

# Heritage Permit Application Note Sheet

**Address:** 2295 Troy Road, Flamborough (Troy School, Part IV)

**Permit Number:** HP2026-008

**Owner:** Troy Women's Institute c/o Judy Hughes

**Applicant / Agent:** Same as above

## Description of proposed alterations:

- Exterior renovations, including:
  - Replacement in kind of the wood siding with new wood siding or equivalent product in a similar profile and heritage colour;
  - Installation of new fascia, soffits and vents, as needed; and,
  - Installation of new decorative wood paneling in existing areas.

## Reasons for the proposed alterations:

- The existing siding is deteriorating and repair of the existing material is not financially feasible.
- General upgrades are required to meet Building Code requirements and to make the structure more user friendly, including:
  - Removal and replacement of existing door and transom above in the side (east) elevation (non-heritage fabric);
  - Removal and replacement of existing stairs on the side (east) elevation (non-heritage fabric); and
  - Cutting the threshold of the front door and installation of a new door opener for accessibility compliance.
- A Heritage Revitalization Grant application has also been submitted for the proposed scope of work.

## Documentation submitted with application:

- Heritage Permit application form
- Two estimates for the proposed scope of work

## Draft conditions for consideration:

- That the final details of the proposed siding material be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations;
- That any minor changes to the plans and elevations following approval shall be submitted, to the satisfaction and approval of the Director of Planning and Chief Planner, prior to submission as part of any application for a Building Permit and / or the commencement of any alterations; and,
- That implementation / installation of the alteration(s), in accordance with this approval, shall be completed no later than **April 30, 2028**. If the alteration(s) are not completed by **April 30, 2028**, then this approval expires as of that date and no alterations shall be undertaken without a new approval issued by the City of Hamilton.

## Reasons for Designation (Excerpt from By-law No. 95-67-H):

### **Designated Features**

Important to the preservation of the Troy School are all original exterior features including, but not limited to, the original shiplap siding and wooden trim; the tower with its round-headed double window, “rose” window, elaborate pedimented dormer, and its bellcast mansard roof; and the four round-headed windows on the front façade.

## Photographs:



**Figure 1:** Front (south) elevation of 2295 Troy Road showing the central front tower, accessible entrance and steps (Site Visit, 2024)



**Figure 2:** Side (west) elevation of 2295 Troy Road showing the deteriorated wood siding and side gable roof (Site Visit, 2024)



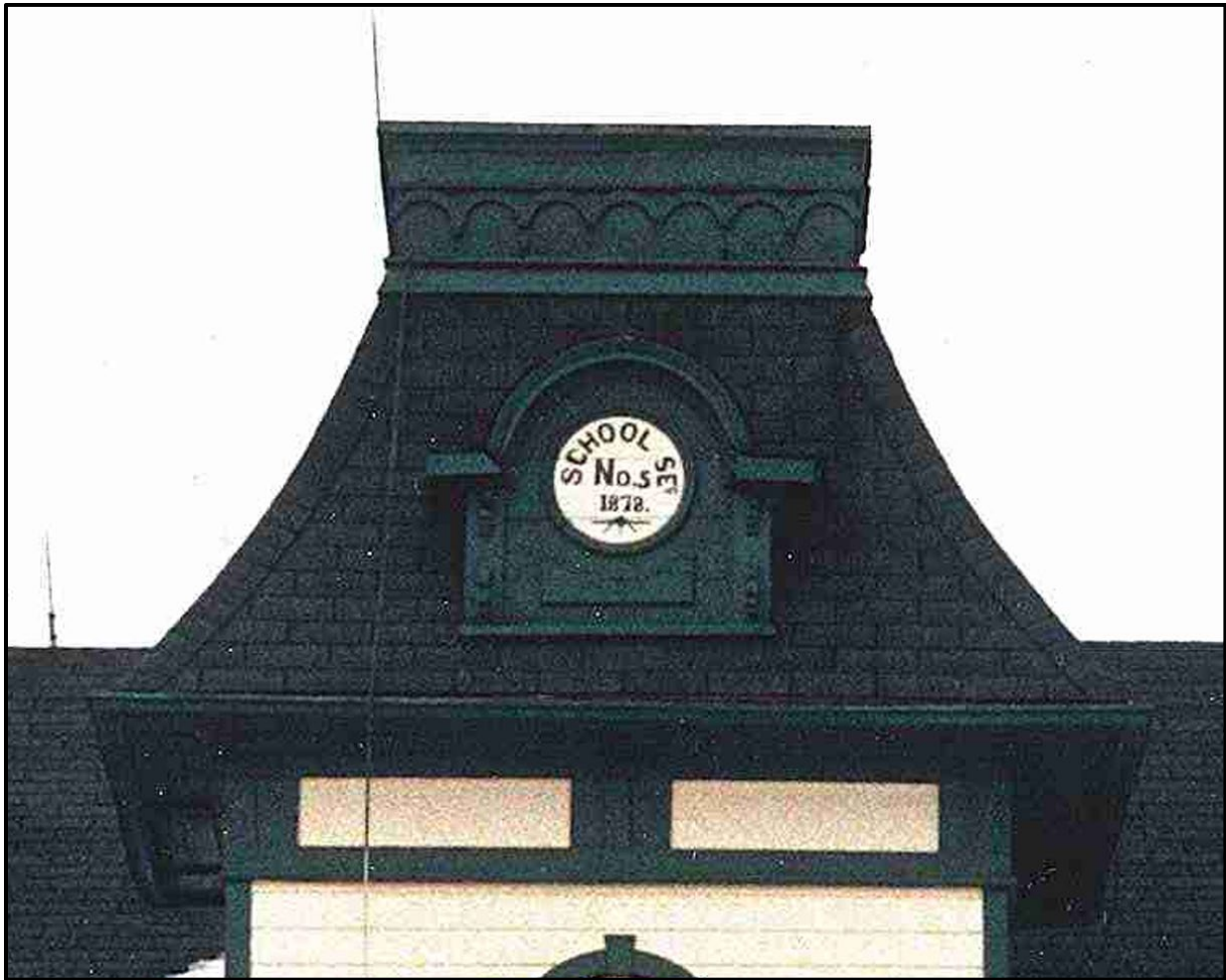
**Figure 3:** Rear (north) elevation of 2295 Troy Road (Site Visit, 2024)



**Figure 4:** Close up of the deteriorated siding to be replaced, including peeling paint and rotting wood (Site Visit, 2024)



**Figure 5:** Close up of proposed profile for new wood siding, natural rabbeted bevel siding, colour to be determined on purchasing, expected to be from a Heritage colour collection.



**Figure 6:** Close up example of the decorative wood paneling at the top of the central tower to be recreated. (City of Hamilton, 1995)



**Figure 7:** Side (east) elevation of 2295 Troy Road, including area outlined in red for the proposed work to replace the staircase and door, which does not impact heritage features and does not require a heritage permit (Site Visit, 2024)