

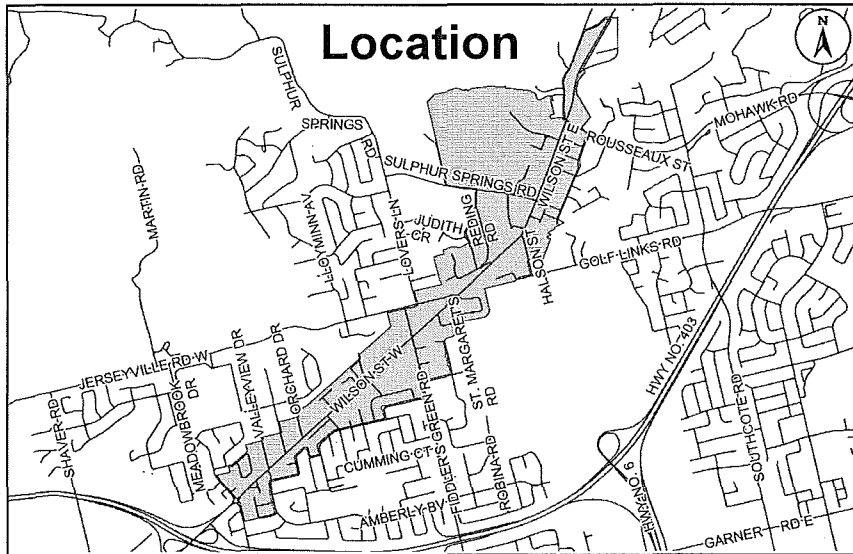
PED12078

Ancaster Wilson Street Secondary Plan

Planning Committee: May 15, 2012

Presented by: Ric Martins

Ancaster Wilson Street Secondary Plan
Planning and Economic Development Department



Legend



Secondary Plan Area - Area Subject to the Official Plan Amendment.



History/Background

- Secondary Plan initiated in late 2010
- First of the Community Nodes identified in OP to be reviewed
- Need to address heritage and character concerns and development opportunities
- Policy direction:
 - Urban Official Plan
 - Ancaster Transportation Master Plan

Ancaster Wilson Street Secondary Plan
Planning and Economic Development Department



Timeline: How We Got Here

- **January 2011:**
 - First PIC
 - Background information
 - Project initiation
- **Winter/Spring:**
 - Establishment of, and meetings with the CLC
 - Consultation with community groups (e.g. ACC, BIA)
 - Development of draft principles
 - SWOT and priorities

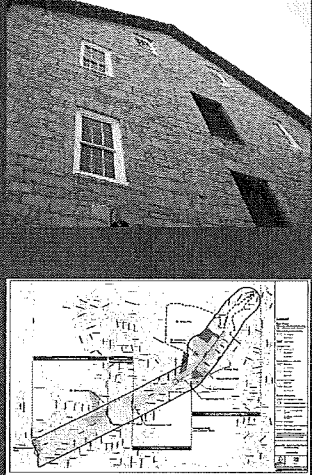


Ancaster Wilson Street Secondary Plan
Planning and Economic Development Department




Timeline: How We Got Here

- **Spring/Summer:**
 - Initiation of design guidelines (e.g. identification of character areas etc.)
 - Heritage feature assessment
 - Employment survey
 - Comparison of policy
 - Refinement of character areas
- **Fall:**
 - Refinement of design guidelines
 - Development of land use options
 - PIC 2 (e.g. review of options, comments, etc.)
 - Policy development



Ancaster Wilson Street Secondary Plan
Planning and Economic Development Department



Secondary Plan Issues

- Preservation of heritage and character
- Transportation
- Urban design
- Pedestrian movement and amenities
- Management of growth and development
- Conformity with policy direction

Ancaster Wilson Street Secondary Plan
Planning and Economic Development Department



Draft Secondary Plan: Contents

Ancaster Wilson Street Secondary Plan
Planning and Economic Development Department



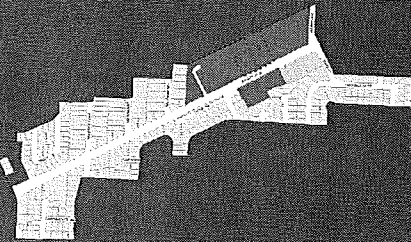
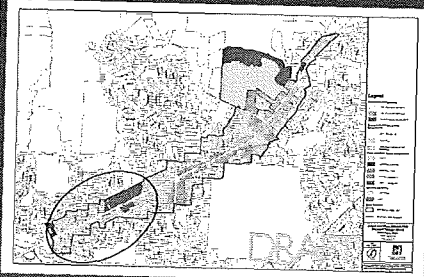
Approach and Assumptions

- Written in context of Urban Hamilton Official Plan
 - Version also created for former Town of Ancaster OP
- Limited intensification potential
 - Allow more opportunity for employment
- Balance between various needs
- Maintaining quality urban form and protection of heritage and character features
- Community Node is a portion of the overall Secondary Plan

Ancaster Wilson Street Secondary Plan
Planning and Economic Development Department



Gateway Residential Area

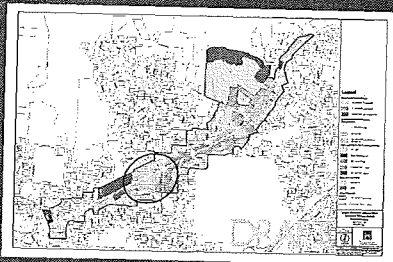


Ancaster Wilson Street Secondary Plan
Planning and Economic Development Department



- **Key Points:**
 - Mostly stable low density residential area
 - Medium density residential and Mixed Use Medium offers wider range of uses
- **Designations:** Low Density Residential 1; Medium Density Residential 2; Neighbourhood Park; Mixed Use-Medium Density; Institutional
- **Height:** up to 3 storeys
- **Scale:** 1-20 uph (Low Density Residential 1); 60-75 uph (Medium Density Residential 2)

Uptown Core

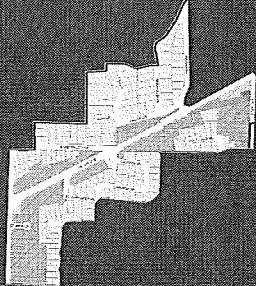
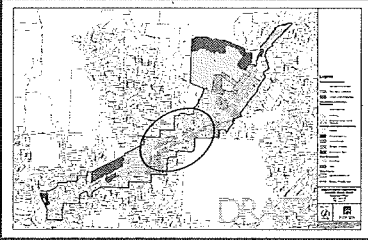


Ancaster Wilson Street Secondary Plan
Planning and Economic Development Department




- **Key Points:**
 - One of two Mixed Use Commercial Areas
 - Low Density Residential 3 allows a wider range of residential and commercial uses (excluding retail) for priorities fronting onto main roads (Wilson St. Fiddlers Green Rd.)
 - Opportunities for expanded employment and mixed use
- **Designations:** Low Density Residential 1; Low Density Residential 3; Mixed Use-Medium Density; Institutional
- **Height:** up to 3 storeys
- **Scale:** 1-20 uph (Low Density Residential 1); 20-60 uph (Low Density Residential 3)

Transition Area

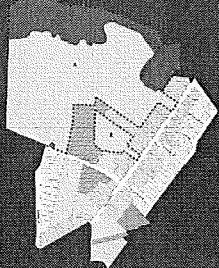
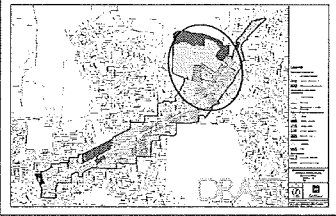


- **Key Points:**
 - Links Uptown Core to Village Core
 - Mostly stable low density residential (interior neighbourhood area)
 - Uses along Wilson Street transition between two retail focused areas
 - Non retail commercial uses (e.g. office) and residential uses
- **Designations:** Low Density Residential 1; Low Density Residential 3; Mixed Use-Medium Density and Local Commercial; General Open Space
- **Height:** up to 3 storeys
- **Scale:** 20-60 uph (Low Density Residential 3); 60-75 uph (Medium Density Residential)

Ancaster Wilson Street Secondary Plan
Planning and Economic Development Department




Village Core

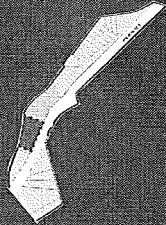
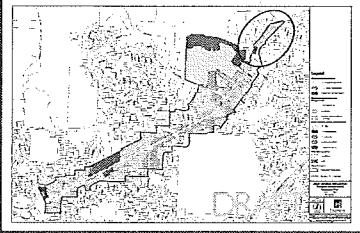


- **Key Points:**
 - Traditional downtown of Ancaster
 - Highest concentration of heritage features
 - Mixture of commercial, institutional and residential uses
 - Commercial and retail uses along Wilson St.
 - Stable residential neighbourhood areas
- **Designations:** Low Density Residential 1; Low Density Residential 3; Mixed Use Medium Density – Pedestrian Predominant; Institutional; General and Natural Open Space; Community Park; Utilities
- **Height:** up to 3 storeys; 2.5 storeys (Pedestrian Predominant)
- **Scale:** 20-60 uph (Low Density Residential 3); 60-75 uph (Medium Density Residential)

Ancaster Wilson Street Secondary Plan
Planning and Economic Development Department




Escarpment Area



- **Key Points:**
 - Forms a gateway into Secondary Plan area
 - Area is mainly low density residential homes
- **Designations:** Low Density Residential 1; Mixed Use-Medium Density; Natural Open Space
- **Height:** up to 3 storeys
- **Scale:** 1-20 uph (Low Density Residential 1)

Ancaster Wilson Street Secondary Plan
Planning and Economic Development Department

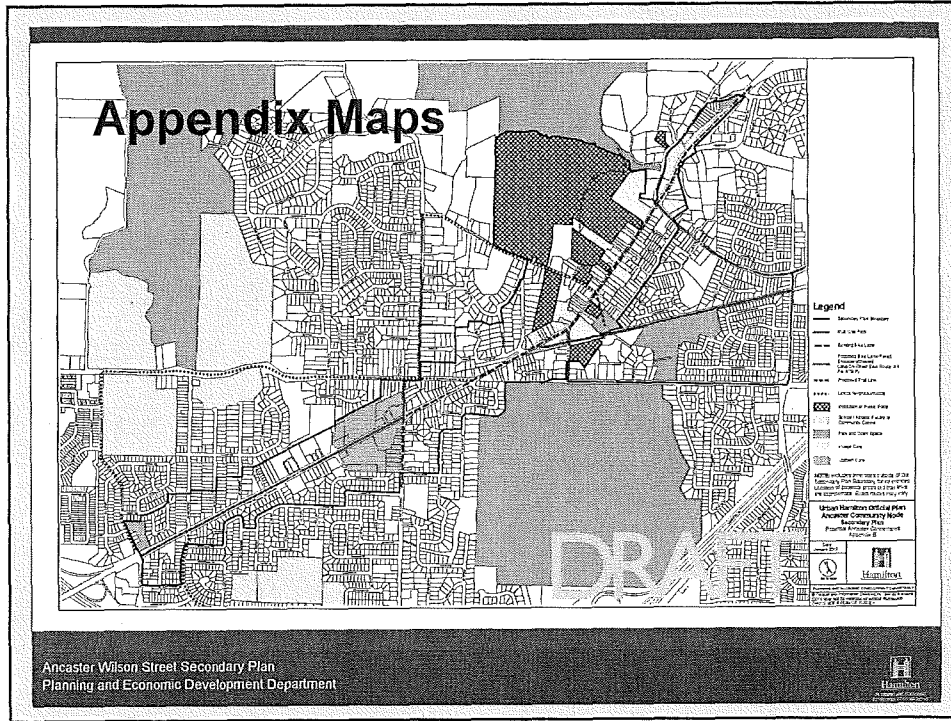


Additional Components

- **Cultural Heritage Policies**
 - Recognize and map existing designated and listed buildings
 - Require new development near heritage buildings to be compatible
- **Transportation**
 - Consistent with recommendations of the Ancaster Transportation Master Plan
- **Urban Design**
 - Ancaster Community Node Design Guidelines
- **Special Policy Areas**
- **Community Node Policies**

Ancaster Wilson Street Secondary Plan
Planning and Economic Development Department

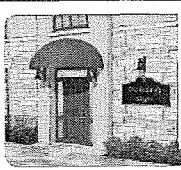





Urban Design Guidelines


- Direction for future development and redevelopment
- Direction for both buildings and at site level
- Maintain character of the area
- Provides consistency across the Secondary Plan area

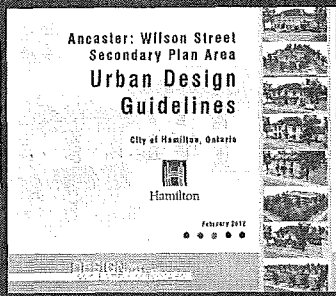
Typology 1

Key Design Guidelines:

- 2 1/2 storeys
- Stone, brick, stucco
- Balanced facade
- Parallel to street
- Strong relationship to street





WILSON STREET, ANCASTER

Ancaster Wilson Street Secondary Plan
Planning and Economic Development Department

Hamilton
City of Hamilton, Ontario

New Vs. Old Plan

- More design focus
- More direction on types of uses for specific areas
- More focus on creating overall complete node community
- More protection of established neighbourhoods

Ancaster Wilson Street Secondary Plan
Planning and Economic Development Department



Thank You

