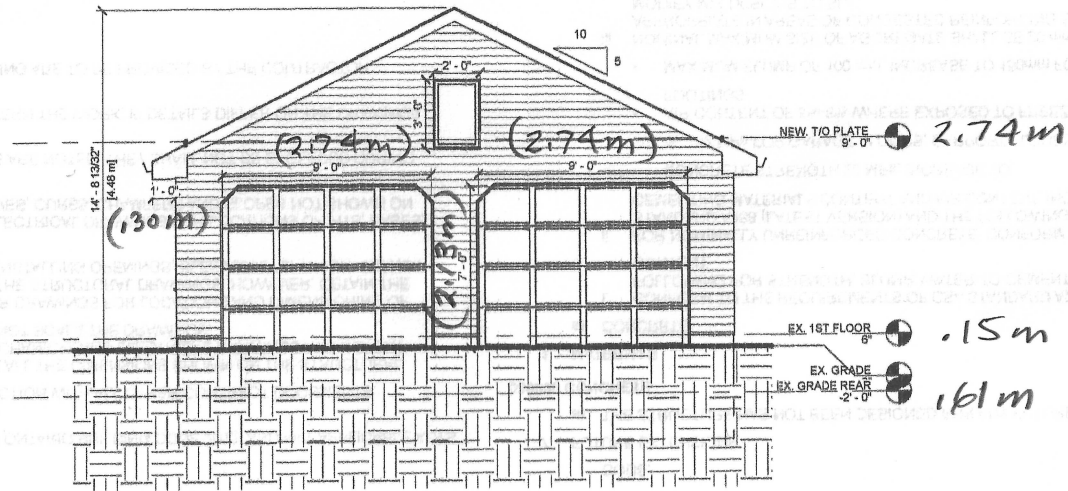
Legal:

Drawings issued by KCCL Architect Inc are for illustration and design intent purposes only. All Architectural, Mechanical, Electrical, Plumbing, Structural, Sprinkler, Suppression system and life safety items are to be as per outlined in municipal permit approved drawings as per issued by associated professional engineer and respective trades.

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① NEW ELEVATION
 $\frac{3}{16}'' = 1'-0''$
 $(4.77mm = 304.8mm)$



② NEW ELEVATION
 $\frac{3}{16}'' = 1'-0''$
 $(4.77mm = 304.8mm)$

CONTRACTOR SHALL VERIFY SITE DIMENSIONS

PROPOSED DETACHED GARAGE
335 CARLISLE ROAD
 HAMILTON, ONTARIO L0R 1H1

Permit Works
 Approvals Made Easy

3575 14TH AVE - UNIT 18
 MARKHAM, ON L3R 0H6
 email: info@permitworks.ca
 mobile: 416-959-8900

KCCL Architect

Drawn by **DHC**
 Date **2024-06-27**
 Scale **$\frac{3}{16}'' = 1'-0''$**
 Project Number **24094**

DRAWING NAME
NEW ELEVATIONS

SHEET NUMBER
A3.2

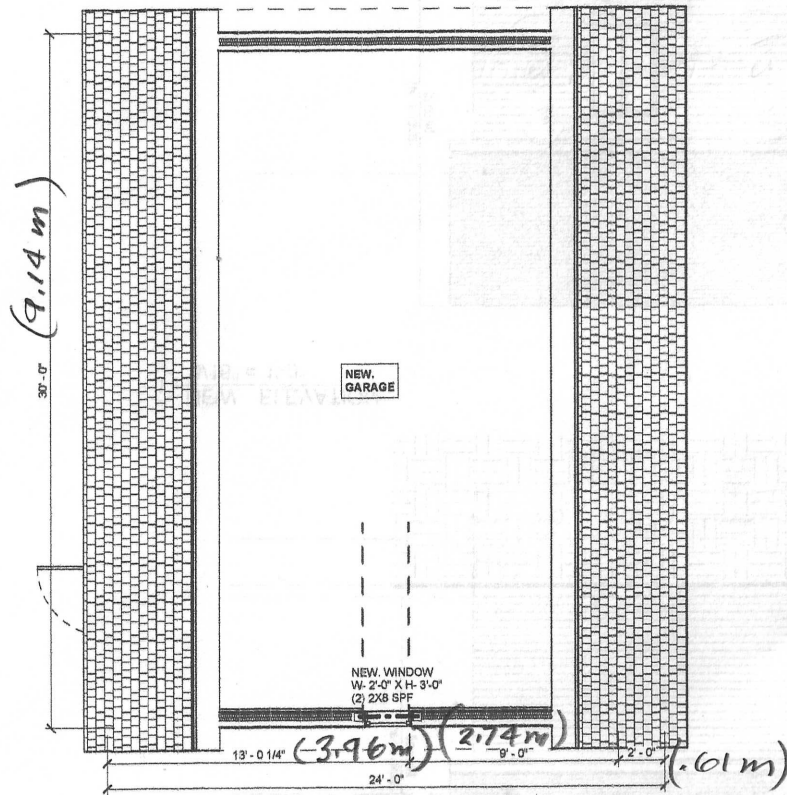
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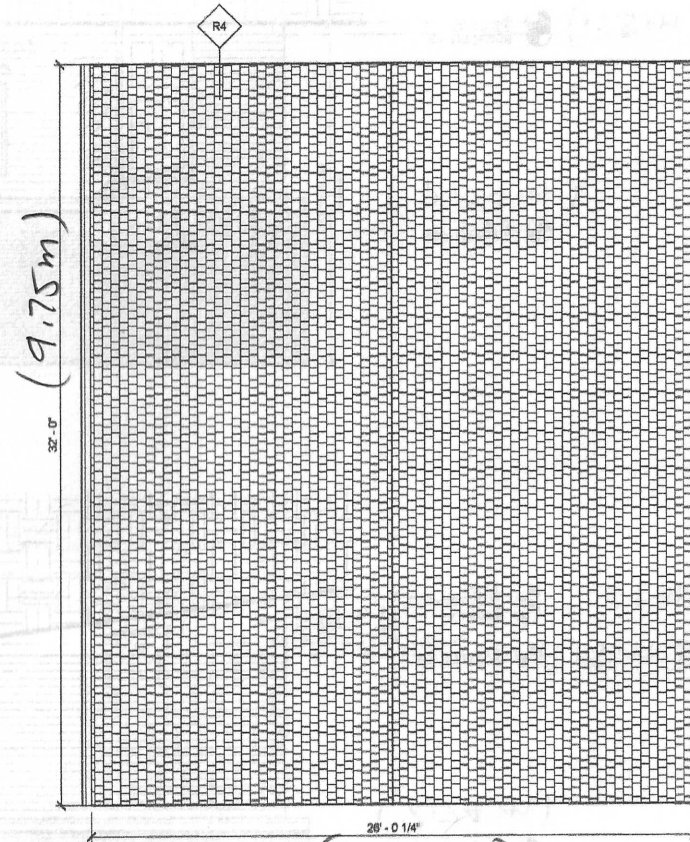
This stamp covers review of structural elements shown on this drawing only.



R4	<p>SLOPED FINISHED CEILING (VAULT CEILING)</p> <ul style="list-style-type: none"> • ASPHALT SHINGLES - 30 YEAR, 3 TAB. UNDERLAY ICE AND WATER SHIELD FOR A VERTICAL DIMENSION OF 5'-0" MIN. UP ROOF SLOPE FROM EAVES. • ROOF RAFTER AND SPACING AS PER PLANS • MIN. R31 SPRAY FOAM INSULATION (OPTIONAL) • 1/2" GYPSUM, CEILING BOARD <p style="text-align: right;">(1.54 m)</p>
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③ **NEW 1ST FLOOR UPPER** (7.31m)
3/16" = 1'-0"



① **NEW ROOF PLAN**
3/16" = 1'-0"
(4.77mm = 304.8mm)

PROPOSED DETACHED GARAGE
335 CARLISLE ROAD
 HAMILTON, ONTARIO L0R 1H1

Permit Works
 Approvals Made Easy

3575 14TH AVE - UNIT 15
MARKHAM, ON L3R 0H6
email: info@permitworks.ca
mobile: 416-889-8900

KCCL
Architect

Drawn by **DHC**
 Date **2024-08-27**
 Scale **As Indicated**
 Project Number **24094**

DRAWING NAME
NEW. FLOOR PLAN

SHEET NUMBER
A2.2

NOTE: EXISTING FLOOR PLAN FOR REFERENCE ONLY

CONTRACTOR SHALL VERIFY SITE DIMENSIONS

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ROOF

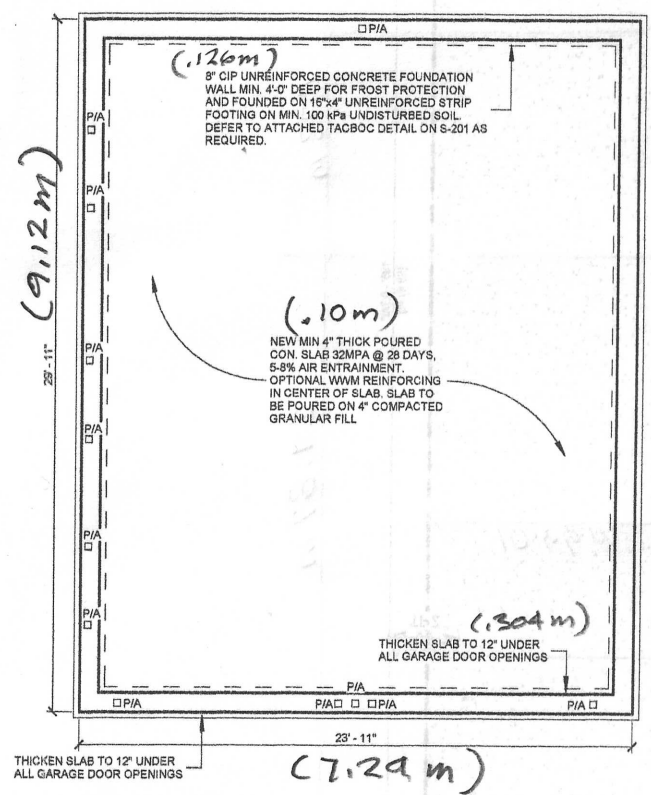
1. ROOF LOADS USED IN THE DESIGN:

- SNOW: 1.28 kPa (HAMILTON)
- SUPERIMPOSED DEAD LOAD 0.7 kPa
- 2. ALL ROOF SHEATHING TO BE 5/8" T&G FASTENED DIRECTLY TO ROOF JOISTS.
- 3. ALL WOOD-TO-WOOD CONNECTIONS ARE TO BE MADE WITH APPROPRIATE SIMPSON STRONG TIE GANGERS OR APPROVED EQUAL.
- 4. ALL TEMPORARY WORKS, INCLUDING SHORING IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 5. PROVIDE SOLID BLOCKING IN JOIST SPACE (SQUASH BLOCKS) AND CONTINUE ALL BUILT UP POSTS DOWN TO T/O FOUNDATION WALLS.
- 6. REFER TO GENERAL NOTES AND TYPICAL DETAILS FOR ADDITIONAL INFORMATION.
- 7. DO NOT SCALE STRUCTURAL DRAWINGS.

FOUNDATION PLAN NOTES

- 1. REFER TO ARCHITECTURAL DRAWINGS FOR DATUM ELEVATIONS.
- 2. FOUND ALL FOOTINGS ON NATIVE UNDISTURBED SOILS WITH THE FOLLOWING BEARING CAPACITIES CONFIRMED ON SITE BY GEOTECHNICAL INVESTIGATION. 100 kPa (SL6), 150 kPa (JL5).

WL14		<p>WOOD SIDING WALL (GARAGE)</p> <ul style="list-style-type: none"> • VERTICAL/HORIZONTAL WOOD SIDING (REFER TO MANUFACTURE'S SPEC. FOR DETAILS) TO BE APPROVED BY OWNER OR ARCHITECT • 1" AIR SPACE W/ 1" X 3" FURRING STRIPS @ 32" O.C. • "TYVEK" MOISTURE PROTECTION • BATT INSULATION (OPTIONAL) • 1/2" EXTERIOR GRADE PLYWOOD • 2" X 6" SPRUCE STUD @ 16" O.C.
FL6		<p>CONC SLAB ON GRADE</p> <ul style="list-style-type: none"> • 4" CONCRETE FLOOR SLAB • 6 MILL POLY DAMPROOFING • 2" RIGID INSULATION (R10) • 5" OF 3/4" Ø CLEAR CRUSHED STONE ON GRADE



① FOUNDATION PLAN
3/16" = 1'-0"

LICENSED PROFESSIONAL ENGINEER

2024-08-28

V. W. L. CHU

100617848

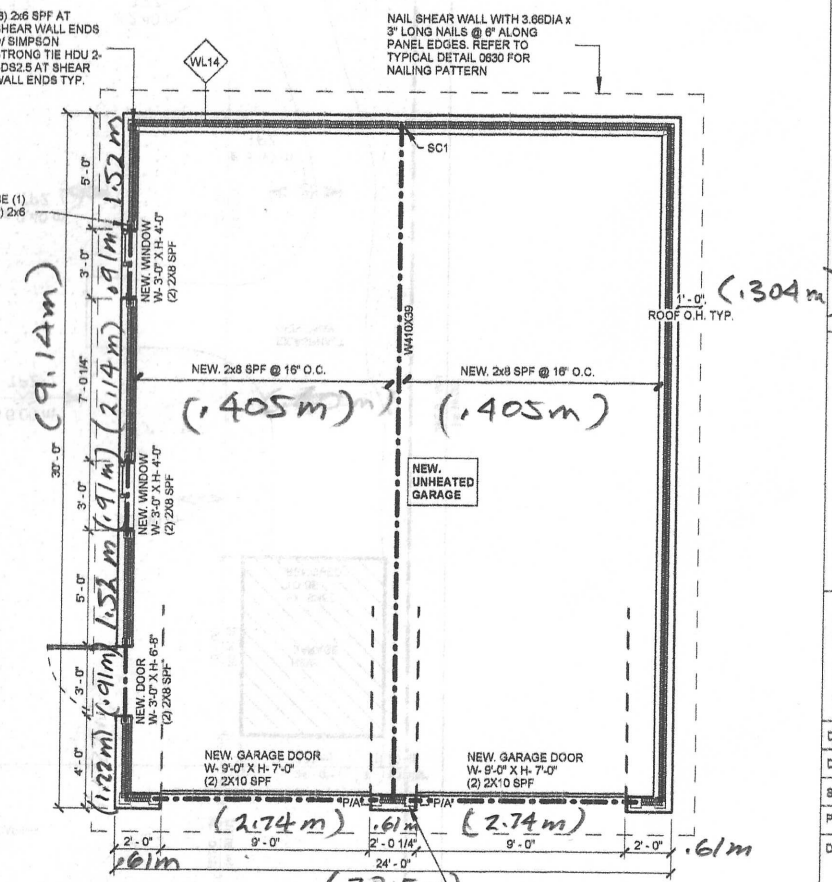
PROVINCE OF ONTARIO

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This stamp covers review of structural elements shown on this drawing only.



② NEW 1ST FLOOR
3/16" = 1'-0"

PROPOSED DETACHED GARAGE

335 CARLISLE ROAD

HAMILTON, ONTARIO L0R 1H1

Permit Works

Approvals Made Easy

3576 14TH AVE - UNIT 18
MARKHAM, ON L3R 0H6

email: info@permitworks.ca
mobile: 416-889-6600

KCCL Architect

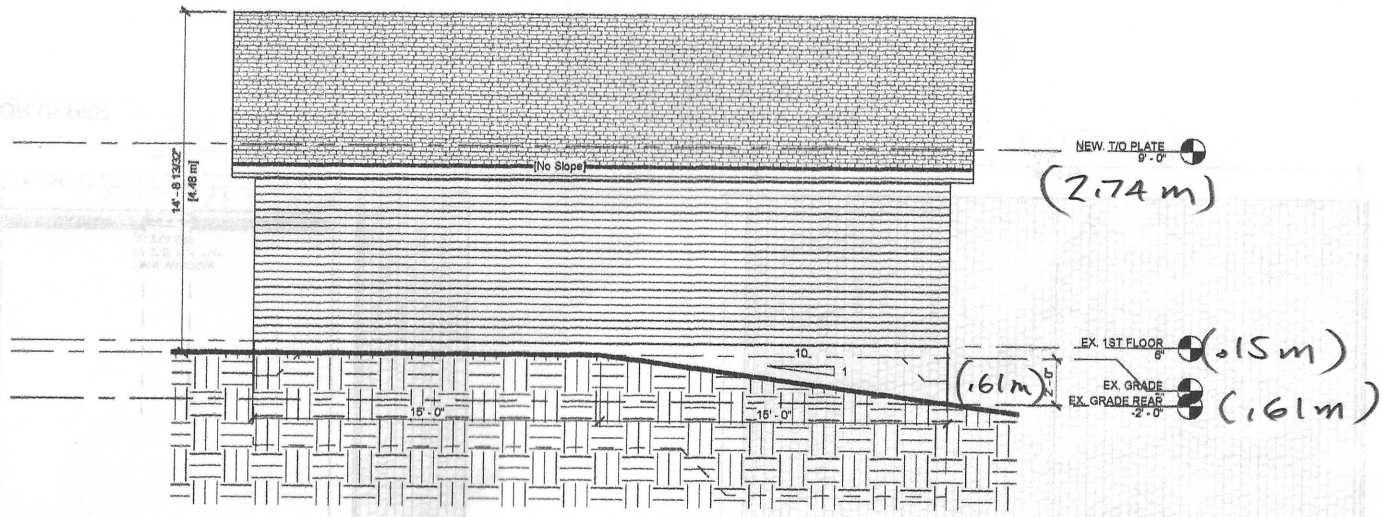
Drawn by	DHC
Date	2024-08-27
Scale	As indicated
Project Number	24094
DRAWING NAME	NEW. FLOOR PLAN

SHEET NUMBER

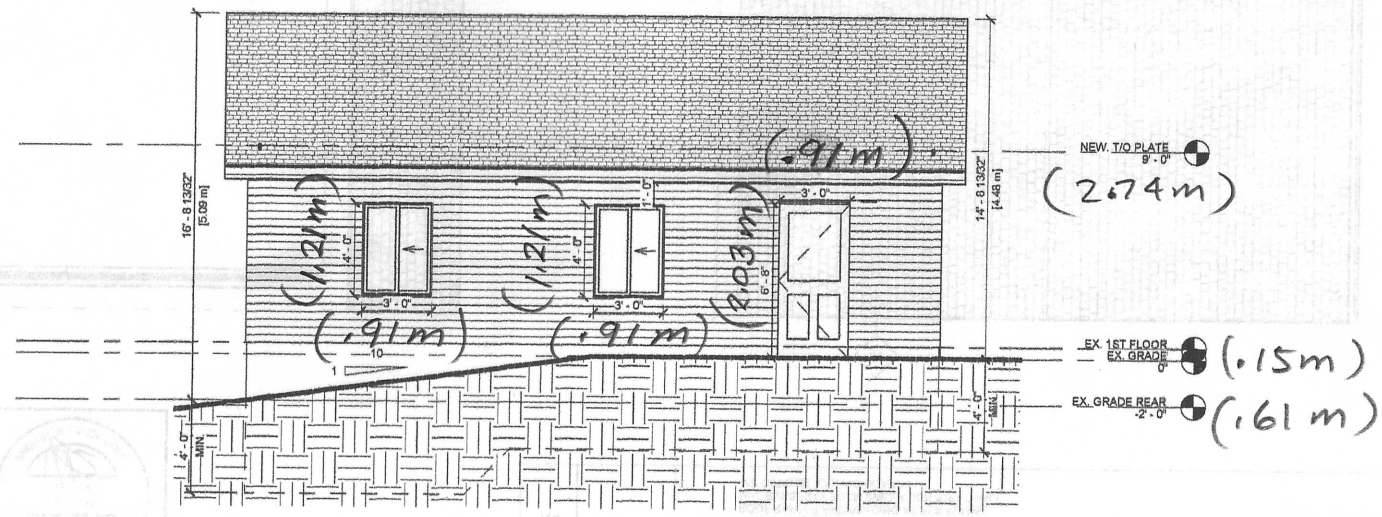
A2.1

CONTRACTOR SHALL VERIFY SITE DIMENSIONS

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① NEW. ELEVATION
3/16" = 1'-0"



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3/16" = 1'-0"

CONTRACTOR SHALL VERIFY SITE DIMENSIONS

PROPOSED DETACHED GARAGE
335 CARLISLE ROAD
HAMILTON, ONTARIO L0R 1H1

Permit Works
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3575 14TH AVE - UNIT 18
MARKHAM, ON L3R 0H6
email: info@permitworks.ca
mobile: 416-999-9900

KCCL Architect

Drawn by **DHC**
Date **2024-08-27**
Scale **3/16" = 1'-0"**
Project Number **24094**

DRAWING NAME
NEW. ELEVATIONS

SHEET NUMBER
A3.1



ISSUED FOR PERMIT	2024-05-23	DATE
DESCRIPTION	01	WK

Drawn by	VC	Date	2024-05-22
Checked by	VC	Scale	NTS
		Project #	240276

Project Name
335 CARLISLE RD
DETACHED GARAGE

Sheet Title
GENERAL NOTES

S-001

010000 GENERAL

1. CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE 2012, AND ANY APPLICABLE ACTS OF AUTHORITY HAVING JURISDICTION.
2. READ STRUCTURAL DRAWINGS IN CONJUNCTION WITH ALL OTHER CONTRACT DOCUMENTS.
3. BEFORE PROCEEDING WITH WORK, CHECK ALL THE DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS WITH THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND REPORT DISCREPANCIES TO THE CONSULTANT. DO NOT SCALE THE DRAWINGS.
4. REFER TO THE ARCHITECTURAL AND OTHER DRAWINGS FOR LOCATIONS AND DIMENSIONING OF OPENINGS AND SLEEVES NOT SHOWN ON THE STRUCTURAL DRAWINGS. HOWEVER, OBTAIN THE CONSULTANT'S PRIOR APPROVAL BEFORE INSTALLING OPENINGS, SLEEVES, ETC. WHICH ARE NOT SHOWN ON STRUCTURAL DRAWINGS.
5. SEE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS OF PITS, BASES, SUMPS, TRENCHES, DEPRESSIONS, GROOVES, CURBS, CHAMFERS AND SLOPES NOT SHOWN ON STRUCTURAL DRAWINGS.
6. HORIZONTAL AND VERTICAL DESIGN LOADS ARE NOTED. THEY SHALL NOT BE EXCEEDED DURING CONSTRUCTION.
7. TYPICAL STRUCTURAL DETAILS SHALL GOVERN THE WORK. IF DETAILS DIFFER ON THE DRAWINGS, THE MOST STRINGENT SHALL GOVERN.
8. ALL TEMPORARY WORKS INCLUDING SHORING ARE TO BE PROVIDED BY THE CONTRACTOR.

010001 DESIGN NOTES

1. THE BUILDING IS DESIGNATED AS BELONGING TO THE NORMAL IMPORTANCE CATEGORY, AS DEFINED IN THE OBC 2012.
2. ALL REINFORCED CONCRETE ELEMENTS HAVE BEEN DESIGNED IN ACCORDANCE WITH CSA STANDARD A23.3.
3. ALL STRUCTURAL TIMBER ELEMENTS HAVE BEEN DESIGNED IN ACCORDANCE WITH CSA STANDARD O86.
4. LATERAL FORCES ON STRUCTURAL FRAME
 - a) THE LATERAL FORCES ARE RESISTED BY THE SHEAR WALLS.
 - b) THE FRAME IS NOT STABLE UNTIL THE LATERAL LOAD RESISTING SYSTEM IS IN PLACE.
 - c) WIND:
 - i. THE DESIGN OF THE STRUCTURE FOR WIND IS BASED ON AN HOURLY WIND PRESSURE OF 0.44 kPa (BASED ON 1/50 YEAR RETURN).
 - ii. EXPOSURE CONDITION: ROUGH TERRAIN]
 - iii. THE IMPORTANCE FACTOR, I_w , FOR WIND DESIGN IS 1.0. FOR DEFLECTION ANALYSIS, THE FACTOR IS 0.75.
 - iv. THE DESIGN WIND FORCES HAVE BEEN CALCULATED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE 2012 AND WITH THE "STATIC" PROCEDURE DESCRIBED IN THE USER'S GUIDE - NBC 2010 - STRUCTURAL COMMENTARIES (PART 4).
5. SNOW LOADS ON ROOFS
 - a) THE ROOFS HAVE BEEN DESIGNED WITH $S_s = 1.1$ kPa AND $S_r = 0.4$ kPa.
 - b) THE IMPORTANCE FACTOR, I_s , IS 1.0 FOR ULS AND 0.9 FOR SLS.
6. LIVE AND OTHER LOADS
 - a) SEE NOTES BELOW FLOOR PLANS.
 - b) IN THE DESIGN OF COLUMNS, WALLS, BEAMS, FLAT SLABS ETC. THE INDICATED LIVE LOADS HAVE NOT BEEN REDUCED AS PER TRIBUTARY AREA CONSIDERATIONS OF THE ONTARIO BUILDING

CODE.

7. FUTURE EXTENSIONS
 - a) THE STRUCTURE HAS NOT BEEN DESIGNED FOR ANY FUTURE EXTENSIONS.

030000 CONCRETE

1. MATERIALS
 - a) CONCRETE
 - i. CONFORM TO THE REQUIREMENTS OF CSA STANDARD A23.1 (LATEST VERSION) AND THE FOLLOWING FOR STRENGTH, SLUMP, WATER-TO-CEMENTING MATERIALS CONTENT AND AIR CONTENT.
 - ii. FOR NOMINALLY UNREINFORCED CONCRETE; CONFORM TO THE REQUIREMENTS OF CSA STANDARD A438 (LATEST VERSION) AND THE FOLLOWING FOR STRENGTH, SLUMP, WATER-TO-CEMENTING MATERIALS CONTENT AND AIR CONTENT, INCLUDING THE FOLLOWING;
 - CONCRETE STRENGTH 20 MPa, INCREASE TO;
 - 32 MPa FOR GARAGE FLOORS, CARPORT FLOORS AND ALL EXTERIOR FLATWORK.
 - AIR CONTENT OF 5%-8% WHERE EXPOSED TO FREEZE-THAW, REDUCE TO 3%-6% FOR FOOTINGS.
 - MAXIMUM SLUMP OF 100 mm, INCREASE TO 150mm FOR CONVENTIONAL FOUNDATIONS.
 - iii. NOMINAL MAXIMUM SIZE OF AGGREGATE SHALL BE 20 mm. USE SMALLER AGGREGATES AS APPROPRIATE IN AREAS OF CONGESTED REINFORCING STEEL OR TO IMPROVE WORKABILITY. MODIFY MIX DESIGNS TO SUIT.

CATEGORY	DESCRIPTION	EXPOSUR E CLASS PER A23.1	CONCRETE STRENGTH f_c (MPa)	MAX. W/C RATIO	AIR CONTENT ¹	SCOPE
CM 10	PARKING MIX	C-2 ²	32	0.45	5%-8%	SLAB ON GRADE IN PKG GARAGE, EXPOSED TO DE-ICING CHEMICALS AND/OR TO FREEZE THAW.

1. WHERE AGGREGATES SMALLER THAN 14 mm ARE USED, INCREASE AIR CONTENT BY 1%
2. REINFORCED CONCRETE EXPOSED TO DE-ICING CHEMICALS TO HAVE DCI CORROSION INHIBITOR @ 11L/cu.m. DOSAGE OR APPROVED EQUIVALENT
3. MAX. 25kg CEMENT/cu.m.

- a) REINFORCEMENT:
 - i. CONFORM TO THE REQUIREMENTS OF CSA STANDARD G30 SERIES.
 - ii. REINFORCING BARS SHALL HAVE A MINIMUM YIELD STRENGTH $f_y = 400$ MPa, AND WELDED WIRE FABRIC SHALL HAVE A MINIMUM YIELD STRENGTH OF $f_y = 386$ MPa, SUPPLY IN FLAT SHEETS.
 - iii. WHERE WELDING OF REBAR IS INDICATED, WELDABLE GRADE REBAR SHALL BE USED.
2. EXECUTION
 - a) SLAB ON GRADE
 - i. PLACE SLABS ON GRADE ON MATERIAL CAPABLE OF SUSTAINING 24 kPa WITHOUT SETTLEMENT RELATIVE TO THE BUILDING FOOTINGS.
 - ii. BEFORE PLACING SLAB, PLACE 100 mm OF COARSE CLEAN GRANULAR MATERIAL OVER THE SUBGRADE, CONTAINING NOT MORE THAN 10% OF MATERIAL THAT WILL PASS A 4 mm SIEVE.



				ISSUED FOR PERMIT	DESCRIPTION
			2024-05-23	DATE	
			01	WK	

Checked by	VC	Date	2024-05-22
Drawn by	VC	Scale	NTS
Project #	240276		

Project Name
 335 CARLISLE RD
 DETACHED GARAGE
 Sheet Title
 GENERAL NOTES

S-002

- b) CONCRETE AND REINFORCEMENT
 - i. PROVIDE DOWELS TO WALLS AND COLUMNS SIMILAR IN NUMBER, SIZE, AND SPACING TO THE VERTICAL STEEL IN THE WALL OR COLUMN EXCEPT WHEN NOTED OTHERWISE.
 - ii. CONSTRUCTION JOINTS:
 - HORIZONTAL CONSTRUCTION JOINTS SHALL NOT BE MADE IN BEAMS OR JOISTS, UNLESS SHOWN OR REVIEWED BY THE CONSULTANT.
 - VERTICAL CONSTRUCTION JOINTS MAY BE MADE ONLY AT MID-SPAN OF BEAMS, JOISTS, AND SLABS UNLESS OTHERWISE SHOWN OR DIRECTED AND THEIR LOCATION SHALL BE REVIEWED BY THE CONSULTANT.
 - PROVIDE 38x89 KEYS AT CONSTRUCTION JOINTS UNLESS NOTED OTHERWISE.
 - iii. WELDING OF REBAR SHALL BE DONE IN ACCORDANCE WITH CSA W186.
- c) CONCRETE COVER TO REINFORCEMENT:
 - i. CONFORM TO THE REQUIREMENTS OF CSA STANDARD A23.1 (LATEST VERSION) AND THE FOLLOWING FOR COVER TO REINFORCEMENT (mm):
 - ii. ADDITIONAL COVER REQUIREMENTS AS APPLICABLE:
 - CONCRETE EXPOSED TO CHLORIDES (C-1, C-3) (DOES NOT INCLUDE CONCRETE PROTECTED BY A WATERPROOFING MEMBRANE):
 - 30M BARS AND SMALLER: 60mm
 - EXPOSED TO EARTH OR WEATHER (F-1, F-2)
 - 25M AND SMALLER: 40mm
- d) WATERSTOPS
 - i. PROVIDE WATERSTOPS AT ALL CONCRETE JOINTS MORE THAN 600 MM BELOW GRADE.

060000 WOOD

- 1. MATERIALS
 - a) SAWN LUMBER
 - i. CONFORM TO THE REQUIREMENTS OF CSA-O141
 - ii. SPECIES - SPRUCE-PINE-FIR
 - iii. GRADE - [No.1/No.2]
 - b) PLYWOOD SHEATHING
 - i. CONFORM TO THE REQUIREMENTS OF CSA O121 AND CSA O151
 - ii. FLOOR AND ROOF SHEATHING TO BE TONGUE AND GROOVE.
 - c) CONNECTIONS
 - i. ALL WOOD TO WOOD CONNECTIONS OR WOOD TO STEEL CONNECTIONS, UNLESS OTHERWISE NOTED, ARE TO BE THE APPROPRIATE SIMPSON STRONG-TIE HANGER OR APPROVED EQUIVALENT, SIZED FOR THE CONNECTION FORCE AND MEMBER CONFIGURATION INDICATED.
 - ii. NAILS ARE TO BE COMMON STEEL WIRE NAILS CONFORMING TO THE REQUIREMENTS OF ASTM F1667 OR CSA B111. NAILS SHALL HAVE A MINIMUM DIAMETER (CORRESPONDING TO NAIL LENGTH) AS FOLLOWS: 2.87mm (FOR 57mm LONG NAILS); 3.25mm (62mm LONG); 3.66mm (76mm AND 82mm LONG); 4.88mm (102mm LONG).
 - iii. WOOD SCREWS ARE TO CONFORM TO THE REQUIREMENTS OF ASTM B18.6.1. REFER TO CSA O86 FOR DIAMETER AND MINIMUM YIELD STRENGTH INFORMATION.
 - iv. BOLTS, NUTS AND WASHERS: ASTM A307 OR SAE J429 GRADE 2.
 - v. UNLESS OTHERWISE APPROVED BY THE CONSULTANT, ALL NAILS ARE TO HAVE FULL ROUND HEADS; CLIPPED HEAD NAILS ARE NOT ACCEPTABLE. NAILS ARE TO BE DRIVEN FLUSH; DO NOT

- OVERDRIVE NAILS.
- vi. HOLD DOWNS SHALL BE INSTALLED IN DOUBLE STUDS AT THE END OF THE SHEARWALL UNLESS NOTED OTHERWISE. SHOULD THE HOLD DOWN BE LOCATED INWARD FROM THE WALL END DUE TO FIELD CONDITIONS, THE SHEATHING SHALL BE NAILED TO THE DOUBLE STUDS CARRYING THE HOLD DOWN WITH EDGE NAIL SPACING.

2. EXECUTION

- a) PROTECT ALL WOOD PRODUCTS FROM DAMAGE AND STAINING DUE TO WETTING AND MOISTURE.
- b) PROTECT INSTALLED DECKING AND SHEATHING FROM EXCESSIVE MOISTURE UNTIL FINAL WATERPROOFING IS COMPLETE. ENSURE SURFACES THAT ARE TO RECEIVE FINISHES MEET MANUFACTURERS REQUIREMENTS FOR MAXIMUM MOISTURE CONTENT FOR THE FINISH SPECIFIED.
- c) DIMENSION LUMBER WITH SMALLER NOMINAL DIMENSION OF 2 INCHES ("2-BY- ") PRESERVATIVE TREATED FOR EXTERIOR APPLICATIONS SHALL NOT BE INCISED. IF INCISED LUMBER IS TO BE USED, CONFIRM MEMBER SIZES WITH THE ENGINEER PRIOR TO CONSTRUCTION.
- d) ALL JOISTS, LINTELS AND BUILT-UP BEAMS COMPRISED OF "2-BY- " SAWN LUMBER MUST BEAR FULLY 38mm MINIMUM ON THE SUPPORT SURFACE. IF HANGERS ARE USED, THEY MUST ADEQUATELY SUPPORT THE FULL SHEAR CAPACITY OF THE MEMBER, UNLESS NOTED OTHERWISE.
- e) PROVIDE SIMPSON STRONG-TIE CONNECTORS OR EQUIVALENT AT ALL JOIST TO JOIST, JOIST TO BEAM, AND BEAM TO POST CONNECTIONS UNLESS NOTED OTHERWISE.
- f) NAIL ALL OTHER FRAMING IN ACCORDANCE WITH OBC CLAUSE 9.23.3 AND OBC TABLE 9.23.3.4.

310000 FOUNDATIONS

- 1. FOUND ALL FOOTINGS ON NATURALLY CONSOLIDATED UNDISTURBED SOIL CAPABLE OF SAFELY SUSTAINING AN ULTIMATE BEARING VALUE OF 150 kPa ULS BEARING CAPACITY AND AN ALLOWABLE BEARING VALUE OF 100 kPa SLS BEARING CAPACITY.
- 2. THE LINE OF SLOPE BETWEEN ADJACENT FOOTINGS OR EXCAVATIONS OR ALONG STEPPED FOOTINGS SHALL NOT EXCEED A RISE OF 7 IN A RUN OF 10. AT STEPS CONSTRUCT LOWER FOOTINGS PRIOR TO CONSTRUCTING HIGHER FOOTINGS.



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ISSUED FOR PERMIT	DATE	DESCRIPTION
01	2024-05-22	MK

Drawn by	VC	Date	2024-05-22
Checked by	VC	Scale	NTS
		Project #	240276

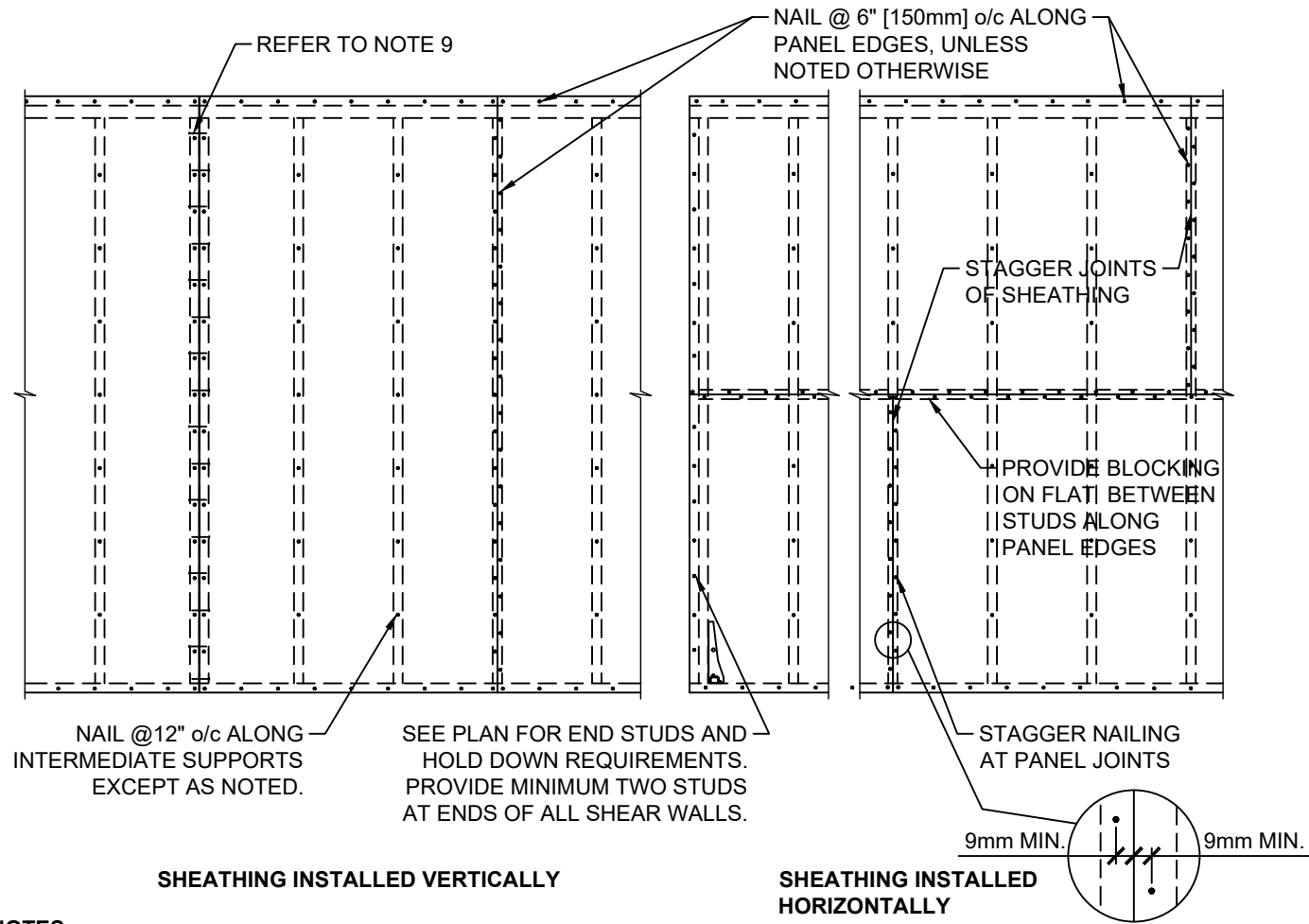
Project Name
335 CARLISLE RD
DETACHED GARAGE

Sheet Title
TYPICAL DETAILS

S-003

WOOD FRAMED SHEAR WALLS

TD0630

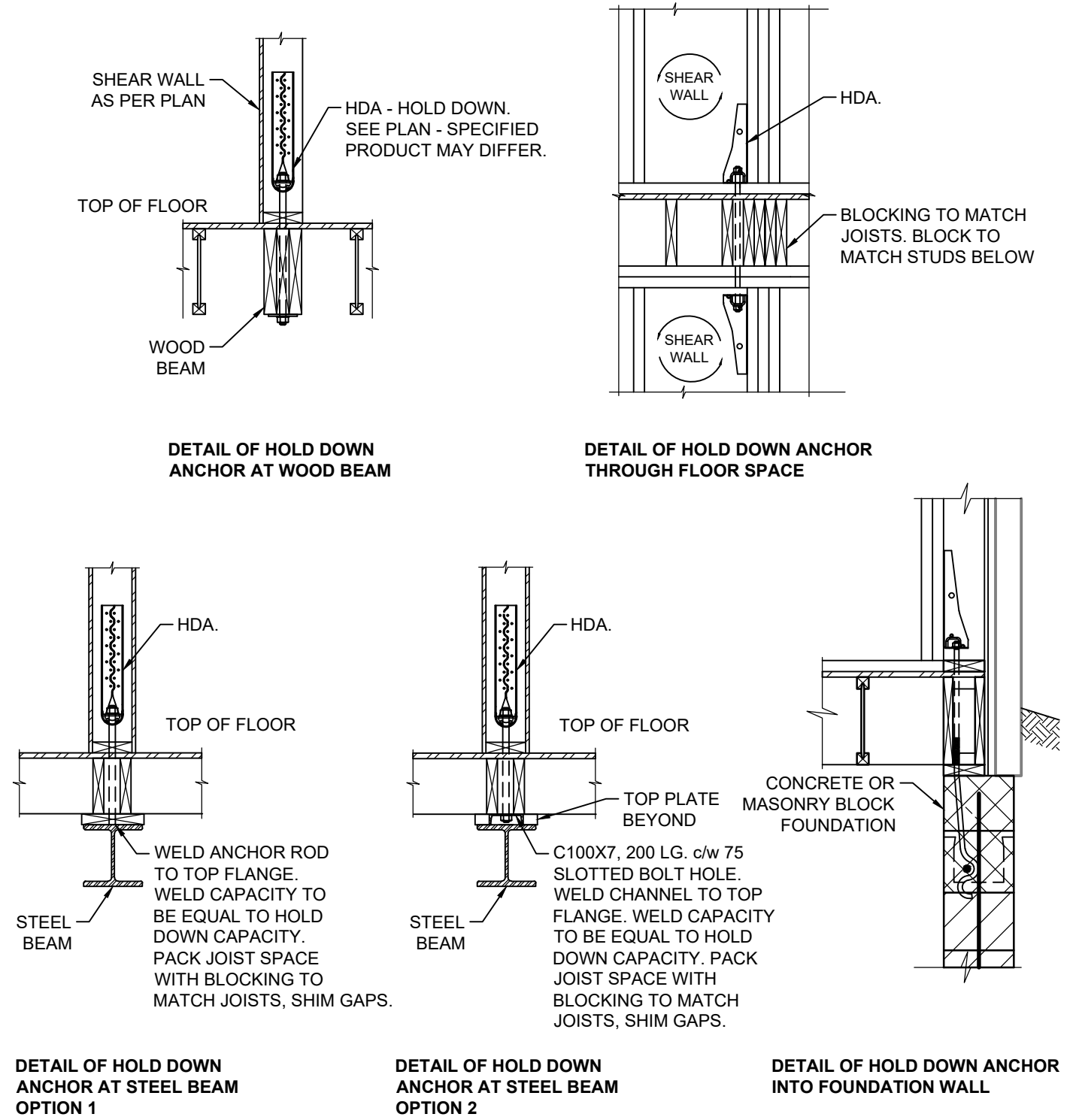


- NOTES:**
- ALL PANEL EDGES ARE TO BE BACKED WITH MINIMUM 1 1/2" [38] WIDE FRAMING MEMBERS.
 - SHEATHING IS TO BE PLYWOOD, OSB, OR WAFERBOARD. CONFORM TO CSA O121 FOR DOUGLAS FIR PLYWOOD, OR CSA O151 FOR CANADIAN SOFTWOOD PLYWOOD. CONFORM TO CSA O437 OR CSA O452 FOR OSB AND WAFERBOARD. PANELS ARE TO BE 1200x2400 [4'x8'] OR LARGER EXCEPT WHERE SMALLER SHEETS ARE NEEDED NEAR BOUNDARIES.
 - UNLESS NOTED OTHERWISE ON THE DRAWINGS, ALL SHEAR WALLS ARE TO BE SHEATHED WITH MINIMUM 11mm [7/16"] THICK SHEATHING ON ONE SIDE, NAILED IN ACCORDANCE WITH THE PATTERNS SHOWN ABOVE.
 - | SHEATHING THICKNESS | NAIL LENGTH | NAIL DIA. (MIN.) |
|--------------------------|-------------|------------------|
| 11mm [7/16"] | 2 1/2" | 3.25mm [0.128"] |
| 12.5mm [1/2"] OR GREATER | 3" U/N | 3.66mm [0.144"] |

NOTE: REDUCE NAIL SPACING BY 1/3 IF USING 3.05mm (0.120") DIAMETER, POWER-DRIVEN NAILS. i.e. REDUCE SPACING TO 100mm o/c AROUND PANEL EDGES.
 - CLIPPED HEAD NAILS ARE NOT PERMITTED; NAILS MUST HAVE CONCENTRIC, FULL ROUND HEADS.
 - NAIL HEADS ARE TO BE DRIVEN FLUSH WITH FACE OF SHEATHING. DO NOT OVER-DRIVE NAILS MORE THAN 15% OF THE THICKNESS OF THE SHEATHING.
 - INTERMEDIATE NAILING IS TO BE AT 12" [300] o/c (AS SHOWN).
 - NAILS ARE TO BE SPACED NO CLOSER THAN 9mm TO PANEL EDGES.
 - WHERE PANELIZED WALLS WITH PRE-INSTALLED SHEATHING ARE USED, AND WHERE THE SHEATHING DOES NOT OVERLAP AND IS NOT NAILED TO ADJACENT PANELS, PROVIDE EQUIVALENT NAIL SIZE AND SPACING BETWEEN STUDS OF ADJACENT PANELS AS IS USED AROUND PANEL PERIMETER TO ENSURE CONTINUITY OF SHEARWALL.

SHEAR WALL - HOLD DOWN DETAILS

TD0631



S-201

Project Name
335 CARLISLE RD
DETACHED GARAGE
Sheet Title
SECTION DETAILS
(TACBOC)

Checked by
VC
Scale
NTS
Project #
240276

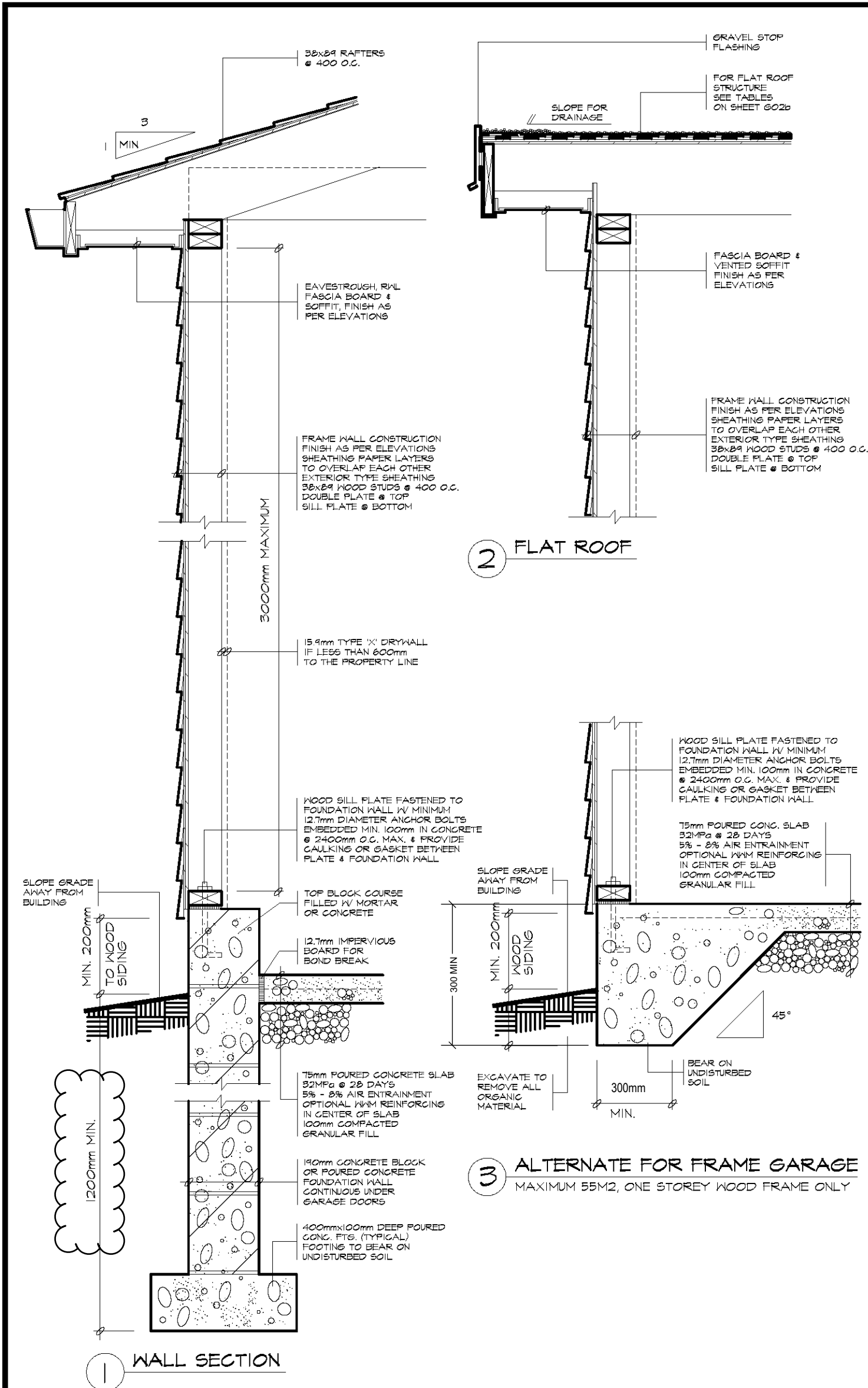
Drawn by
VC
Date
2024-05-22

01	2024-05-23	ISSUED FOR PERMIT
MK	DATE	DESCRIPTION



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TACBOC
STANDARD DETAIL

TITLE
DETACHED GARAGE
FRAME DETAILS

DWG. NO.

602c

2007



Hamilton

Committee of Adjustment
City Hall, 5th Floor,
71 Main St. W.,
Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221
Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION
UNDER SECTION 45 OF THE *PLANNING ACT*

1. APPLICANT INFORMATION

	NAME	MAILING ADDRESS	
Registered Owners(s)	Angelo Venturin, Michele Pa <i>PANKRATZ</i> [↑]	[REDACTED]	
Applicant(s)			E-mail:
Agent or Solicitor			Phone:
			E-mail:

1.2 Primary contact

Applicant

Owner
 Agent/Solicitor

1.3 Sign should be sent to

Applicant

Owner
 Agent/Solicitor

1.4 Request for digital copy of sign

Yes* No

If YES, provide email address where sign is to be sent

1.5 All correspondence may be sent by email

Yes* No

If Yes, a valid email must be included for the registered owner(s) AND the Applicant/Agent (if applicable). Only one email address submitted will result in the voiding of this service. This request does not guarantee all correspondence will sent by email.

1.6 Payment type

In person
 Cheque

Credit over phone*

*Must provide number above

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	335 Carlisle Road, Hamilton, ON, L0R 1H1		
Assessment Roll Number			
Former Municipality			
Lot	Part of lot 6	Concession	9
Registered Plan Number	62R-7418	Lot(s)	
Reference Plan Number (s)		Part(s)	1

2.2 Are there any easements or restrictive covenants affecting the subject land?

Yes No

If YES, describe the easement or covenant and its effect:

3. PURPOSE OF THE APPLICATION

Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled

All dimensions in the application form are to be provided in metric units (millimetres, metres, hectares, etc.)

3.1 Nature and extent of relief applied for:

Interior Sideyard Setback Required 3m / Proposed 1.2m (For the proposed garage)

Lot Coverage Permitted 45 sq m / Proposed 66.9 sq m

Second Dwelling Unit

Reconstruction of Existing Dwelling

3.2 Why it is not possible to comply with the provisions of the By-law?

Proposing a Detached Garage in the Rear Yard

3.3 Is this an application 45(2) of the Planning Act.

Yes

No

If yes, please provide an explanation:

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
45.08m	56.41m	2542.96 sq m	8.5 m

4.2 Location of all buildings and structures on or proposed for the subject lands:
(Specify distance from side, rear and front lot lines)

Existing:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Dwelling	14.8 m	30m	24m, 11m	01/01/1890

Proposed:

Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction
Detached Garage	36.27m	10.99m	1.20m	6/1/2025

4.3. Particulars of all buildings and structures on or proposed for the subject lands (attach additional sheets if necessary):

Existing:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Dwelling	102 sq m	176 sq m	2	7.62m

Proposed:

Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height
Detached Garage	66.9 sq m	66.9 sq m	1	4.48m

- 4.4 Type of water supply: (check appropriate box)
- publicly owned and operated piped water system
 - privately owned and operated individual well

- lake or other water body
 - other means (specify)
-

- 4.5 Type of storm drainage: (check appropriate boxes)
- publicly owned and operated storm sewers
 - swales

- ditches
 - other means (specify)
-

4.6 Type of sewage disposal proposed: (check appropriate box)

- publicly owned and operated sanitary sewage
- system privately owned and operated individual
- septic system other means (specify) _____

4.7 Type of access: (check appropriate box)

- provincial highway right of way
- municipal road, seasonally maintained other public road
- municipal road, maintained all year _____

4.8 Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
Single Family Dwelling

4.9 Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
Single Family Dwelling

7 HISTORY OF THE SUBJECT LAND

7.1 Date of acquisition of subject lands:
May 21, 2024

7.2 Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Single Family Dwelling

7.3 Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
Single Family Dwelling

7.4 Length of time the existing uses of the subject property have continued:
Since Built

7.5 What is the existing official plan designation of the subject land?

Rural Hamilton Official Plan designation (if applicable): RURAL SETTLEMENT AREA

Rural Settlement Area: _____

Urban Hamilton Official Plan designation (if applicable) _____

Please provide an explanation of how the application conforms with the Official Plan.

7.6 What is the existing zoning of the subject land? S1

7.8 Has the owner previously applied for relief in respect of the subject property?
(Zoning By-law Amendment or Minor Variance)

- Yes
- No

If yes, please provide the file number: _____

7.9 Is the subject property the subject of a current application for consent under Section 53 of the *Planning Act*?

Yes No

If yes, please provide the file number: _____

8 ADDITIONAL INFORMATION

8.1 Number of Dwelling Units Existing: 1

8.2 Number of Dwelling Units Proposed: 1

8.3 Additional Information (please include separate sheet if needed):

11 COMPLETE APPLICATION REQUIREMENTS

11.1 All Applications

- Application Fee
- Site Sketch
- Complete Application form
- Signatures Sheet

11.4 Other Information Deemed Necessary

- Cover Letter/Planning Justification Report
 - Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance
 - Minimum Distance Separation Formulae (data sheet available upon request)
 - Hydrogeological Assessment
 - Septic Assessment
 - Archeological Assessment
 - Noise Study
 - Parking Study
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