



CITY OF HAMILTON

**PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT
Planning Division**

TO: Chair and Members Planning Committee	WARD AFFECTED: WARD 12
COMMITTEE DATE: December 3, 2013	
SUBJECT/REPORT NO: Proposed Zoning By-law Amendment for 307 and 325 Fiddler's Green Road (Ancaster) (PED13183) (Ward 12)	
SUBMITTED BY: Joe-Anne Priel Acting General Manager Planning and Economic Development Department	PREPARED BY: Cam Thomas (905) 546-2424 Ext. 4229
SIGNATURE:	

RECOMMENDATION

That approval be given to **Amended Zoning Application ZAC-12-021, by Highgate Holdings, Owner**, for a change in zoning from the Community Institutional "I2" Zone, and the Existing Residential "ER" Zone to the Community Institutional (I2, 457) Zone, to permit the expansion of an existing Retirement Home, on lands known as 307 and 325 Fiddler's Green Road, in the former Town of Ancaster, shown as Blocks 1 and 2 on Appendix "A" to Report PED13183, on the following basis:

- (a) That the Draft By-law, attached as Appendix "C" to Report PED13183, which has been prepared in a form satisfactory to the City Solicitor, be enacted by Council;
- (b) That the amending By-law be added to Map 1 to Schedule "B" of Zoning By-law No. 87-57;
- (c) That the proposed changes in zoning conform to the Places to Grow Growth Plan, and is consistent with the Provincial Policy Statement (PPS);

- (d) That the proposed changes in zoning are in conformity with the Urban Hamilton Official Plan.

EXECUTIVE SUMMARY

The purpose of the application is to amend the Ancaster Zoning By-law to permit the expansion of the Highgate Retirement Home to accommodate 100 suites for up to 120 residents (see Appendix "A") for lands located at 307 and 325 Fiddler's Green Road (Ancaster).

The proposal has merit and can be supported, as it is consistent with the PPS, conforms to the Places to Grow Growth Plan, both of which encourage intensification and a range of housing options in the built up area. The proposal employs good urban design to create an attractive streetscape, as supported in the Urban Hamilton Official Plan. Furthermore, the proposal would meet the City's residential intensification policies. The proposed development would be compatible with the existing low density development of the surrounding area.

Public concerns include, but are not limited to, nuisance issues, parking, increased traffic, and servicing. These issues are addressed in this Planning Report.

Alternatives for Consideration - See Page 29.

FINANCIAL / STAFFING / LEGAL IMPLICATIONS

Financial: N/A

Staffing: N/A

Legal: As required by the Planning Act, Council shall hold at least one (1) Public Meeting to consider an application for a Zoning By-law Amendment.

HISTORICAL BACKGROUND

Chronology:

November 30, 2011: Development Review Committee Meeting for Formal Consultation FC-11-127 for 307 and 325 Fiddler's Green Road (Ancaster).

June 1, 2012: Submission of Application ZAC-12-021 by Glenn Wellings, Planning Consultant.

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- July 27, 2012: Application ZAC-12-021 is deemed complete.
- July 27, 2012: Circulation of Notice of Complete Applications and Preliminary Circulation for Application ZAC-12-21 to all property owners within 120m of the subject lands.
- October 1, 2012: Ancaster Advisory Committee Meeting #1.
- March 1, 2013: Submission of revised development proposal.
- May 6, 2013: Ancaster Advisory Committee Meeting #2.
- June 13, 2013: Applicant's "Open House".
- November 15, 2013: Circulation of Notice of Public Meeting to all residents within 120m of the subject lands.

Background:

The subject property is located on the easterly side of Fiddler's Green Road, approximately 0.5 kilometres north of Highway 403, and is comprised of 2 abutting lots, which are municipally known as 307 and 325 Fiddler's Green Road (see Appendix "A"). The property known as 307 Fiddler's Green has been occupied by the Highgate Retirement Home since 1999. The existing Retirement Home is comprised of a 2-storey wing, which is located near the easterly property boundary, and a 1-storey wing, which is centrally located. The Retirement Home is occupied by 50 residents, with 15 staff, and has a gross floor area of 797.8 sq. m. The Retirement Home is served by a driveway entrance that abuts the southerly side of 325 Fiddler's Green Road, and has a parking area for 30 parking spaces located north of the building.

The property known as 325 Fiddler's Green Road is situated to the north of the Highgate Retirement Home and contains a vacant 1-storey brick dwelling. The properties have been merged under common title for the purpose of expanding the Retirement Home and, collectively, comprise a lot area of 0.98 ha. (2.43 ac.) and 59.7 m. of frontage.

For information purposes only, 307 Fiddler's Green Road was previously designated Special Policy Area (SPA) No. 19. SPA No. 19 was approved in 1988, to permit a retirement residence. SPA No. 19 did not establish any maximum cap on the number of residents. The portion of the property known as 325 Fiddler's Green Road was designated "Residential" in the former Ancaster Official Plan.

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Proposed Zoning By-law Amendment:

The proposed development, as revised, is for a Zoning By-law Amendment to allow for the expansion of the Highgate Retirement Home, involving both properties.

A "Retirement Home" is defined in By-law No. 05-200 as '*a multiple dwelling where all dwelling units do not contain full kitchens, but where the building provides communal facilities such as kitchen/dining facilities, laundry facilities, lounges, and where the residents are supervised in their daily activities. A Retirement Home may be licensed by the municipality, and shall not be considered a long term care facility, emergency shelter, lodging house, residential care facility, or any other facility which is licensed, approved, or regulated, under any general or Special Act.*'

The proposed expansion would involve the retention of the easterly wing and the development of new central and westerly additions to replace the existing central wing (see Appendix "C" - Revised Concept Plan). The proposed additions would have a gross floor area of 1,872 sq. m., and would be 3-storeys in height (see Appendix "D" - Proposed Building Elevations). The proposed addition would be located on both properties. The proposed expanded Retirement Home is being designed to accommodate a maximum of 120 residents residing in 100 suites.

The existing driveway entrance is intended to be removed, and a new driveway is proposed on the northerly part of 325 Fiddler's Green Road. The revised parking area would consist of 55 parking spaces, which would be located north of the expanded building. In the revised plan, a 6.5m - 6.8m wide landscape buffer is proposed along the northerly property boundary, and a 3m wide landscape buffer is proposed along the easterly property boundary for the proposed parking area. The proposed setbacks for the building addition would be 18m from Fiddler's Green Road for the front yard, 7.5m for the southerly side yard, and 23.8m from the northerly side yard.

The subject property is currently under two Zoning By-laws:

- By-law No. 05-200 (New City of Hamilton Zoning By-law) applies to the existing Retirement Home at 307 Fiddler's Green Road, which has zoned the property Community Institutional "I2" Zone; and,
- By-law No. 87-57 (Ancaster Zoning By-law) applies to 325 Fiddler's Green Road, which has zoned the property Existing Residential "ER" Zone.

The applicant is proposing to amend the existing zoning for both parcels in order to establish a Community Institutional "I2" Zone, with several special modifications. A special modification would be required in the amending zoning in order to permit the maximum capacity of the proposed Retirement Home to be increased to 120 residents and 100 suites, whereas a maximum of 50 residents is currently permitted in the "I2"

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Zone. The proposed increase will provide accommodation for both married couples (20 suites) and single persons (80 suites).

The proposed development is intended to maintain or exceed the existing "I2" Zone requirements, as follows:

- Minimum Northerly Side Yard: 23.9 m. (instead of 6 m.);
- Minimum Southerly Side Yard: 7.5 m. (instead of 6 m.);
- Minimum Front Yard: 18 m. (instead of 3 m.);
- Minimum Rear Yard: 12 m. (consistent with "I2" Zone);
- Minimum Parking: 55 parking spaces (instead of minimum 40 spaces);
- Minimum Landscaped Area: To require 51.5% of the property to be landscaped (instead of the minimum required 10%).

Details of Submitted Application:

Owner: Christoff Summer

Applicant: Glenn Wellings, Planning Consultant

Location: 307 and 325 Fiddler's Green Road (Ancaster) (see Schedule "A")

Property Size:

<u>Frontage:</u>	109.6 m.
325 Fiddler's Green Road:	59.7 m.
307 Fiddler's Green Road:	49.9 m.
<u>Depth:</u>	
325 Fiddler's Green Road:	51.9 m.
307 Fiddler's Green Road:	88.9 m.
<u>Area:</u>	0.96 ha.
325 Fiddler's Green Road:	0.31 ha.
307 Fiddler's Green Road:	0.65 ha.

EXISTING LAND USE AND ZONING:

	<u>Existing Land Use</u>	<u>Existing Zoning</u>
<u>Subject Lands:</u>	Existing Retirement Home at 325 Fiddler's Green Road and a vacant Single Detached Dwelling at 307 Fiddler's Green Road	Community Institutional "I2" Zone (05-200) and Existing Residential "ER" Zone
<u>Surrounding Lands:</u>		
North	Single Detached Dwellings	Existing Residential "ER" Zone
South	Single Detached Dwellings	Existing Residential "ER" Zone
East	Single Detached Dwellings	Existing Residential "ER" Zone
West	Single Detached Dwellings	Residential "R3" Zone and Deferred Development "D" Zone

POLICY IMPLICATIONS/LEGISLATED REQUIREMENTS

Provincial Policy Statement:

The following policies from the PPS are of relevance to the proposed Retirement Home expansion:

- “1.1.1 Healthy, liveable, and safe communities are sustained by:
- a) Promoting efficient development and land use patterns which sustain the financial well being of the Province and municipalities over the long term;
 - b) Accommodating an appropriate range and mix of residential, employment (including industrial, commercial, and institutional uses), recreational, and open space uses to meet long term needs; and,
 - f) Improving accessibility for persons with disabilities and the elderly by removing and/or preventing land use barriers which restrict their full participation in society.”

The proposal is consistent with the PPS because it would allow for efficient development which conserves land, and it would contribute to an expanded range of residential uses to serve the Ancaster community. In particular, the proposal is consistent with Item f) because it would enable older residents who require some assistance to remain within their community.

With respect to Housing, the following policies are also considered to be relevant to this proposal:

“1.4.3 Planning authorities shall provide for an appropriate range of housing types and densities to meet projected requirements of current and future residents of the regional market area by:

b) Permitting and facilitating:

1. All forms of housing required to meet the social, health, and well being requirements of current and future residents; and,
2. All forms of residential intensification and redevelopment, in accordance with Policy 1.1.3.3.

e) Establishing development standards for residential intensification, redevelopment, and new residential development which minimize the cost of housing and facilitate compact form, while maintaining appropriate levels of public health and safety.”

In addition, the PPS provides the following definition for Special Needs:

“Special Needs means any housing, including dedicated facilities, in whole or in part, that is used by people who have specific needs beyond economic needs, including but not limited to, needs such as mobility requirements or support functions required for daily living. Examples of special needs housing may include, but are not limited to, housing for persons with disabilities such as physical, sensory, or mental health disabilities, and housing for the elderly.”

The proposed expansion of a Retirement Home is consistent with the policy direction of the PPS to accommodate a wide range of housing options and to promote housing for the elderly and persons with disabilities.

Based on the foregoing, the proposal is consistent with the PPS.

Places to Grow:

The following policies from the Places to Grow Growth Plan apply to the proposed development with respect to managing growth and facilitating intensification.

“2.2.2.1 Population and employment growth will be accommodated by:

- a) Directing a significant portion of new growth to the built-up areas of the community through intensification;
- d) Encouraging cities and towns to develop as complete communities with a diverse mix of land uses, a range and mix of employment and housing types, high quality public open space, and easy access to local stores and services;

2.2.3.6 All municipalities will develop and implement through their Official Plans and other supporting documents, a strategy and policies to phase in and achieve intensification and the intensification target. This strategy and policies will:

- a) Encourage intensification generally throughout the built-up area;
- c) Recognize urban growth centres, intensification corridors, and major transit station areas as a key focus for development to accommodate intensification;
- d) Identify the appropriate type and scale of development in intensification areas; and,
- i) Plan for a range and mix of housing, taking into account affordable housing needs.”

The proposed expansion of the existing Retirement Home would conform to the direction of Policy 2.2.2.1 to encourage intensification within the built-up area and to promote the development of complete communities to serve a range of housing types and needs. The proposal also conforms to the direction of Policy 2.2.3.6 to encourage intensification through strategies that encourage intensification, and the provision of housing that will serve specific components of the population including seniors, persons on fixed incomes, and special needs.

Based on the foregoing, the proposal is consistent with the Provincial Growth Plan.

Hamilton Urban Official Plan:

The Ontario Municipal Board issued the decision on August 16, 2013, to declare the Hamilton Urban Official Plan to be in force and effect, with the exception of the policies, schedules, and maps, which remain under appeal. All land use designations, for example, are now in force and effect, as these were not under appeal. Several of the policies which are provided in the discussion below are under appeal, and are noted for information purposes only.

The subject property is designated “Neighbourhoods” in the Urban Hamilton Official Plan. The proposed Retirement Home expansion is recognized as a broad form of supportive housing that is termed “housing with supports.”

Housing with Supports, as defined in the Urban Hamilton Official Plan, means public, private, or non-profit owned housing with some form of support component, beyond economic support, intended or people who need support services to live independently in the community, where providers receive funding for support services. The tenure may be long term. Housing with supports includes special needs housing, as defined by the PPS (2005).

The following policies apply to the City’s Urban Structure and are considered relevant to this application:

- “E. 2.6.4 The Neighbourhoods element of the urban structure shall permit and provide the opportunity for a full range of housing forms, types, and tenure, including affordable housing and housing with supports.

- E.3.2.3 The following uses shall be permitted on lands designated “Neighbourhoods” on Schedule E-1 - Urban Land Use Designations:
 - a) Residential dwellings, including second dwelling units and housing with supports.”

Comment:

As noted, the Urban Structure policies, cited above, permit “housing with supports” as part of the full range of housing that is encouraged throughout the City’s urban residential areas. The provision of housing to serve components of the population with specific housing needs, such as the elderly, is recognized in Policy E.2.6.4, and builds upon the direction in Policy 1.4.3 of the PPS and the development of complete communities referenced in Places to Grow. The proposal to expand an existing Retirement Home is, therefore, considered consistent with these policies. Policy E.2.4 will be examined in terms of maintaining neighbourhood character and in satisfying the City’s requirements for residential intensification.

Neighbourhoods Designation – General Policies

- E. 3.2.4 The existing character of established “Neighbourhoods” designated areas shall be maintained. Residential intensification within these areas shall enhance and be compatible with the scale and character of the existing residential neighbourhood, in accordance with Section B.2.4 - Residential Intensification and other applicable policies of this Plan. **(Under Appeal)**
- E. 3.2.14 New housing with supports shall be permitted within the “Neighbourhoods” designation, in accordance with the locational and design criteria of the residential category to which the density and built form best complies.”

With respect to Policy No. E.3.2.14, the subject property would be considered a multiple dwelling form.

The proposed expansion of the Retirement Home has attributes that are consistent with the design policies for medium-density residential development, provided in Policy Section E.3.5. These relate primarily to:

- The provision of direct access to a minor arterial road (E.3.5.9a);
- The current use, which would be similar in form to a multiple dwelling, which is a permitted use (E.3.5.2); and,
- The provision of a suitably sized site to provide adequate landscaping, amenity features, parking and buffering, and compatibility with existing and future uses (E.3.5.9).

In light of the above, it would also be reasonable to examine the merits of the proposal on the basis of residential intensification, and urban design policies, which examine compatibility, integration, character, and fit.

Residential Intensification:

Residential intensification is defined as: “Intensification of a property, site, or area which results in a net increase in residential units or accommodation and includes:

- e) The conversion or expansion of existing residential buildings to create new residential units or accommodation, including accessory apartments, secondary suites, and rooming houses. (PPS, 2005).”

The residential intensification policies, which are applicable to the proposal, include the following:

“2.4.1.4 Residential intensification developments shall be evaluated based on the following criteria:

- a) The relationship of the proposal to existing neighbourhood character so that it maintains, and where possible, enhances and builds upon desirable established patterns and built form **(Remains Under Appeal)**;
- b) The development’s contribution to maintaining and achieving a range of dwelling types and tenures;
- c) The compatible integration of the development with the surrounding area in terms of use, scale, form, and character. In this regard, the City encourages the use of innovative and creative urban design techniques;
- d) The development’s contribution to achieving the planned urban structure, as described in Section E.2.0 - Urban Structure;
- e) Infrastructure and transportation capacity; and,
- f) The ability of the development to comply with all applicable policies.”

With respect to Item a), it is noted that this matter is under appeal and the application of the policy is therefore informative but not determinative. In principle, however, the proposal would allow for the expansion of a residential use (senior’s housing) within an appropriate location in a residential area. The proposal would maintain the character of the existing front yards by maintaining a generous setback (i.e. 18m) from the street, which would be comparable to that of adjacent properties. The proposal will also maintain much of the existing trees and hedges along the property lines, and will be enhanced by new plant material to maintain the highly landscaped character of the area defined by mature trees and vegetation (see Tree Preservation Plan, Appendix “G”).

With respect to Item b), the proposal would allow for the expansion of seniors housing within an appropriate location and allow for the creation of additional accommodation to serve this growing segment of the population. Presently, there are only three Retirement Homes in Ancaster, which provide approximately 300 rooms. Current demographic information suggests that the older segments of the senior’s population (i.e. 75 - 85 years of age and over 85 years of age) are growing the fastest. More specifically, the 75 - 85 age cohort grew by 50% from 2001 - 2006, and the over 85 age cohort grew by 150%. It is expected that these trends will continue. The proposal would, therefore, provide much needed accommodation for the rapidly growing age cohort.

With respect to Item c), the proposal would provide for the development of an expanded building form, which would be 3-storeys in height. This is considered compatible with the existing low density form of development in this area. In addition, the vertical articulation of the front elevation (facing Fiddler's Green) is broken into smaller components to establish a form which is similar in scale to single family dwellings.

With respect to Item d), the proposal would contribute to the City's planned Urban Structure by providing for the expansion of a permitted residential use (i.e. housing with supports) within the "Neighbourhoods" designation.

With respect to Item e), the proposed expansion is located along an arterial road and is generally not a high traffic generating use. As such, Corridor Management has not required a Traffic Study. Stormwater management would be addressed at the Site Plan Approval stage through the proposal for a dry pond within the front yard of the property.

Item f) applies to the review of other policies noted in the following sections.

"2.4.2.2 When considering an application for a residential intensification development within the "Neighbourhoods" designation, the following matters shall be evaluated:

- a) The matters listed in Policy B.2.4.1.4;
- b) Compatibility with adjacent land uses including matters such as shadowing, overlook, noise, lighting, traffic, and other nuisance effects;
- c) The relationship of the proposed building(s) with the height, massing, and scale of nearby residential buildings;
- d) The consideration of transitions in height and density to adjacent residential buildings;
- e) The relationship of the proposed lot(s) with the lot pattern and configuration within the neighbourhood;
- f) The provision of amenity space and the relationship to existing patterns of private and public amenity space;
- g) The ability to respect and maintain or enhance the streetscape patterns including block lengths, setbacks, and building separations (**Under Appeal**);

- h) The ability to complement the existing functions of the neighbourhood;
- i) The conservation of cultural heritage resources; and,
- j) Infrastructure and transportation capacity and impacts.”

Comments:

As subsections a) and c) were previously discussed, this analysis will focus on the remaining subsections.

COMPATIBILITY (Item b)

It is not anticipated, given the form and location of development, that any nuisance effects would be created. In particular, the proposal would not contribute to overlook or overshadow through the proposed building height or massing because the site is of sufficient size, with relatively low lot coverage and generous setbacks from residential areas. The proposed expansion would be located primarily at the front of the site, separated from neighbouring residential properties. The yards would be well landscaped and include generous planting strips along the property lines to maximize privacy. Lighting would be addressed at the Site Plan Approval stage, and would be required to be contained on the site.

The location of the building expansion would not contribute to noise issues for neighbouring dwellings. The driveway entrance and parking area would also be suitably designed to minimize noise impacts away from the abutting neighbour to the north. Loading activities would be out of public view and would not impact neighbouring properties. Traffic issues are unlikely to occur as a result of the proposed expansion because of the proposed surplus of parking, which is 37.5% (15 spaces) above the “I2” Zone requirement to allow for periods in which there may be high numbers of visitors (i.e. Christmas, Easter, etc.). In addition, the owners are agreeable to having special events and celebrations for the residents and families in off-site locations so that spill-over parking does not occur.

TRANSITION (Item d)

The existing 2½-storey building form would be maintained through the retention of the existing Retirement Home along the easterly part of the property. The proposed 3-storey building expansion would be developed centrally on the property and would not affect the neighbours to the east. The end portion of the proposed building expansion would also be located approximately 18m from the neighbouring property to the north. Other minor variations in height would be provided for sections of the west elevation fronting Fiddler’s Green Road to create animation along the streetscape. The use of mansard style roofing along the façade would also reduce the effect of building height.

LOT PATTERNS AND CONFIGURATION (Item e)

The neighbourhood is characterized by a range of lot sizes and configurations. The proposed development would be provided on a larger lot, however, the building would retain a substantial amount of the landscaped area and would have generous setbacks so that the development would maintain consistency with the character of the local area.

AMENITY SPACE (Item f)

The proposal would maintain the amenity areas for the existing portion of the Retirement Home, which is located near the easterly property line, and would allow for the provision of a new central amenity area between the existing and proposed buildings within a courtyard area facing the southerly property line. While the property is not easily accessible to other parks within the area, it would be large enough to provide sufficient amenities on-site. In particular, a walkway would be located around the building elements to provide an area for mobility and outdoor enjoyment (see Appendix "D").

STREETSCAPE (Item g)

This policy section is under appeal. The proposed expansion would respect the existing residential forms by maintaining the same front yard setback. It would also respect the smaller detached residential lots to the east (approximately 7 units) by maintaining the existing building form and parking area close to the easterly property line. It would also respect the neighbouring dwelling to the north by providing a wider buffer (i.e. 6.5m) than what is required for the use under the "I2" Zone.

NEIGHBOURHOOD FUNCTION (Item h)

The proposed additions would allow for an expanded range of housing options within the neighbourhood, enabling older persons to continue to live within the neighbourhood. The proposed expansion to the Retirement Home would be developed in a manner that would contribute to an attractive streetscape and would maintain the building elements and setbacks of the existing low density residential area. The design features include mansard style roofing, dormers, bay windows, and low balconies. This would create an animated and attractive façade that would be easily integrated into the neighbourhood. The preservation of landscaping and greenspace would further contribute to the development of an attractive site that would enhance the local area.

HERITAGE CONSERVATION (Item i)

Not applicable to the proposed expansion.

Urban Design:

The urban design policies, which are applicable to the proposal, include the following:

Goals:

- "B.3.3.1.1 Enhance the sense of community pride and identification by creating and maintaining unique places.
- B.3.3.1.2 Provide and create quality spaces in all public and private development.
- B.3.3.1.5 Ensure that new development is compatible with and enhances the character of the existing environment and locale.
- B.3.3.1.6 Create places that are adaptable and flexible to accommodate future demographic and environmental changes.
- B3.3.1.8 Promote intensification that makes appropriate and innovative use of buildings and sites and is compatible in form and function to the character of existing communities and neighbourhoods."

Staff are satisfied that the proposed expansion would maintain the urban design goals of the City, as noted above. In particular, the proposed building expansion would be compatible with existing housing forms, it would contribute positively to the range of housing within the neighbourhood and community, and it provides for the intensification of an existing use that enhances the surrounding area.

- "E.3.2.7 The City shall require quality urban and architectural design. Development of lands within the "Neighbourhoods" designation shall be designed to be safe, efficient, pedestrian oriented, and attractive, and shall comply with the following criteria:
 - a) New development on large sites shall support a grid system of streets of pedestrian scale, short blocks, street oriented structures, and a safe and attractive public realm.
 - b) Garages, parking areas, and driveways along the public street shall not be dominant. Surface parking between a building and a public street (excluding a public alley) shall be minimized.
 - c) Adequate and direct pedestrian access and linkages to community facilities/services and local commercial uses shall be provided.

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- d) Development shall improve existing landscape features and overall landscape character of the surrounding area.
- e) Development shall comply with Section B.3.3 - Urban Design Policies and all other applicable policies.”

Staff are satisfied that the proposed expansion would provide for the development of an expanded residential form that is based on high quality design and which meets the criteria provided in Policy E.3.2.7. In particular:

- The number of access points on the site is minimized and would be improved with landscaping. In addition, the proposed parking is appropriate for the site to allow for staff and visitor’s parking;
- Walkway connections would be provided around the building to allow for connections to the future sidewalk along Fiddler’s Green Road; and,
- The landscaped character of the existing property would be generally maintained along the perimeter and improved within the front yard along the property boundaries (see Appendix “G”).

“3.3.2.6 Where it has been determined through the policies of this Plan that compatibility with the surrounding areas is desirable, new development and redevelopment should enhance the character of the existing environment by:

- a) Complementing and animating existing surroundings through building design and placement, as well as through placement of pedestrian amenities;
- c) Allowing built form to evolve over time through additions and alterations that are in harmony with existing architectural massing and style;
- d) Complementing the existing massing patterns, rhythm, character, colour, and surrounding context; and,
- e) Encouraging a harmonious and compatible approach to infilling by minimizing the impacts of shadowing and maximizing light to adjacent properties and the public realm.”

With respect to Item a), the proposal will complement neighbourhood character, in that:

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- The front elevation (facing Fiddler's Green) will enhance the streetscape through its rhythm of glazing (windows), materials, and architectural detailing;
- Porches and balconies are proposed along this elevation, promoting interaction between residents and pedestrians; and,
- The site design includes a continuous pedestrian network which extends to Fiddler's Green, where a new municipal sidewalk will be provided

EVOLUTION OF BUILT FORM (Item c)

The proposed expansion represents an evolution of the built form as a result of the demand for additional seniors' accommodation. The original seniors' residence catered to a smaller number of residents. This development is expanding into a larger seniors' residence (i.e. 100 suites with up to 120 residents). The architectural style is in harmony with the existing residences along Fiddler's Green because of the use of design elements which are characteristic of older housing' such as mansard style roofing, bay windows' and dormers.

Items d) and e)

Item d) was discussed above in Items 2.4.1.4 a) and b); and Items 2.4.2.2 e) and g). Item e) was discussed above in Items 2.4.1.4 a) and b); and Items 2.4.2.2 e) and g).

“3.3.3.2 New development shall be designed to minimize impact on neighbouring buildings and public spaces by:

- a) Creating transitions in scale to neighbouring buildings;
- b) Ensuring adequate privacy and sunlight to neighbouring properties; and,
- c) Minimizing the impacts of shadows and wind conditions.”

Concerning the above-noted policies, staff are satisfied that the proposed expansion provides for a suitable transition, as discussed in Policy No. 2.4.2.2d). The proposed development would provide for suitable privacy as noted in Item a) because the proposed building addition would be centrally located on the property, with an orientation to the street. No changes are proposed in proximity to the easterly boundary of the site to affect privacy for the abutting neighbours, as noted in Item b). The use of wide landscape buffers would also protect the neighbour to the north from any impacts due to vehicular noise from the expanded parking area. Finally, impacts from shadows and wind would be minimized by appropriate building setbacks, layout, and height.

“3.3.3.5 Built form shall create comfortable pedestrian environments by:

- a) Locating principal façades and primary building entrances parallel to and as close to the street as possible;
- b) Including ample glazing on ground floors to create visibility to and from the public sidewalk;
- c) Including a quality landscape edge along frontages where buildings are set back from the street;
- d) Locating surface parking to the sides or rear of sites or buildings, where appropriate; and,
- e) Using design techniques, such as building step-backs, to maximize sunlight to pedestrian areas.”

Items a) and c)

The principle façade would be located parallel to Fiddler’s Green Road, and would be setback in a similar manner to abutting properties to allow for a landscaped front yard (see Appendices “C” and “E”). In addition, the setback that is proposed would allow for the development of an on-site area for storm drainage within the landscaped area.

Item e)

The building addition is generally low scale in height (i.e. 3-storeys and 9.4m), and would have an appropriate layout and setbacks to maximize sun exposure. As an alternative to stepbacks, the proposed building design for the addition would provide a tapered roof design to maintain the character of the low density residential area (see Appendices “D” and “E”).

Based on the foregoing, the proposal conforms with the Urban Hamilton Official Plan.

RELEVANT CONSULTATION

The following internal Departments and external agencies had no concerns or objections to the proposed applications:

- Environmental and Sustainable Infrastructure Division, Public Works Department.
- Operations and Waste Management Division, Public Works Department.
- Landscape Architectural Services Section, Public Works Department.
- Hamilton Municipal Parking System.

SUBJECT: Proposed Zoning By-law Amendment for 307 and 325 Fiddler's Green Road (Ancaster) (PED13183) (Ward 12) - Page 19 of 30

- Hamilton Conservation Authority.

Corridor Management Section (Public Works Department):

The design should consider the following design requirements for the Site Plan Approval stage:

- The east driveway must be a minimum 7.5 m. wide at the property line to accommodate two-way traffic; and,
- Minimum 5 m. x 5 m. visibility triangles between the access limits and the ultimate road allowance limits, of which the maximum height of any objects or mature vegetation cannot exceed a height of 0.70 m. above the corresponding perpendicular centreline elevation of the adjacent streets. This will be secured through Site Plan Approval.

Operations and Waste Management Division (Public Works Department):

Waste Management has advised that the proposed molok system would require the services of a private contractor for waste removal, as the City does not have the required equipment to service this type of system.

Forestry and Horticulture Section (Public Works Department):

In the original submission, the Forestry Section identified 2 trees of Heritage diameter on the property (Norway Maples), a Black walnut, ginkgo, and 6 spruce, of less than Heritage diameter, which would be at risk of damage or removal.

Also noted is a 51cm d.b.h Red Oak {Asset 196065}, which was in good condition, which will require a Tree Protection Zone; and a 55 cm. d.b.h Norway Spruce {Asset 196064}, in good condition, which is intended for removal.

As the Ancaster Tree By-law remains in effect, the removal of any private Heritage trees greater than 46 cm. dbh, which would be greater than 7.5 m. from the outer edge of an occupied structure, will require a permit.

A Tree Protection Zone (TPZ) is required for all trees to be retained through a Tree Management Plan. Forestry staff have noted that the creation of a hard surface, which would create runoff, may affect some of the trees.

Infrastructure and Source Water Protection Section (Public Works Department):

The Infrastructure and Source Water Protection Section advises that the existing sanitary system is adequate to accommodate the proposed expanded development.

Transportation Planning Services Section (Public Works Department):

Under the Urban Hamilton Official Plan, a widening is required to establish the 32.004m right-of-way for Fiddler's Green Road. The recommendations of the Ancaster Transportation Master Plan should be followed. Pedestrian amenities (i.e. sidewalks) and transportation demand management (TDM) initiatives, such as cycling facilities, should be considered.

These matters will be secured through Site Plan Approval.

ANALYSIS / RATIONALE FOR RECOMMENDATION

1. The proposal can be supported for the following reasons:
 - (i) It is consistent with the PPS, which supports residential intensification and the provision of a full range of housing opportunities.
 - (ii) It conforms with the Places to Grow Growth Plan, which encourages the development of housing forms within the Built Boundary.
 - (iii) It conforms to the policies in effect for the Urban Hamilton Official Plan.
 - (iv) The proposal would be compatible with existing and planned development in the surrounding area.
2. The proposed Zoning By-law Amendment has been reviewed on the basis of issues which relate to urban design, compatibility, traffic, and servicing. These issues have been discussed extensively in the preceding policy section and also in the section below, and are summarized as follows:

Compatibility:

The proposal would be compatible with surrounding development and is in conformity to the Urban Hamilton Official Plan policies for Residential Intensification, which are discussed in the Planning Policy Section. In addition, the following comments are provided:

- The proposal would provide a generous buffer along the northerly boundary, which would retain most of the existing trees and minimize any impacts from parking and traffic;
- The proposed parking area would be suitably located in the northerly side yard, and the majority of it would not be visible from view of the street;

SUBJECT: Proposed Zoning By-law Amendment for 307 and 325 Fiddler's Green Road (Ancaster) (PED13183) (Ward 12) - Page 21 of 30

- The property is located along a minor arterial road, which is capable of supporting a range of different uses and higher traffic volumes;
- The proposed addition would not contribute to impacts on neighbouring properties such as overview, overshadow, or spill-over lighting. Loading activities and garbage pickup would be provided on-site in locations which are not in view of the street and which would not negatively affect neighbouring dwellings; and,
- The proposed addition would be compatible with the neighbouring residential properties to the east, as there would be only small-scale changes required for parking in this area.

Urban Design:

The proposal is considered to employ good urban design and is in conformity to the Urban Hamilton Official Plan policies for Urban Design, which are discussed in the Planning Policy Section. In addition, the following comments are provided:

- The expanded building would maintain existing setbacks and would provide for an appropriate building height for the surrounding low density residential area;
- The expanded building would provide an attractive built form along the front of the property, which provides design elements that would blend into the existing residential area;
- The development proposes an internal sidewalk around the building, which would allow the residents to remain on the property within safer conditions, recognizing that there are no sidewalks north of the property;
- The development would allow for the retention of much of the existing landscaping along the perimeter of the property to maintain the character of the area and additional landscaping can be provided; and,
- The building with the proposed additions would have a good fit on the property, allowing for generous setbacks and would occupy less than 30% of the entire property.

Traffic and Parking:

The proposal would have adequate parking and traffic based on the following (see also Section 3, below):

SUBJECT: Proposed Zoning By-law Amendment for 307 and 325 Fiddler's Green Road (Ancaster) (PED13183) (Ward 12) - Page 22 of 30

- The use is a low generator of traffic with most of the incoming traffic occurring on weekends;
- With the exception of an isolated incident, there have been no complaints to Municipal Parking concerning parking issues for visitors to Highgate; and,
- The proposed addition would have surplus parking, based on the requirements of By-law No. 05-200 (i.e. 55 spaces, whereas 40 spaces would be required for a retirement home). In addition, the applicant has advised that arrangements are made for special events (i.e. Mother's Day) to provide off-site parking and shuttle service to and from the site in order to avoid parking along Fiddler's Green or on local streets.

Servicing: (See also Section 3, below)

- Servicing issues have been reviewed generally, and would be addressed at the Site Plan Stage to ensure capacity for water and sanitary servicing and the proposed stormwater management facility can be accommodated on the property; and,
- The existing sidewalk, which terminates at 325 Fiddler's Green Road, would also be extended to include the expanded property.

Staff, therefore, are of the opinion that the above noted issues will be secured and achieved through the amending By-law and the subsequent Site Plan Approval.

3. The proposed Retirement Home expansion was the subject of 16 letters from the residents of the surrounding residential area. In addition, a signed Petition in opposition to the application was provided from the residents (see Appendix "J"). The issues that were identified in the letters are with respect to neighbourhood concerns, traffic and parking, nuisance issues, and infrastructure concerns, and are discussed in the section below:

Neighbourhood Concerns:

- (a) Scale of the proposal is too large, including proposed 3-storey building, and will affect character;
- (b) Loss of mature vegetation and greenspace;
- (c) Proposal will promote further intensification of site;
- (d) Impacts of Development on Value of Homes;

- (e) Impact of heavy equipment on road during construction; and,
- (f) Property will have a commercial appearance.

Concerning Items a), c) and f), staff recognizes that the proposal would allow for an intensification of the use on the site and the development of a larger building form on the property. While the expanded Retirement Home achieves a different built form on the property, staff are of the opinion that the proposal would result in an attractive development that would enhance the streetscape of Fiddler's Green Road.

Further expansions would be subject to subsequent Planning approvals, and would need to take into consideration parking, access, and loading requirements, landscaping and stormwater management. The recommended zoning would include special provisions to limit further changes to the site, unless future planning applications are provided. As noted from the policy discussion, the proposed Retirement Home addition would provide a building presence along the frontage of the property that would be complementary to the low density forms of development in the area.

Concerning loss of vegetation, staff would advise that the applicant's revised application would allow for more trees to be protected along the northerly property boundary because of the wider 6.5 m. buffer. In the revised Tree Protection Plan, approximately 50% of the trees on-site will be retained (see Appendix "G") Also, changes to the parking lot design would allow for the retention of additional trees along the easterly boundary. Street trees will be preserved, where possible, through the consideration of permeable paving stone along the portion of the site, which is currently known as 307 Fiddler's Green Road. While some of the interior and front yard landscaping would need to be removed in order to accommodate the development (including the stormwater management pond), enhanced landscaping would be examined at the Site Plan Approval stage.

Concerning property values, there is no evidence to suggest that the proposed development would negatively impact the values of existing detached dwellings. The property would continue to be well maintained and landscaped, and would be subject to Municipal By-laws to ensure that property standards and Parking By-laws are upheld.

Concerning construction impacts, the construction phase would be subject to supervision and on-going municipal inspections, to ensure that there is no damage to surrounding properties and existing infrastructure. As part of the site plan approval process, the City may require the preparation and submission of a construction management plan (CMP) to address all potential construction-related activities. The CMP is to the City's satisfaction and may include required measures

to minimize any potential disruption to the neighbourhood. In the event of damages to the City's road caused by heavy equipment, the owner would be financially responsible for any damages caused.

Traffic and Parking:

- a) On-street parking during events.
- b) Parking on side streets and blocking bike lanes.
- c) Driveway will affect egress for neighbour to the north.
- d) Insufficient parking for expanded use.
- e) Congestion from vehicles entering site.

Concerning parking which has occurred along Fiddler's Green Road as a result of events occurring at the Retirement Home, this appears to have been a single event and subsequent events have not resulted in parking occurring along Fiddler's Green Road. Municipal Parking has advised that there have not been any complaints associated with spill-over parking for the Retirement Home. Highgate has advised that some of their events require arrangements for the use of parking from Marshall Memorial United Church, which is approximately 0.45 kilometres north of the site at the corner of Fiddler's Green Road and Gilbert Avenue. A shuttle bus has been used in such cases to provide transportation for visitors between the church and the Retirement Home.

Regarding the access driveway, the separation distance would be approximately 34 m. between the proposed driveway and the driveway to the north, which would be acceptable to staff and would not result in traffic conflicts between the uses.

Parking is based on the zoning requirement for Retirement Homes of 1 space per 3 persons that can be accommodated. The proposed parking would be provided in excess of the amount required by Zoning By-law No. 05-200. The number of spaces proposed would be 55, whereas the By-law would require the provision of 40 spaces. This would represent a 37.5% surplus in the number of parking spaces. The surplus parking is intended to accommodate additional parking that would be generated during busier periods of the year, such as Mother's Day and Christmas.

Concerning traffic, staff have advised that the retirement residence is not considered to be a high traffic generating use and would not contribute to congestion along Fiddler's Green Road. Traffic for visitors would generally occur during the afternoon and evening periods, with slightly higher numbers of visitors on weekends. The peak number of visitors during typical weekend afternoons would generally be around 20 persons, however, the generation of traffic during such periods is not considered to contribute to congestion. In addition, staffing is arranged based on three rotating shifts per day so that the maximum number of

staff would generally be in the range of 10-12 based on the current, and 15-20 based on the proposed addition.

Nuisance Issues:

- (a) Lighting impacts.
- (b) Snow removal and visibility.
- (c) Increase in emergency response vehicles.
- (d) Garbage odours and pick-up will increase.
- (e) Noise from air conditioning units.
- (f) Change in air and light flow.

LIGHTING: Proper site lighting is required for parking areas as part of Site Plan approval. The applicant will be required to submit a lighting plan to show that spill-over lighting will not occur onto adjacent properties.

SNOW REMOVAL: The City requires, through By-law No. 03-296, for snow to be removed along sidewalks within 24 hours of a winter snow event. Snow storage is required to be provided in a manner that does not obstruct pedestrians or vehicles. The owner has advised that with respect to the clearing of the proposed driveway, snow would be cleared at the front of the property in a manner that would not obstruct visibility for the neighbour to the north.

EMERGENCY VEHICLE RESPONSE: The owner has advised that the number of incidents requiring emergency vehicle responses to the property is generally between 1-2 times per month. This may increase slightly with the expansion, but it is not considered to be an issue that would be disturbing to neighbours. It is noted that upon entering the property, sirens are turned off

WASTE MANAGEMENT: Waste from the retirement home is proposed to be stored on-site within the parking area using an underground molok container system, which is an odour-free system that uses cold temperatures to manage stored waste. This matter will be examined in more detail at the Site Plan stage.

AIR CONDITIONING NOISE: The owner has advised that they will be using a noiseless system, which is known as an incremental conditioner. As such, there would be no external noise that will affect neighbouring residents. At the Site Plan stage, the location of mechanical equipment and air conditioning will be examined in more detail, to ensure that there are no noise impacts on neighbouring properties.

Infrastructure:

- (a) Concern if current infrastructure can support changes.

- (b) Stormwater impacts.
- (c) The area does not have sewers.
- (d) Water pressure problems.
- (e) No sidewalks on Fiddler's Green - dangerous for residents (eng).

The current infrastructure that is available to this property consists of water and sanitary services and a private on-site stormwater management system. From staff's review of the applicant's functional Servicing Report, it is recommended that the existing water connection to the site should be upgraded from 100mm to 150mm to meet fire flow requirements, and to provide additional water pressure. The City's Infrastructure and Source Water Planning section has advised that the existing sanitary system is adequate to accommodate the proposed expansion of the retirement residence. Stormwater Management is discussed below.

There are no storm sewers available in the Fiddler's Green Road allowance. The current private system, which discharges into a ditch along the road allowance, would be replaced with a new system, which is discussed in the applicant's Functional Servicing Report. This system will be accommodated on-site within vegetated filter strips, infiltration trenches, and a dry stormwater management facility, which is proposed along the frontage of the property. A detailed Stormwater Management Report will also be required as supporting documentation for a future Site Plan Application.

There is an existing sidewalk that has been provided for the existing Retirement Home at 325 Fiddler's Green Road, which extends southward to Enmore Avenue. The extension of the existing sidewalk would be required to include 307 Fiddler's Green Road. However, the timing for the provision of additional sidewalks to the north is not known at this time. It is noted that most of the residents prefer to remain on the existing property. For this purpose, an internal sidewalk will be provided around the expanded building to allow for exercise and the enjoyment of the property.

4. The proposed Retirement Home expansion would require the provision of a Site-Specific Community Institutional "I2" Zone under By-law No. 05-200 for 307 and 325 Fiddler's Green Road to address the maximum number of units and occupants (as a maximum of 50 occupants is permitted), and to establish provisions to ensure future compatibility. It was noted that the proposal would conform to all of the applicable zoning requirements of the "I2" Zone for Retirement Homes, with the exception of the number of occupants, and the General Provisions of By-law No. 05-200.

The following uses and site-specific provisions are recommended:

a) Permitted Use:

- A Retirement Home consisting of 100 suites and up to 120 occupants.

This will provide the owner with some flexibility to accommodate married couples.

b) Landscaping Strip along Northerly Side Yard:

- A 6.5m Landscaping strip shall be provided along the northerly side yard.

The recommended landscaping strip will allow for the protection of existing mature trees along this property line in order to maintain the character of the area, as well as allowing for additional privacy for the residential neighbour to the north.

c) Maximum Building Coverage:

- The maximum building coverage based on the current building and the proposed building addition should not exceed 27.7%.

The overall building provides an appropriate scale of development, which would be compatible with the surrounding low-density area, and which balances the provision of required parking, driveway access, stormwater management facilities, and landscaped areas with an attractive built form. This requirement is to ensure that the proposed scale of development is maintained to ensure future compatibility.

d) Minimum Parking

- The minimum number of parking spaces shall be 55.

The recommended parking would be 37.5% above the requirement for retirement homes, to ensure that there are no parking issues with respect to the shared parking for staff and visitors, recognizing that there are occasional periods of higher parking demand such as holiday periods.

e) Minimum Northerly Side Yard

- The recommended minimum northerly side yard shall be 23.9 m. (instead of 6 m.)

The recommended minimum northerly side yard is to accommodate a new access to the parking area and landscaped buffer abutting the dwelling to the north. It would provide a better separation from the abutting neighbour.

f) Minimum Southerly Side Yard

- The recommended minimum southerly side yard shall be 7.5 m. (instead of 6 m.)

The recommended southerly side yard would maintain an appropriate setback from the abutting dwelling, allowing for a walkway and landscaped area on the subject site.

g) Minimum Front Yard

- The recommended minimum front yard shall be 18 m. (instead of 6 m.)

The recommended front yard would allow the proposed addition to maintain a greater setback consistent with existing development and to also provide an area within the front yard for future storm water management.

h) Minimum Landscaped Area

- The recommended landscaped area shall be 51.5% (instead of 6 m.)

The recommended landscaped requirement provides for the retention of existing greenspace on the site to maintain the residential character of the area to allow for an appropriate scale of development. It would also allow for the provision of outdoor amenities such as walkways and courtyards, and an area for a dry storm water management pond.

Based on the foregoing, the recommended zoning provisions are considered appropriate and would facilitate the development of the proposed addition, consistent with the conceptual site plan, to ensure compatibility with neighbouring uses, and that neighbourhood character is maintained.

5. The proposed development would be subject to Site Plan approval to address the details of development, which include urban design requirements (building design, walkways, servicing and infrastructure requirements (i.e. on-site stormwater management, adequate water services), detailed tree preservation and landscaping, and conformity with the approved zoning. Further to the comments provided, the proposal would require a road widening of 6m. The proposed stormwater management facility for the provision of a dry pond to be located within the front yard area would require an Encroachment Agreement in light of the future widening to permit part of the pond to be located on the City's widened road allowance. The details associated with the preservation of the existing Heritage Trees and other significant trees will also be examined at the Site Plan Approval stage through the review of landscaping plans.

ALTERNATIVES FOR CONSIDERATION

Should the proposed Zoning By-law Amendment applications be denied, the property could continue to be used as a Retirement Home on 325 Fiddler's Green under the existing "I2" Community Institutional Zone of By-law No. 05-200, and as a residential dwelling at 307 Fiddler's Green under the Existing Residential "ER" Zone provisions of Ancaster Zoning By-law No. 87-57.

ALIGNMENT TO THE 2012 – 2015 STRATEGIC PLAN:

Strategic Priority #1:

A Prosperous and Healthy Community

WE enhance our image, economy and well-being by demonstrating that Hamilton is a great place to live, work, play and learn.

Strategic Objective:

1.5 Support the development and implementation of neighbourhood and City Wide strategies that will improve the health and well-being of residents.

1.6 Enhance Overall Sustainability (financial, economic, social and environmental).

Strategic Priority #2:

Valued and Sustainable Services

WE deliver high quality services that meet citizen needs and expectations, in a cost effective and responsible manner.

Strategic Objective:

2.1 Implement processes to improve services, leverage technology and validate cost effectiveness and efficiencies across the Corporation.

APPENDICES / SCHEDULES

- Appendix "A": Location Map
- Appendix "B": Draft Zoning By-law Amendment
- Appendix "C": Proposed Revised Development Concept
- Appendix "D": Proposed Revised Building Elevations
- Appendix "E": Artist's Rendering
- Appendix "F": Original Development Concept
- Appendix "G": Applicant's Revised Tree-Saving Plan

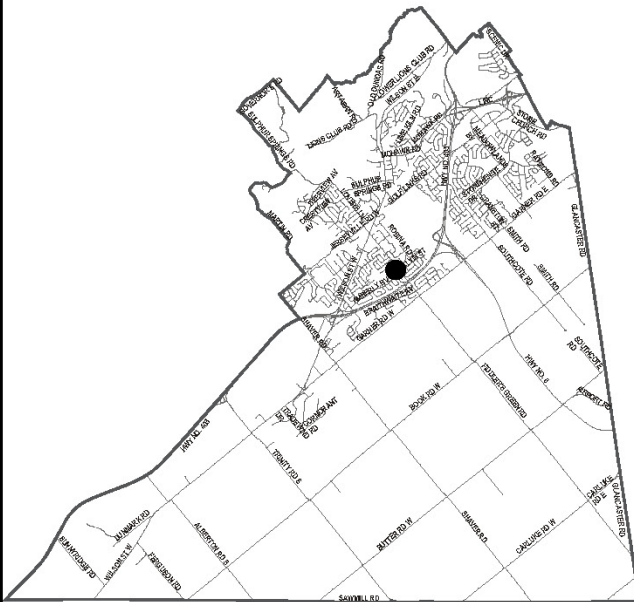
SUBJECT: Proposed Zoning By-law Amendment for 307 and 325 Fiddler's Green Road (Ancaster) (PED13183) (Ward 12) - Page 30 of 30

- Appendix "H": Original Tree Saving Plan
- Appendix "I": Letters from Circulation
- Appendix "J" Petition from Residents

:CT
Attachs. (10)



● Site of the Application



Ward 12 Key Map

N.T.S.

Location Map



PLANNING AND ECONOMIC DEVELOPMENT DEPARTMENT

File Name/Number:
ZAC-12-021

Date:
July 18, 2012

Appendix "A"

Scale:
N.T.S.

Planner/Technician:
KM/AL

Subject Property



307 & 325 Fiddler's Green Road

Authority: Item [REDACTED]
Planning Committee
Report: 13-[REDACTED] (PED13183)
CM: [REDACTED]

Bill No. [REDACTED]

CITY OF HAMILTON

BY-LAW NO. [REDACTED]

**To Amend Zoning By-law No. 05-200, as Amended,
Respecting Lands Located at 307 and 325 Fiddlers Green Road, (Ancaster)**

WHEREAS the City of Hamilton has in force several Zoning By-laws which apply to the different areas incorporated into the City by virtue of the City of Hamilton Act, 1999, S.O. 1999, Chap 14;

AND WHEREAS the City of Hamilton is the lawful successor to the former Municipalities identified in Section 1.7 of By-law 05-200;

AND WHEREAS Zoning By-law No. 05-200 was enacted on the 25th day of May, 2005;

AND WHEREAS the Council of the City of Hamilton, in adopting Item [REDACTED] of Report 13-[REDACTED] of the Planning Committee, at its meeting held on the [REDACTED] day of [REDACTED], 2013, recommended that Zoning By-law 05-200 be amended as hereinafter provided;

AND WHEREAS the By-law is in conformity with the Urban Hamilton Official Plan approved August 16, 2013 in accordance with the provisions of the Planning Act.

NOW THEREFORE the Council of the City of Hamilton enacts as follows:

1. That Map No. 1334, of Schedule "A" to Zoning By-law No. 05-200, is amended, by:
 - (a) Changing the zoning from the Community Institutional (I2) Zone to the Community Institutional (I2, 457) Zone, Modified applicable to Block "1" boundaries for the lands, the extent and boundaries, of which are shown on Schedule "A" ; and,
 - (b) Incorporating the Community Institutional (I2, 457) Zone, applicable to

Block 2, boundaries for the lands, the extent and boundaries of which are shown on Schedule "A".

2. That Section 8.2, Community Institutional (I2) Zone, of Zoning By-law No. 05-200 (Hamilton), as amended, is hereby further amended by adding the following Sub-section:

(I2, 457)

Notwithstanding any provisions to the contrary of Section 8.2.1 Permitted Uses, and Section 8.1.3, Regulations, of Section 8.1.1, Community Institutional "I2" Zone, of By-law No. 05-200 (Hamilton), the following use and special provisions shall apply to the lands zoned (I2, 457):

Permitted Use:

A Retirement Home consisting of 100 suites and not exceeding 120 residents.

Provisions:

In accordance with Section 8.2.3 and Section 5 of By-law 05-200 with the following special provisions:

Minimum Landscaping Strip:	6.5 m. along northerly lot line.
Maximum Building Coverage:	27.7%
Minimum Parking	55 spaces
Minimum Northerly Side Yard	23.9 m.
Minimum Southerly Side Yard	7.5 m.
Minimum Front Yard	18 m.
Minimum Landscaped Area	51.5%

3. That the Existing Residential "ER" Zone, pertaining to Block "2" of the said lands,

be removed from Map "1" of Schedule "B" of Zoning By-law No. 87-57.

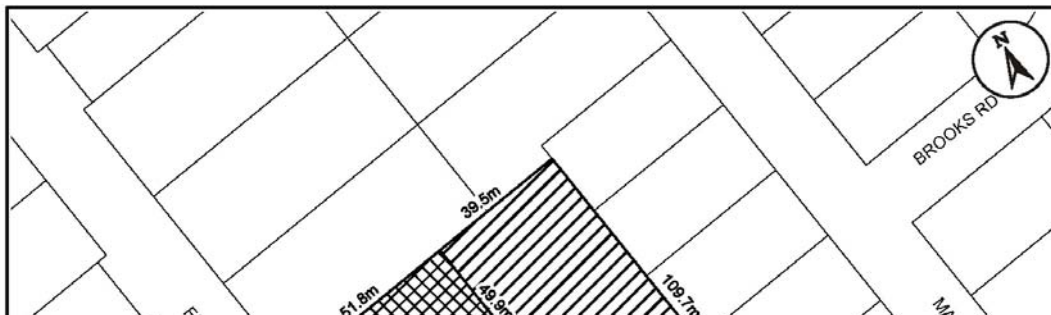
4. That the Clerk is hereby authorized and directed to proceed with the giving of notice of the passing of this By-law, in accordance with the Planning Act.
5. That this By-law No. [REDACTED] shall come into force and be deemed to have come into force, in accordance with Sub-section 34(21) of the Planning Act, either upon the date of passage of this By-law or as provided by the said Sub-section.

PASSED and ENACTED this [REDACTED] day of [REDACTED], 2013.

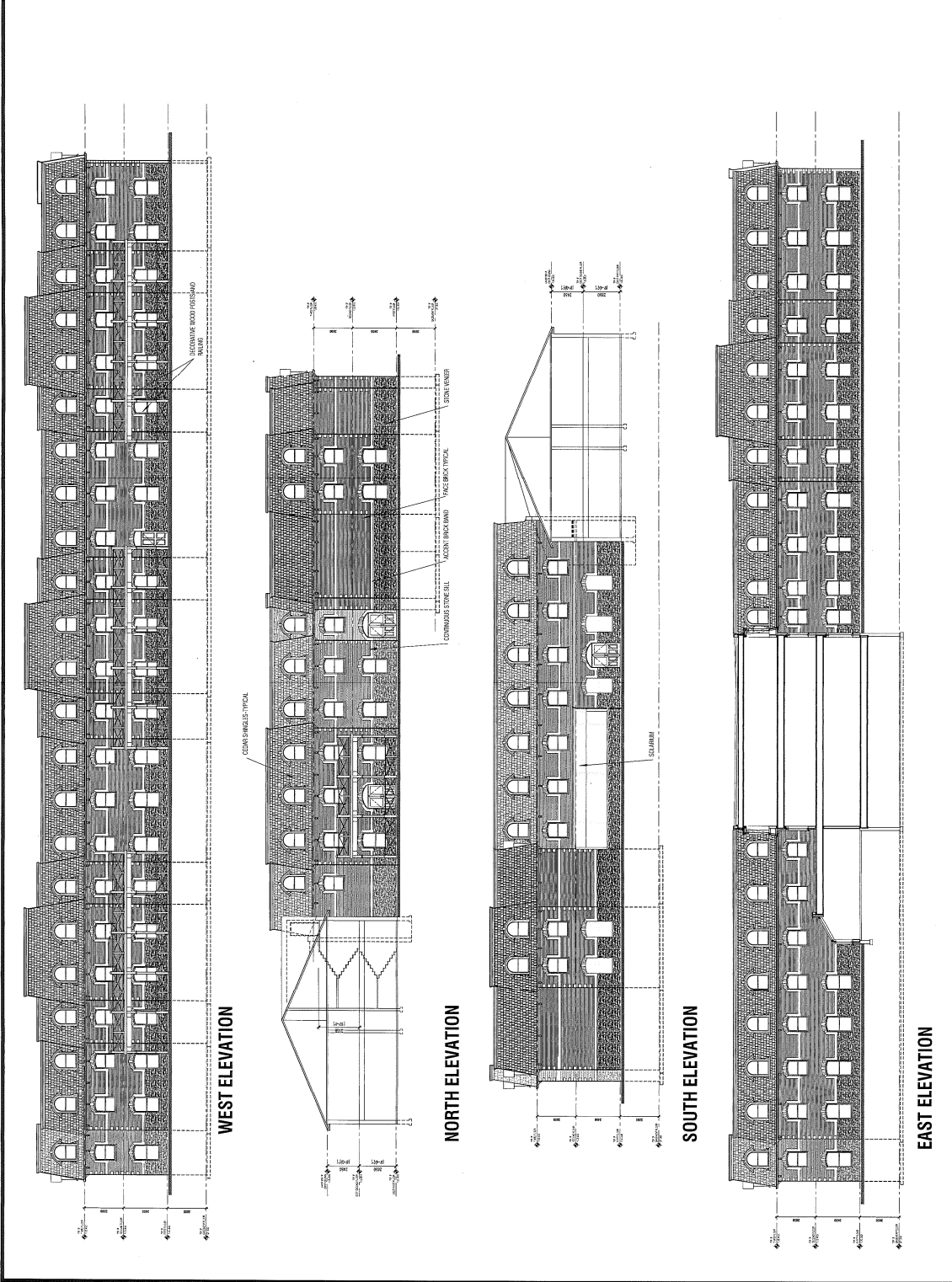
R. Bratina
Mayor

Rose Caterini
Clerk

ZAC-12-021



ALL DIMENSIONS SHALL BE GIVEN UNLESS ALL DIMENSIONS ARE NOTED OTHERWISE TO THE CONTRARY. ALL DIMENSIONS SHALL BE GIVEN UNLESS OTHERWISE NOTED. THIS DRAWING SHALL BE USED IN CONJUNCTION WITH ALL OTHER RELATED DOCUMENTS & SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE EXISTING AND PROPOSED WORK PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE APPLICABLE AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE APPLICABLE AUTHORITIES.	PROJECT NORTH TRUE NORTH		AREA: 1,100 SQ. FT. (APPROX.) DATE: _____ DESCRIPTION: _____ DRAWING CHRONOLOGY: NO. DATE DESCRIPTION BY APPROVED BY
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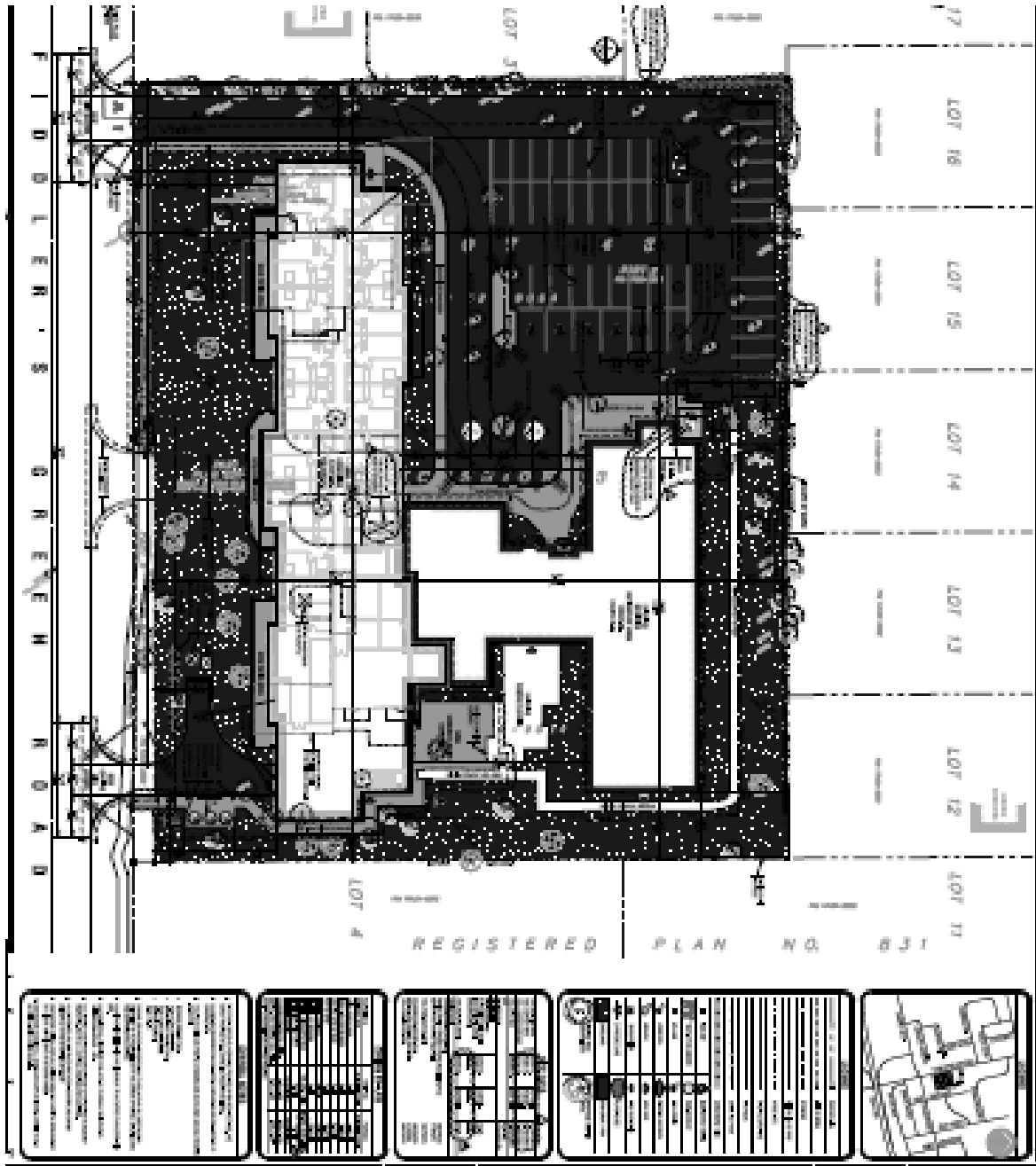


PROJECT: ADDITION/RENOVATION ANCASTER PRESTON HOME 255 LINDSAY AVENUE ANCASTER, ONTARIO PROJECT NUMBER: _____ ELEVATIONS	SHEET NO. A2.4 TOTAL SHEETS: _____ SCALE: 1/8" = 1'-0" DATE: _____ DRAWN BY: _____ CHECKED BY: _____ APPROVED BY: _____
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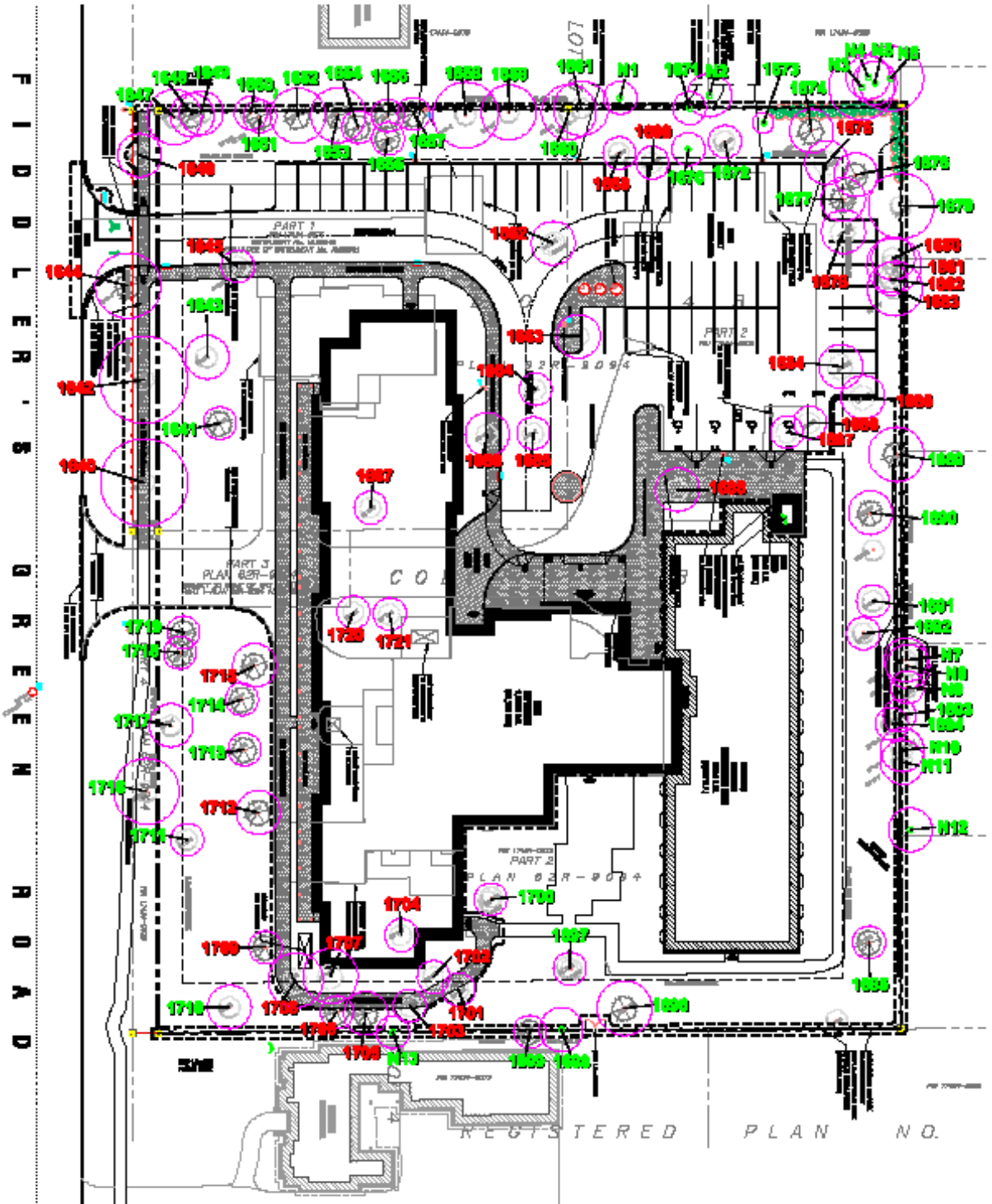
Appendix "E" to Report PED13183
Artist's Renderings
(Page 1 of 1)



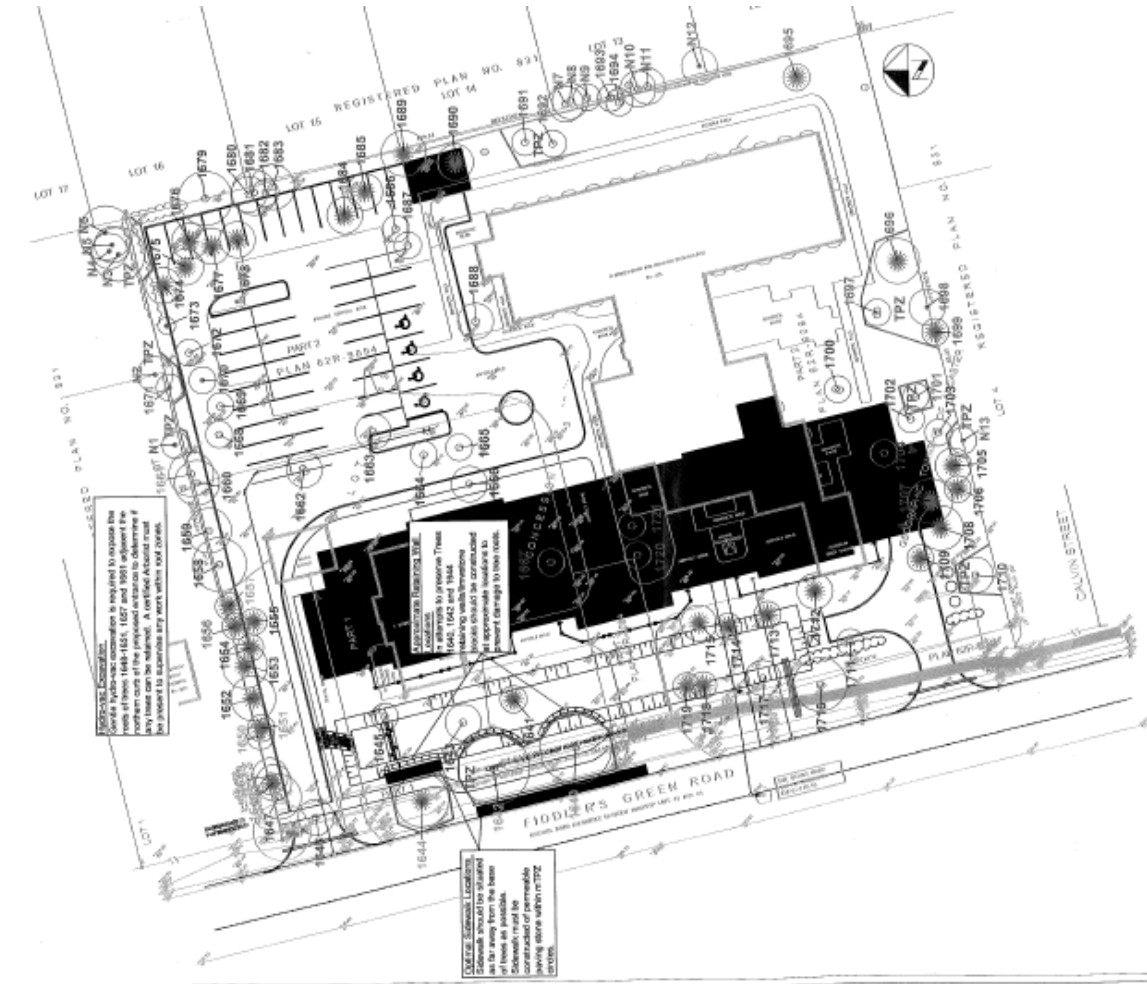
Appendix "F" to Report PED13183
Original Conceptual Site Plan
(Page 1 of 1)



Appendix "G" to Report PED13183
Revised Tree Preservation Plan
(Page 1 of 1)



Appendix "H" to Report PED13183
 Original Tree Preservation Plan
 (Page 1 of 1)



<p>LEGEND</p> <p>1710 Tree Identified for Preservation (PRES)</p> <p>1780 Tree Identified for Removal (REM)</p> <p>1650 Tree Identified for Possible Preservation (PRES-P)</p> <p>TPZ Tree Preservation Zone (Symbol) (PRES-P)</p> <p>○ Surveyed Deciduous Tree Location</p> <p>● Surveyed Coniferous Tree Location</p> <p>◊ Estimated Tree Location</p> <p>— Tree Protection Fence Location (Tree MARGINAL)</p> <p>○ Minimum Tree Preservation Zone (TPZ)</p>	<p>Tree Preservation</p> <p>Preservation of Trees 1660, 1671, 1691, 1696, 1699 and 1704-1707 will be maintained as possible preservation zones. The Project measures will be implemented prior to final planning phase to ensure trees identified for preservation are protected by the proposed development. Refer to Figure 1 for the Color-Coded Preservation Zone Inventory. Appendix 2 to the City of Hamilton Tree Protection Policy and Appendix 3 to the Development Code apply.</p> <p>Preservation of Trees 1640, 1641, 1642 and 1644 may be possible through design/ground work that will be required through the construction of the site. Refer to the Tree Protection Policy for more information.</p> <p>Preservation of Trees 1640, 1642 and 1644 may be possible if the preservation is located at the edge of the TPZ area (colored MARGINAL) (See the Tree Protection Policy).</p>	<p>PLAN B Natural Heritage Landscape Ecology & Natural Heritage Planning 140 Victoria Centre Windsor, ON L9C 1P1</p>								
<p>Tree Inventory</p> <p>Refer to Table 1 of this Inventory and Preservation Plan report for complete tree inventory. Areas measuring 1/4 acre or larger situated on vacant property, regardless of tree size, are potential to be impacted by the proposed development and all trees situated on vacant lots are included in the inventory.</p>	<p>Tree Removal</p> <p>Removal of trees 1640-1650, 1661-1670, 1670-1680, 1680-1690, 1690-1700, 1700-1710 and 1710-1720 are required to be removed. The Project measures will be implemented prior to final planning phase to ensure trees identified for removal are protected by the proposed development. Refer to Figure 1 for the Color-Coded Preservation Zone Inventory. Appendix 2 to the City of Hamilton Tree Protection Policy and Appendix 3 to the Development Code apply.</p>	<p>307 and 325 Fiddlers Green Rd. City of Hamilton Tree Inventory and Preservation Plan</p> <table border="1"> <tr> <td>Project: P2011-42</td> <td>Figure: 1</td> </tr> <tr> <td>Date: June 2012</td> <td>1</td> </tr> <tr> <td>Scale: 1 : 600</td> <td></td> </tr> <tr> <td>Prepared By: JJJ</td> <td>Modified By: NGS</td> </tr> </table>	Project: P2011-42	Figure: 1	Date: June 2012	1	Scale: 1 : 600		Prepared By: JJJ	Modified By: NGS
Project: P2011-42	Figure: 1									
Date: June 2012	1									
Scale: 1 : 600										
Prepared By: JJJ	Modified By: NGS									

Appendix "I" to Report PED13183
Comments from Circulation to Neighbours
(Page 1 of 33)

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Mihaljevic, Kate

From: Wendy Fallis [x]
Sent: Tuesday, August 21, 2012 11:57 AM
To: Mihaljevic, Kate
Subject: File No. ZAC-12-021 regarding 307 & 325 Fiddler's Green Rd.

Dear Kate: Please be advised that my husband and I have concerns regarding the proposed expansion for 100 units according to the letter sent out on August 3rd (or for 120 residents according to the sign on the property). Obviously the numbers themselves are confusing and misleading.

Whatever the actual numbers proposed are, our understanding is that this type of structure falls under zoning by-law 05-200 zone 12 (or is soon to be) for a maximum of 50 residents which is the current number of residents. The proposed increase is well beyond the by-law.

The surrounding neighbourhood of Highgate are all single family homes. This proposed expansion of a 3 storey building means a complete change of character to the neighbourhood. It would also mean parking issues to the neighbouring streets such as Calvin and Mapledene that do not have sidewalks which means pedestrians would have to manoeuvre around an increased amount of cars. There would be significant increase of traffic on Fiddler's Green road and noise disturbance from ambulances.

Highgate as is stands has been a welcomed addition to this neighbourhood as it provides a social service, the grounds were well cared for with plentiful gardens and green space.

A 3 storey imposing building with very little green space, gardens that are already disappearing, significant traffic and noise increases, is not welcomed.

These concerns are shared by many citizens of this neighbourhood as reflected by the signatures on the petition to be presented in our upcoming meeting with Mr. Ferguson.

Thank you for considering these concerns

Wendy and Dave Fallis
300 Mapledene Dr.
Ancaster
L9G 2K2

--
Wendy Fallis

Appendix "1" to Report PED13183
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August 18, 2012

**Concerns: Circulation on Zoning By-Law Amendment by Highgate re 307 + 325
Fiddlers Green (File No. ZAC-12-021)**

We live in the neighbourhood where the proposed expansion of the Retirement home will be. We are opposed to the expansion. The entire feeling of the neighbourhood will be changed to more a commercialized look. The "small town" atmosphere will disappear if large buildings are allowed to replace single homes. There are currently 41 units, an additional 100 units would mean a minimum of 50 more vehicles in that small area, Fiddlers Green is already very busy. All the trees would have to go, so the entire landscape of the neighbourhood would be changed. We moved here purposely due to the small town feel, the beautiful old, overgrown and lush ambience. This addition would mean the destruction of that view for several of the surrounding blocks.

Also on another note, a builder purchased 285 Fiddlers Green, which is behind us. We purchased our property due to the trees, the beautiful trees that take 50 years to grow, and the builder chopped them all down, removed the house and has left the vacant lot a mess. Why doesn't he have to grade that lot and keep it decent for the neighbours? Why was he allowed to chop all the trees down? We came home one day and our beautiful lush view was gone, we were completely exposed to Fiddlers Green Road, traffic racing by instead of the trees. He shouldn't have been allowed to remove the trees, it changed several neighbours view, the feeling of the backyards, the entire feeling of why we moved here, Ancaster is thriving, but in the single homes area, not large scale intensification of multi-unit buildings. This is contradictory to everything that makes Ancaster so special and upscale. I would hope that the city would protect the ambience by limiting the destruction of the landscape, the further destruction of the neighbourhood if large buildings were to dominate the street as in the Retirement Project.

Ancaster is a beautiful town, we know change is good and has to happen, but the new builds should be forced into a strict architectural compliance. The persons with the power to keep the PRIDE of Ancaster glowing as it is renewed, not demolished.

Sincerely,

Joseph and Donna Doucette
30 Ravina Crescent
Ancaster, L9G 2E7

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Kate Mihaljevic, City of Hamilton
Planning and Economic Development Dept.
71 Min Street West, 5th Floor
Hamilton, ON L8P 4Y5

RE: File Number ZAC-12-021, 307 and 325 Fiddler's Green Road, Ancaster

We are writing to you in order to express our concerns regarding the proposed application for a Zoning By-law Amendment by Highgate Holdings Inc., for the above mentioned lands. We do not believe that the map provided is indicative of the impact for this requested zoning change.

How will this small area enable the expansion for 100 units without any major changes to the landscape and green space that the lots currently contain, and how will this impact the character of the neighbourhood. This addition will also require additional parking spaces, and intensify the amount of traffic on Fiddler's Green. Has this been taken into consideration?

We purchased our home in Ancaster due to its quiet, small community atmosphere. We loved the trees and matured lots that surrounded us, and intended for this to be our first and last home. We have watched as older homes are purchased for demolition, and are tired of having to fight to keep the integrity of our neighbourhood.

The city spent months to refurbish down town Ancaster to bring back the community feel, and now we are seeking to destroy what we have tried to build. Enough is enough, this needs to end. Please stop this before it sets a precedent for others who are waiting in line to destroy our community.

Hoping that you put the needs of our community and its surrounding residence first.

Frank and Joanne Muraca
34 Ravina Crescent, Ancaster ON L9G 2E7

Cc: Lloyd Ferguson
Kathy Bishop

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Mihaljevic, Kate

From: Liz Lewis
Sent: Monday, August 13, 2012 9:55 PM
To: Mihaljevic, Kate
Subject: re ZAC-12-021

Hello Kate, I'd just like to voice my concerns over the proposed development @ 307 and 325 Fiddler's Green Road.

I live at 318 Mapledene, right behind the existing building, and I have 2 concerns.

1. I'd like to see the new structure stick to the existing zoning, ie - max of 2 stories. First because I believe it would fit better into the existing neighborhood, and secondly, I believe that changing the zoning for this property opens the door to more changes from the existing zoning plans, and that's a slippery slope. 3 Stories on that property would change the air and light flow to our property, and, I believe, lower the property values in the area.
2. I have a concern with the noise of the re-located HVAC unit. There is already considerable noise from some equipment in that area of the property.

Thank you for considering these concerns.

Liz Sutherland
(Lewis)

Case ZAC-12-021

Notice of Complete Application and Preliminary Circulation for a Zoning By-Law Amendment by Highgate Holdings on lands located at 307 and 325 Fiddlers Green Road, Ancaster

The following points should be considered by Planning Staff in evaluating this application or in developing any alternative solutions.

Intent of the by-law

The existing by-law specifies the size of a retirement home through a limit on the number of residents to 50 in the Community Institutional (I2) category. Those who drafted the by-law must have seen a need to limit the size of this specific type of Community Institutional development, regardless of the size of the property or the building. Defining the size of the institution by a number of residents is significant in ensuring that the institution would have only a "moderate" impact on the neighbourhood, a criterion specified on the page describing institutional zoning on the Planning & Economic Department website. Allowing an increase of 140% in this parameter (50 to 120 residents) disregards the intent of the by-law and will have a major negative impact on the neighbourhood.

The present density of 50 residents on the 1 hectare site is, I understand, in agreement with the average target density of this community.

Impact on the neighbourhood

Persons who have decided to purchase, build or improve homes in the neighbourhood may have relied on the by-law to define and control the size of the Highgate institution. The 140% increase in residents proposed in the application could negate any protection against excessive expansion of the institution the purchaser or homeowner may have assumed to be provided by the by-law as presently written.

Allowing the construction of a large structure along the entire frontage of the property will seriously detract from the character of the neighbourhood and could eliminate or threaten the survival of many of the trees that currently soften the appearance of the institution. It would not add to visual variety of the street. Placement of the driveway on the north side of the property will threaten the trees along the north boundary.

Impact on the residents of the institution

Elderly persons who have chosen to move into Highgate, and their families, may have based their decision partially on the size of the institution, which they may have assumed was limited by the zoning by-law. The proposed 140% increase in the number of residents would force a significant unfavourable change onto the lives of the residents and their families.

Drainage

To the best of my knowledge, there are no storm sewers along this portion of Fiddlers'

Green Road.

- ✓ The Highgate property appears to have been artificially built up at the rear to create a slope towards Fiddler's Green Road. Storm water drains on the surface and through a very small culvert into the existing shallow ditch. With no storm sewers or adjacent natural ravine drainage, increasing the building coverage and paved areas could increase run off onto neighbouring properties or cause flooding in the ditch on Fiddler's Green. The placement of the new building would appear to negate any possibility of maintaining the current drainage strategy. Adequate drainage is even more pertinent with the prediction of larger "storm events" caused by global warming.

Existing townhouse complexes at 175 and 210 Fiddler's Green Road have storm water management systems consisting of storm grates, surface storage ponds and, I believe, underground piping leading to natural ravines, one of which passes beside my property on Ravina Cres. These complexes should be studied as part of your review.

Traffic

The magnitude of the change proposed by this application would create a negative impact on the neighbourhood in terms of increased traffic from visitors, staff and service vehicles. The level of noise, pollution and risk of accidents would exceed what would be considered "moderate". Fiddler's Green Road is only two lanes in width. Vehicles turning left into the facility would cause more traffic congestion and hazards. That there are two driveways shown on the site plan makes this issue even more significant.

There are no sidewalks along the east side of Fiddler's Green Road for a considerable distance to the north of the property. Elderly pedestrians walking along the road side, or trying to cross in front of the facility would be subject to increased risk of injury or death. The nearest crosswalk with traffic lights is at Amberly Blvd - a busy intersection with often-inattentive drivers making left turns onto Fiddler's Green north bound failing to see pedestrians on the crosswalk.

Respectfully submitted,

Brian Burgon
25 Ravina Crescent
Ancaster ON
Aug 29, 2012

BB

Mihaljevic, Kate

From: Murray Smith
Sent: Friday, August 10, 2012 12:06 PM
To: Mihaljevic, Kate
Cc: Ferguson, Lloyd
Subject: Re: Notice of Complete Application and Preliminary Circulation for a Zoning By-law Amendment by Highgate Holdings Inc. File ZAC-12-021

Re: File ZAC-12-021

We reside at 299 Fiddlers Green Rd. in Ancaster and have the following concerns with respect to this application:

1. The construction of the addition in close proximity to Fiddlers Green Road. The plans show it is crammed in this lot and we feel it will be an imposing landmark and adversely affect the character of our neighbourhood- we understand that it is to be 3 stories high.
2. The increase in units from 41 to 100 (approx. 150% will bring about a number of negative impacts on the neighbourhood including impacts on
 - i) traffic on Fiddlers Green
 - ii) parking on Fiddlers Green- currently when they have an event there is approx 30 vehicles that park on the shoulders which creates a safety hazard for the motorists on Fiddlers Green as well as the neighbours trying to exit their own driveways, in addition this parking is on the bike lanes. An increase to the number of units will only increase the parking on the street and create more of a hazard.
 - iii) The additional ground coverage with the addition of the new building, parking, driveway etc. we feel will create a drainage issue as currently in the spring we have approx. 8" to 12" of ice and water in our ditch. The proposed driveway in addition to the close proximity of the proposed new building we fear will not allow enough green space and drainage opportunities adjacent to our home.
 - iv) snow removal may become an issue resulting in accumulation on our property and resultant impacts on vegetation or the blocking of visibility when exiting our property.
 - v) we feel that having the driveway repositioned from the center of their property to the edge of ours will create number of problems including difficulty in getting out of our driveway. Also, an increase in the number of units will mean more residents and more staff using the driveway.
 - vi) Emergency response vehicles which frequently enter this property will increase with an increase in residency and this driveway which is proposed to run adjacent to our home will impact our quality of life with ambulance and fire vehicles entering and exiting at all hours (lights and noise). The driveway should be left where it is- in the centre of their property.
 - vii) The mature vegetation including trees which currently exist along our property line and provide privacy and shade should remain and not be torn down.
 - viii) Garbage- with an increase in residency will come an increase in garbage and the associated odors and pick-up issues.
 - ix) we question whether the current infrastructure capacity (water mains, sewer, storm drains, electricity, etc.) can support the additional units along with the continued intensification which is proposed for this neighbourhood
 - x) Light spillage - on this property, it appears that lighting will be moved closer to our property which will interfere with our quality of life (lights in our bedroom at night)
 - xi) Other associated issues arising from an increase in units (for example, noise from air

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conditioning units)

We object to an increase to 100 units. We would not object to the new owner increasing the current 41 units to 50 units and we would not object to changing the zoning of 307 Fiddlers Green to I 2 provided that the total number of units on the combined property of 307 and 325 Fiddlers Green does not exceed 50 units.

Kate - could you please forward this e-mail to the Councillors

Murray and Sheila Smith
299 Fiddlers Green Road
Ancaster, Ontario
L9G 1W9

Mihaljevic, Kate

From: Janet Mahony
Sent: Wednesday, August 22, 2012 10:57 AM
To: Mihaljevic, Kate; Ferguson, Lloyd
Cc: Ed Mahony
Subject: Re: File No. ZAC-12-021 Regarding 307 and 325 Fiddler's Green Road, Ancaster ONT
Importance: High

Dear Ms. Mihaljevic and Mr. Ferguson:

It has recently come to our attention that a new residential high-density building (3 storey and 100 residential units) is being considered at Highgate Retirement Home.

We are writing to you to ask you to **deny or oppose** this new building on our behalfs.

We have resided in our home since 1992. Our home is at **259 Fiddler's Green Road, Ancaster ON L9G 1W9**. We are very concerned about the negative impact of introducing new high-density housing units on Fiddler's Green Road. We are concerned about the negative impact on our home, our property value, our neighbourhood aesthetic, the road traffic, the road safety, the road conditions, and the underlying infrastructures.

We moved to this neighbourhood due to the large lots, the large trees and natural green spaces, the smaller homes, the beautiful street aesthetic, and the country-like setting with easy access to all amenities. Over the years, as Ancaster has grown significantly, Fiddler's Green Road has become a major thoroughfare, and this has been a major change to our neighbourhood. At this point we do not want any more alterations to our neighbourhood.

Specifically, our concerns are that this new high-density residence building will have negative consequences by:

- (1) significantly altering the neighbourhood aesthetic and initiating a "city" look on our country-looking neighbourhood (specifically, current houses are set back from the road with large trees and deeper front yards before the dwellings. The current buildings at Highgate Retirement Home fit this aesthetic);
- (2) worsening of our already poor water pressure;
- (3) worsening of our traffic volume when speeding and passing using the bike lane are already problematic traffic risks/dangers that make it difficult, with current traffic flow and volume, to enter or exit our driveway;
- (4) worsening street parking and worse street safety issues since any prior events at Highgate Retirement Home have resulted in overflow of visitor parking onto Fiddler's Green Road with visitors' cars often parked in illegal and risky fashion in the bike lane. It is clear to us that Highgate Retirement

8/31/2012

Home has insufficient parking for their current residents and visitors, and we anticipate this will get worse if the number of residents and visitors increases;

(5) concern for lower re-sale value, or difficult re-sale, for our home caused by the presence of visible and obvious high-density housing on Fiddler's Green Road;

(6) worsening of the road conditions on Fiddler's Green Road due to increased traffic volume;

(7) problems with other infrastructure (such as sewers, culverts, sidewalks, electricity, phone and cable) when we already have periodic interruptions in these services at the present level of demand;

(8) that the introduction of new high-density housing will be the beginning of the onslaught of similar development requests since we already know that other developers have attempted to request variances to increase the number of homes and/or the kind of homes on the current lots because these lots are larger than the typical lot size;

(9) negative impact from heavy equipment and machinery on road conditions on Fiddler's Green Road during construction; and,

(10) negative impact on road access, and traffic interruptions or obstacles during construction.

We appreciate your attention to this important request and thank you for making our protest to this building known.

Sincerely, Janet and Ed Mahony
Homeowners
259 Fiddler's Green Road
Ancaster ON L9G 1W9

Mihaljevic, Kate

From: Tuesday, August 21, 2012 5:04 PM
Sent: Mihaljevic, Kate
To: File No. ZAC-12-021
Subject:

Dear Ms Mihaljevic, Planning Dept West Section, City Of Hamilton, My husband and I very concerned with the proposed development located @ 307 and 325 Fiddlers Green Rd. Application No. ZAC-12-021. The Retirement home know to us as Highgate seems to be appropriately sized. The expansion and proposed scale of development is grossly out of scale. It does not consider the character of the established neighbourhood. It does not ease into the compatibility of the existing and surrounding homes. Our concern is for the valuable seniors in our neighbourhood that could be jeopardized by the increased traffic, increased noise, decreased privacy for all, as well as the many construction obstacles, water, drainage, etc. The excessive massing of the elderly in our opinion is just a very poor idea. This project does NOT provide value to a neighbourhood or to its valued Residents. There is always a better idea. Regards, Tom and Teresa St. Michael.

Aug. 23, 2012

Mrs. Kate Mihajevic:
re File NO ZAC-12-02

Because I have lived and paid taxes in Anacostia for 57 years, I feel that I have a right to oppose the passing of the by-law which would allow developers to enlarge Highgate. Developers don't live in Anacostia and they don't care about our town; they want to deface Anacostia and make lots of money doing it, greed is the name of the game! The poor neighbours, the increased traffic on the already busy road, Will the sewers be able to accommodate the increased population? Highgate is a gem, I have a friend who lives there and loves it. Perhaps you could come and have a tour of the home, it is lovely. I am not alone in my opinions.

Sincerely

Marion Radigan

P.S. I'm sorry I'm late!



Mrs. Marion Radigan

Mihaljevic, Kate

From: Dean Belovari
Sent: Friday, August 24, 2012 3:26 PM
To: Mihaljevic, Kate; Ferguson, Lloyd
Subject: High Gate proposal for expansion of/to 100 units on Fiddlers Green Rd.

Kate and Lloyd, I am writing this email in **protest** of the proposed expansion to High Gate Retirement home on Fiddlers Green Rd.

I live at 312 Fiddlers Green Rd directly across the street with the view outside my front window being High Gate. Currently the view rewards me with large mature trees and residential homes with only the knowledge (but zero to minimal view) of a retirement building which currently blends into the landscape and is set at the back of the property.

I will list in point form some of my objections to the proposal and they are as follows:

- 1) Fiddlers Green Rd. is a residential street, not a commercial business district.
- 2) Fiddlers Green Rd. traffic levels are extensive and sometimes dangerous, adding multiple units will only worsen this condition.
- 3) Visitors parking on the street for events held at High Gate currently make crossing the street and exiting residential driveways difficult and dangerous.
- 4) Snow removal in this area will be more difficult because of the increased parking area and reduced open space.
- 5) Drainage issues will be a concern during the spring due to the the thawing of increased snow removal with no sewers on the street.
- 6) Snow piled high at the end of the parking entrance will create a dangerous situation for both drivers and pedestrians.
- 7) The negative effect on property values (specifically those facing High Gate) having to look at an apartment style building right next to the road.

These are just some of my objections. I will be attending the meetings when possible to openly discuss these concerns and others. Also, I would be willing to meet with either or both of you personally to discuss my concerns in detail at any time.

Regards,
Dean Belovari

Mihaljevic, Kate

From: Mike Street [
Sent: Friday, August 24, 2012 8:29 AM
To: Ferguson, Lloyd
Cc: Mihaljevic, Kate
Subject: Highgate proposal - File: ZAC-12-021 re 307 and 325 Fiddler's Green Road

Hi Lloyd:

The Fiddler's Green to Halson Road work went very well and looks quite good. Our efforts on ATMP last year were worth it!

I'm writing today about the proposed extension to Highgate.

Before I get into the proposal itself I'd like to say how upset I am over the developer's blatant attempt to hide the public meeting notice sign, which is affixed to the side of a building and not up at the sidewalk edge as I believe it is supposed to be. I travel on Fiddler's Green Road every day, sometimes more than once, and sometimes by bicycle. Until I was informed of this proposal I had not seen the sign. When I went to look I found that coming from the south it is so obscure that I drove right past it. Coming from the north the sign is totally obscured by trees until you are immediately opposite it, so it is impossible to see unless you happen to look 90 degrees left just as you pass it. Frankly, this reminded me very much of how the public notice sign for the 5-garage monster home on Mineral Springs Road was never seen by immediately adjacent neighbours. I believe that the developer should be forced to put the sign right at the sidewalk edge and have his public notice time period for the sign started over again only when that is done.

With regard to the proposal, my position is simple. While the original Highgate was nicely done and fitted into our neighbourhood both with respect to its design and construction as well as use by one and two member families, the proposed extension will destroy that and make it simply another commercial retirement home with a huge footprint on a main thoroughfare that is already too busy with both private and commercial traffic. This is not what our neighbourhood is about and the new building - it is not an extension - should not be allowed, period.

Please fight this entire proposal and get it stopped. Thanks very much.

Mike

--

Mike Street
Ancaster, Ontario, Canada

Mihaljevic, Kate

From: Piet & Beth at home |
Sent: Friday, August 24, 2012 1:41 AM
To: Mihaljevic, Kate
Cc: Ferguson, Lloyd
Subject: Zoning Amendment File ZAC-12-021 for 307 and 325 Fiddlers Green Road

Hello Ms. Mihaljevic

After reviewing a copy of the site plan drawing (albeit a small 8 1/2 x 11 version), I would like to offer my comments for your consideration.

While I understand provincial intensification strategies, I cannot believe that more than doubling the size of the building and the parking areas is really appropriate for a long-established neighbourhood of single-family dwellings at this time. While Fiddlers Green Road is a major arterial road, and will likely see more intensification projects in the future, it still supports a thriving single-family neighbourhood today. I believe the only other multi-storey multiple residence along Fiddlers Green is the Seniors Home tucked in behind Shaver's Florist.

Surely the enjoyment of their properties (by existing residents) must be factored into the decision-making process. Clearly, the residence immediately to the north of this site will now have a busy driveway immediately adjacent to their property line. I can't imagine that anyone would want that so close to their backyard.

I trust that all stormwater management issues have been addressed regarding pre and post-development flows, but am concerned that with such a large footprint for the hard surfaces (buildings and parking lot areas), there would seem to be a great reduction in opportunity to address groundwater recharge through infiltration.

Offering 50 parking spaces (46 + 4 Handicap spots) doesn't seem to be enough for 100 units. While all residents may not have vehicles, workers and visitors will also require parking spaces. I wouldn't want to see people having to park along the shoulder of Fiddlers Green Road because the lot is full.

Perhaps this is not the right time for this expansion. Perhaps it should be put on the shelf for a few years, and wait to see if any other development proposals for Fiddlers Green Road are submitted. Perhaps that would be the appropriate time to move forward with this proposal.

Pieter Kuyntjes
16 Sumbury Place

Mihaljevic, Kate

From: Murray Smith
Sent: Tuesday, August 28, 2012 10:22 PM
To: Mihaljevic, Kate
Cc: Ferguson, Lloyd; B Burgon; Dean Belovari
Subject: Highgate Application ZAC-12-021

Kate as per our discussion today and after the meeting yesterday, we would like to clarify our position regarding this application. We had no objection to changing 307 Fiddlers Green from residential to Institutional- 2, however if this change influences the decision to allow the increase to 120 residents then in fact we do have an objection.

You asked for any suggestions that we may have. Our preference and I am sure that of most of the residents in the neighbourhood is that the application be turned down. Please refer to our earlier e-mail detailing our concerns including the change to the character of the neighbourhood and the increase in residents from 50 to 120 (contrary to the current new City By law maximum of 50 residents).

In recognition of the desire to intensify we would not object to the applicant placing a second floor on the existing building that is currently a single floor. This would allow him to increase the units on the same footprint and at the same time provide more parking on the 307 residence.

Kate this option would be in line with what the Application shows on the site plan sidebar under "Zoning By-Law". The site plan indicates the **permitted maximum capacity as 50 residents and the proposed capacity as 64 residents**- with a foot note that a minor variance would be required. Why is there a discrepancy between the site plan and the first page of the application stating 100 units? Please note that this is on the site plan shown to us by Lloyd Ferguson yesterday and on the 8.5 by 11 inch site plan that was circulated to residents through the city mailing.

Our suggestion of putting on a second floor above the existing single floor would likely facilitate the increase to 64 residents.
Please take this information into consideration when evaluating this application.

Murray and Sheila Smith

Mihaljevic, Kate

From: Beth Goodger
Sent: Wednesday, August 29, 2012 10:47 PM
To: Mihaljevic, Kate
Cc: Ferguson, Lloyd; Gary Tuff; Bishop, Kathy
Subject: Application for a Zoning By-law Amendment by Highgate Holdings Inc., on lands located at 307 & 325 Fiddler's Green Road, Ancaster (File No. ZAC-12-021)

Dear Kate,

Thank you for taking the time to meet with me on Monday, August 27th, 2012 regarding the above noted application for 307 & 325 Fiddler's Green Road.

We would like to express our objection to the proposed rezoning application, as residents within 400 metres of the property via our rear yard. We have lived in our home for 18 years and have made significant investments in our property over the last 8 years, with the intention of remaining here. Our concerns are as follows:

- The proposed development is quite large and is not appropriate for the character of the neighbourhood. It is not clear from the letter if the expansion is for 100 units in total or for 100 in addition to the existing units.
- Approval of the application in its current form could set a precedent for future development of a larger scale along Fiddlers Green. Such development would have an adverse impact on the use and enjoyment of our property.
- The loss of green space and storm water impacts, with the size of the proposed development. Most of the surfaces would be covered with buildings or parking lot, which is a significant change from the existing condition and would increase demands on the storm water drainage systems. Removal of trees would impact on the character of the neighbourhood.
- Lighting impacts – we very much enjoy the absence of high light levels at night in our neighbourhood and already find the existing Highgate parking lot lights to be obtrusive in the winter months when there are no leaves on the trees. This should be addressed with any expansion that is considered.
- There is already an issue with on street parking when Highgate has family events, so this would need to be addressed with any expansion that is considered.
- The change in zoning for 307 Fiddlers Green from ER (Existing Residential), to I2 (Institutional) is reasonable given the existing institutional use of the entire property, however, we do not support the change given the proposed use of these lands for the expansion.

Given the size of the property, further intensification is feasible, but in a manner that is more appropriate to the existing character of the neighbourhood and in such a way to address the existing concerns with the current use. In conclusion, we object to the application as proposed and request that you take our concerns into consideration in your review and evaluation of this application.

8/31/2012

Thank you for the opportunity to comment.

Respectfully submitted,

Beth Goodger & Gary Tuff
32 Ravina Crescent

Mihaljevic, Kate

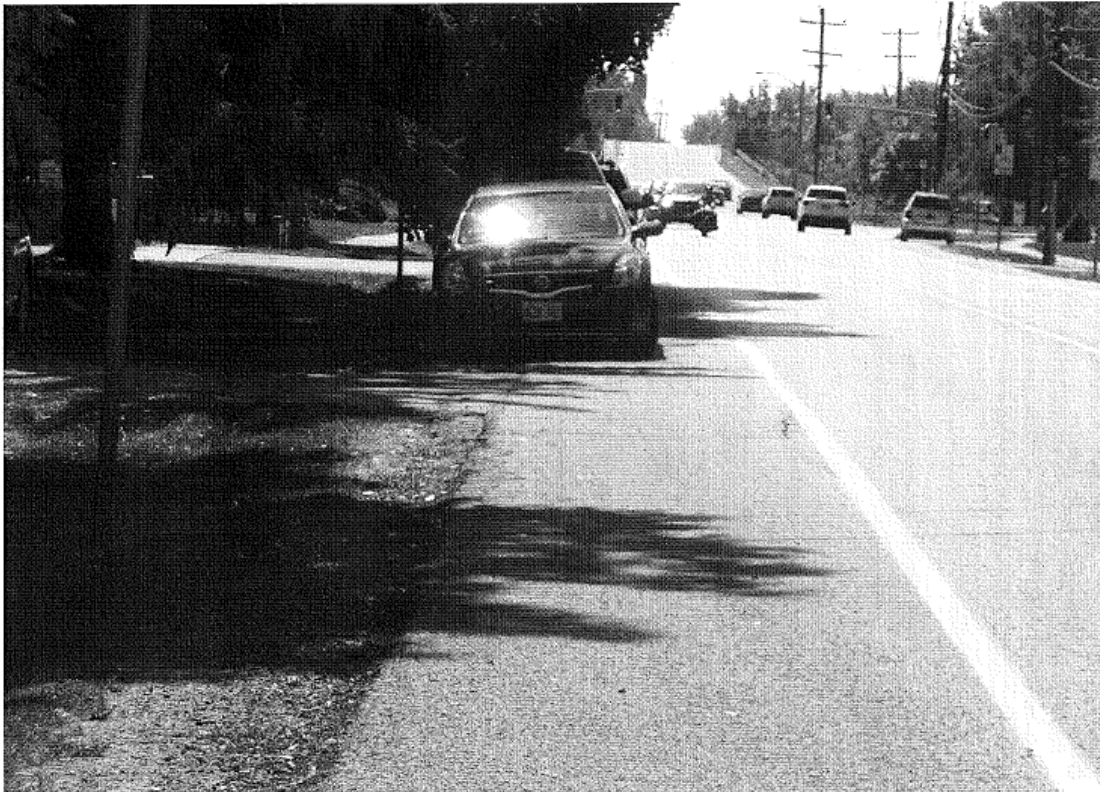
From: Murray Smith [redacted]

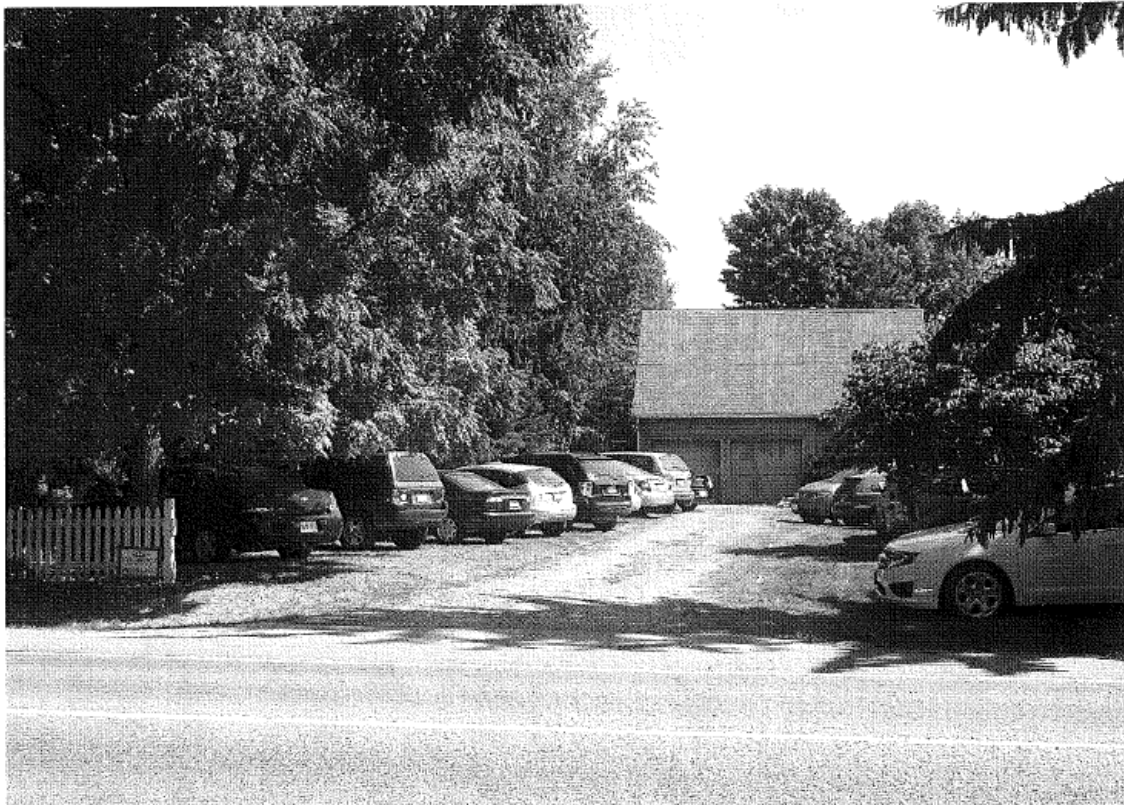
Sent: Monday, August 27, 2012 9:29 AM

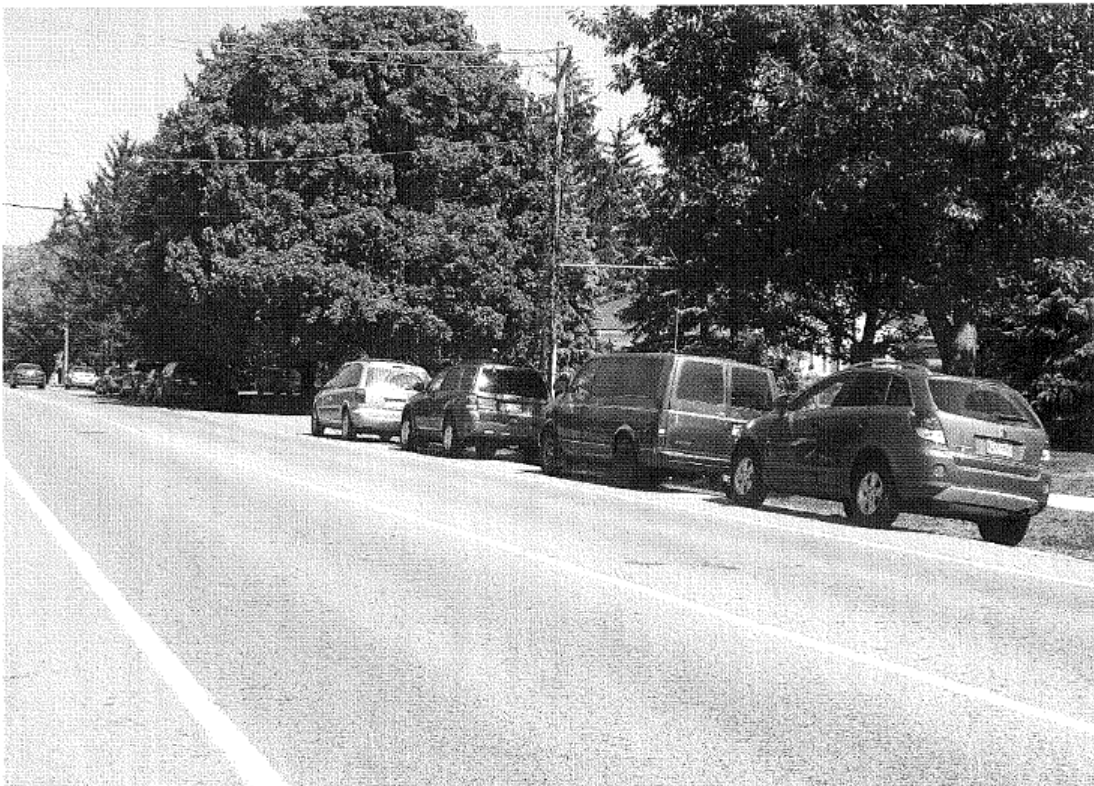
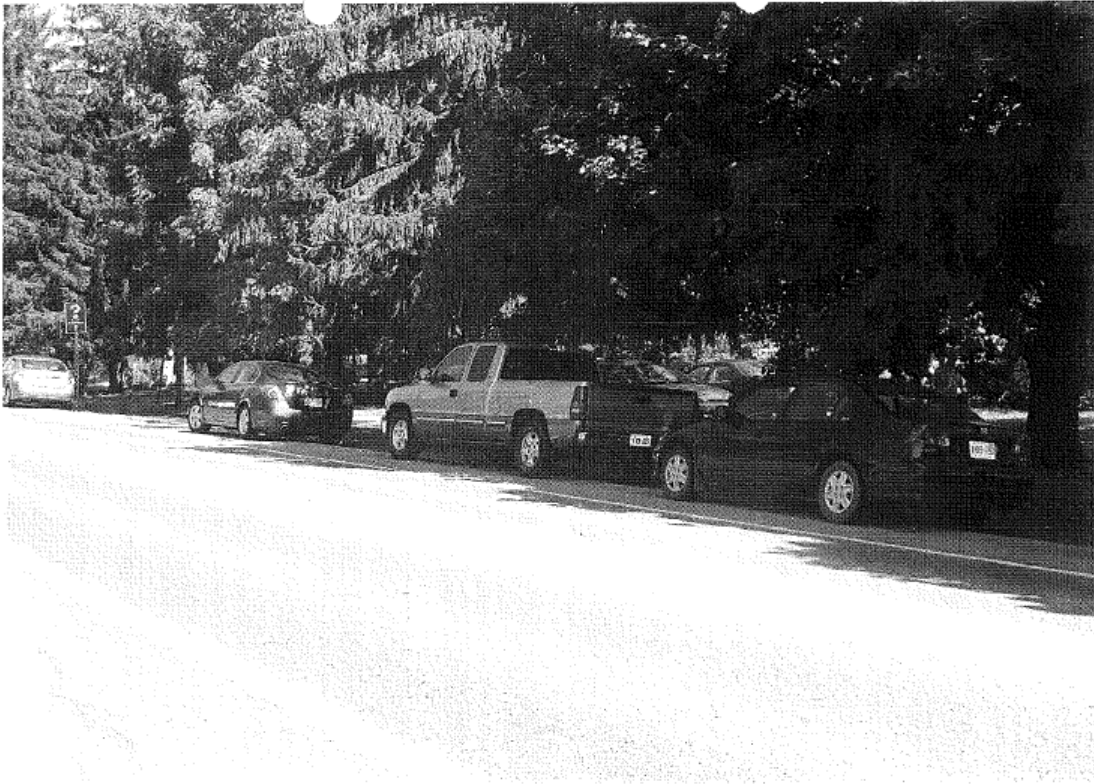
To: Ferguson, Lloyd; Mihaljevic, Kate; Beth Goodger; B Burgon; Dean Belovari

Subject: Highgate Pictures

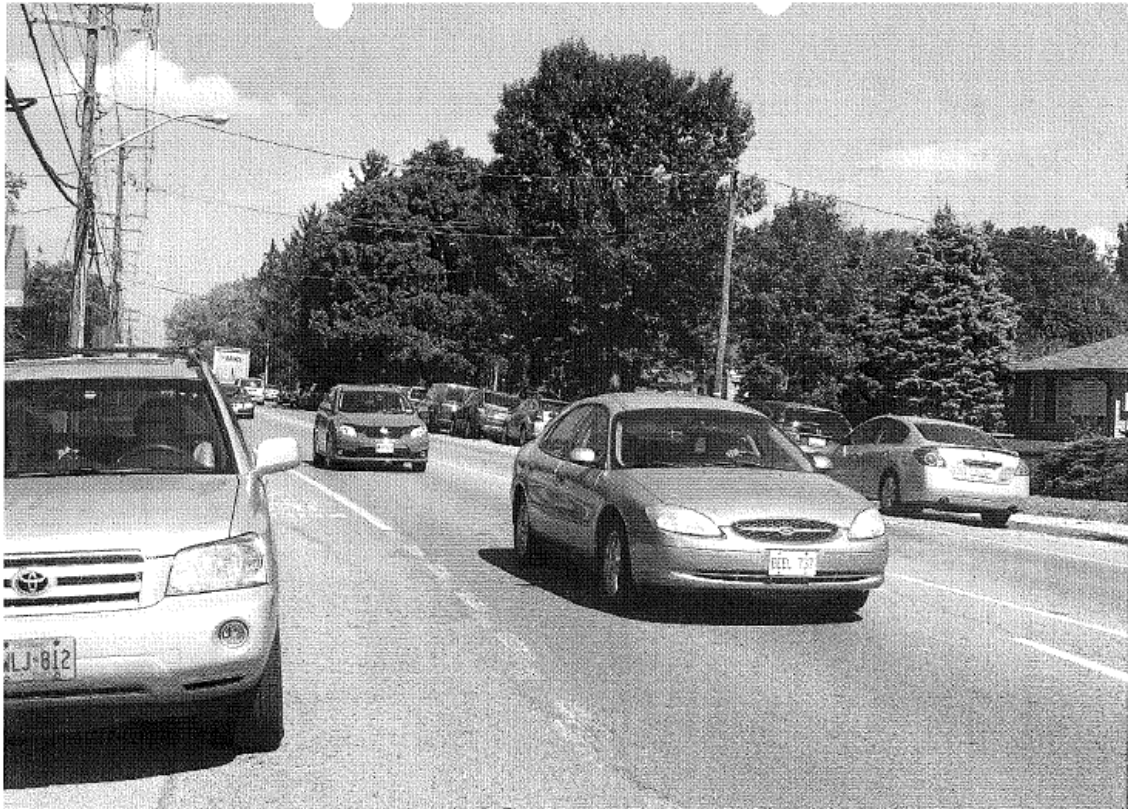
Please find attached a number of pictures taken on Sunday August 26th at 12:20 pm. in front of Highgate and our residence I also noticed a number of vehicles parked on Calvin.







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Mihaljevic, Kate

From: Mihaljevic, Kate
Sent: Friday, August 31, 2012 3:51 PM
To: [REDACTED]
Cc: Ferguson, Lloyd; John, Edward; Robichaud, Steve; Mallard, Paul; McCabe, Tim
Subject: FW: 326 Fiddlers Green & Highgate Retirement Home

Hi Jake,

Thank you for your letter. I wanted to help provide clarity regarding the process of this application.

Please note that the City of Hamilton has not approved any development application respecting an increase to the number of units at the existing retirement home.

You would have received notice in the mail, and by now noticed the sign posted at the property for a proposed increase in the number of units/residents at the existing Highgate Retirement Home across the street from your property. This application was deemed to be complete on July 27th, 2012. In accordance with the Planning Act notice was issued to residents within 120m of the property after the application was deemed complete (August 3rd, 2012). The proposal is for an increase up to 100 units /120 residents to be facilitated by a 3-story addition to the front of the building and an increase to the number of parking spaces provided.

The notice issued to you is the beginning steps to open the lines of communication between concerned/interested residents in the community like yourself and the City in order for us to evaluate the application against policies and your concerns/questions with the proposal. In your letter you have raised some important issues regarding traffic congestion and the impact to property values. At the present time we are still in the review stages of this application. Following our review, I will be in a better position to respond to them.

I thank you in advance for your patience through this process. Should you wish to provide any additional comments that you feel you didn't include in your letter, please do not hesitate to send through a new one. Both will be included in our review and responded to accordingly.

Please feel free to contact me directly with any questions you may have regarding this process.

Thank you,
Kate Mihaljevic, BES, MCIP, RPP
Planner II, Development Planning Section (West)
Planning and Economic Development Department
City of Hamilton
71 Main Street West, 5th Floor
Hamilton, ON L8P 4Y5
Tel: (905) 546-2424 Ext.4424
Fax: (905) 546-4202
E-mail: kate.mihaljevic@hamilton.ca
Web site: www.hamilton.ca

August 29, 2012

Kate Mihaljevic
City of Hamilton
Email: kate.mihaljevic@hamilton.ca
Copy: Lloyd.Ferguson@hamilton.ca

Re: File No. ZAC-12-021 regarding 307 and 325 Fiddlers Green Road

My name is Jake Lukovic and I reside @ 326 Fiddlers Green Road, across the road from Highgate Retirement Home.

I purchased my home in September of 2011 and have done extensive renovations to the house since moving in.

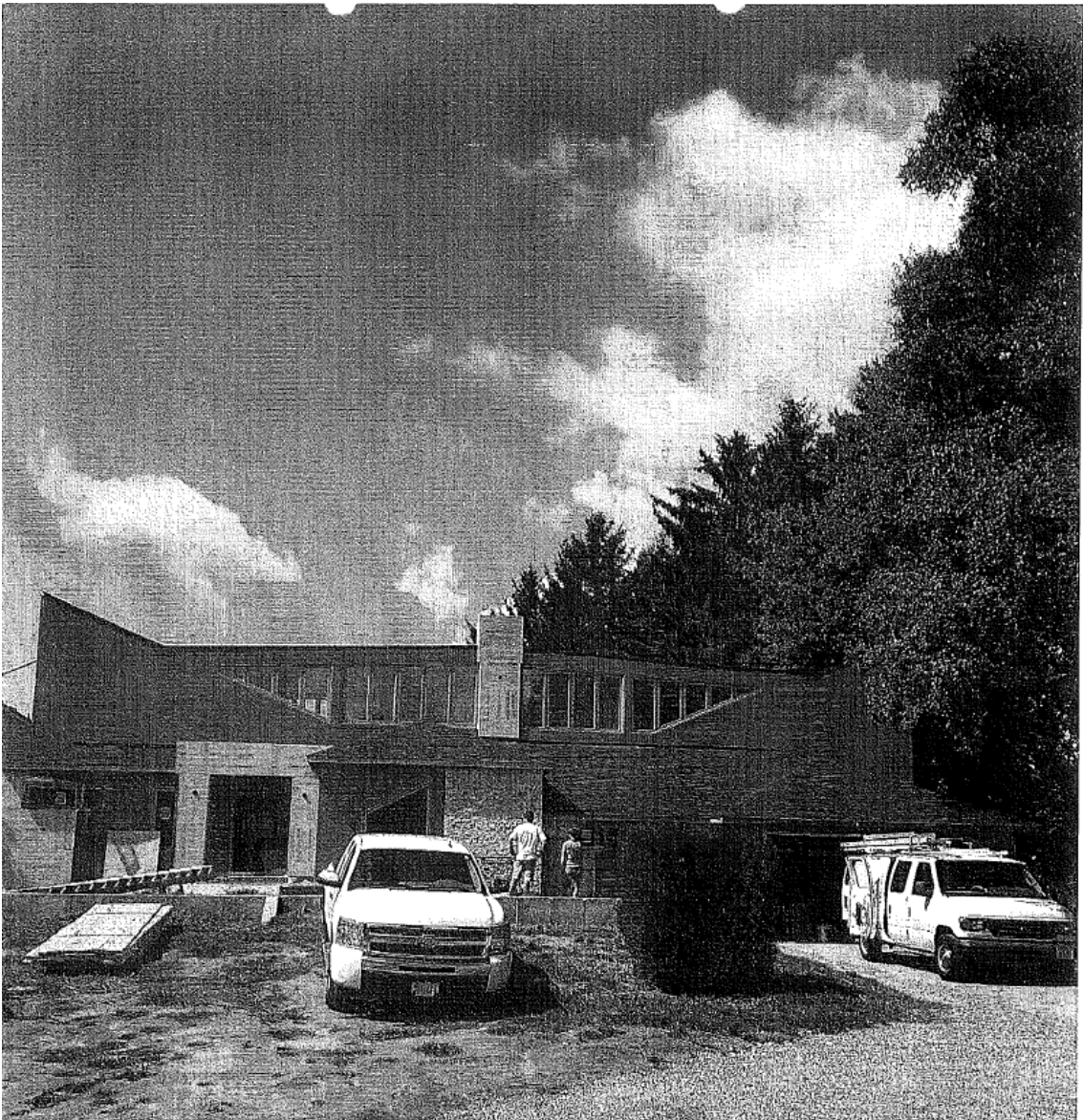
While I was aware that I would live on the same street as the Highgate Retirement Home, I was still willing to invest in the property due to the fact that there were less than 50 units available and I felt my quality of life would not change with such a small amount of residences.

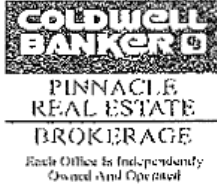
To my dismay, I have now discovered that the City of Hamilton has approved the addition of 120 units to be added to the existing retirement home.

My concerns are as follows:

- There was no communication during or after negotiations to purchase my home informing me that the retirement home was going to expand by such a large number of units, not to mention that the retirement home is now going to be 3 floors.
- This is a 60% increase which will affect the value of all homes that currently are within a block of the retirement home.
- The City of Hamilton should have notified any new home buyers of the proposal to add on the 120 units so I could have had the opportunity to re-think my purchase and the costly renovations I have now completed to my home.

- The extensive renovations completed on the home are now of no value due to the fact that the re-sale value will be greatly depreciated due to the expansion of the home.
- The increase in the volume of traffic and noise will be extreme and a great deterrent to my family enjoying our new home.
- The value of my home is currently \$1.5 Million. I have enclosed photographs for your review.
- I feel that the City of Hamilton has now jeopardized my objective of earning my investment back from the house by approving the addition of the units.
- Is the City of Hamilton or the Highgate Retirement Home willing to meet with me in order to discuss how I recover the money I have invested in my home and how I would go about selling the home in the future.
- As a long term residence of the City of Hamilton, I chose to buy a house in Ancaster due to the fact that I would be able to offer a safe and quiet environment to my family; I now feel that the City and retirement home has jeopardized this.





318 DUNDURN STREET SOUTH, UNIT #1
HAMILTON, ON L8P 4L6
BUS: (905) 522-1110
FAX: (905) 522-1467
TOLL FREE: 1-877-935-1110

September 6, 2012

Kate Mihaljevic
City of Hamilton
Email: kate.mihaljevic@hamilton.ca
Copy: Lloyd.Ferguson@hamilton.ca

Re: File No. ZAC-12-021 regarding 307 and 325 Fiddlers Green Road

Please consider this letter as a formal complaint and objection to the above mentioned file No. ZAC-12-021 regarding 307 Fiddlers Green Road. As a realtor of Coldwell Banker, I am writing in support of my client Mr. Jake Lukovic, who resides at 326 Fiddlers Green Road, across the road from Highgate Retirement Home. He has also submitted a formal letter to you on August 29th.

My client Mr. Lukovic, purchased his home September of 2011. He was aware at that time, that his home would be located on the same street as a retirement residence and was comfortable in the fact that since, it was on such a small scale, less than 50 units, this would not cause any significant issues with the plans that he had for his property and therefore chose to invest. This he did and has done extensive renovations to his property which has increased the value of his home to \$1.5 million.

However, we have both now discovered that the City of Hamilton has approved the addition of 120 units to be added to the existing retirement home, this will make it a 3 storey building. My client and I were never informed of this amendment at any time during his purchase of the property. We should have been formally notified so that



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FAX: (905) 522-1467
TOLL FREE: 1-877-935-1110

my client would have had an opportunity to better understand the financial investment that he was making and what gains he would get in return. As such, an increase will affect the property value of my clients' home as well as those within the area. This will thereby negate any renovations that he has done to his property.

I imagine you will receive many similar objections from other residents living nearby and I trust you will meet with me and my client in order to discuss how he might recover the investment in his property.

Please acknowledge receipt of my letter and inform me as to the next steps in having a discussion with the parties involved.

Yours truly,

A handwritten signature in black ink, appearing to read "Nigel Garcia".

Nigel Garcia
Realtor Coldwell Banker

Thomas, Cameron

From: Murray Smith
Sent: Friday, April 26, 2013 6:10 PM
To: Thomas, Cameron; Ferguson, Lloyd; Bishop, Kathy
Subject: Highgate expansion May 6th meeting

Cam

Thank you for the call minutes ago regarding the upcoming May 6th meeting. Unfortunately, I will be away that week. I received an e-mail from Mike Street and he too is away. Is there any chance of having the meeting a week or two later - week of May 13th or the 20th?

I was under the impression that the City would review and get back to us in January sometime. My concern is that we will again have to defend our position in the summer months when many people leave for vacation.

As I mentioned to you I am the neighbor directly beside the proposed development and have strong opposition to this development. I would hope that you would reconsider the date of this meeting. Also, please consider contacting all the other people who attended Councillor Ferguson's earlier Citizens Meeting so that they could have the opportunity to attend.

As I have stated this development will impact a lot more people than just the ones adjacent to the property. If you need a few hundred more signatures than the 325 or so provided that can be arranged. Please advise.

If you would like to meet me on April 29th or the morning of April 30th or May 1 that can be arranged. Please advise.

Thanks again for keeping me informed.

Murray Smith

Thomas, Cameron

From: Ferguson, Lloyd
Sent: Thursday, June 06, 2013 12:13 PM
To: 'Murray Smith'; Thomas, Cameron; John, Edward
Subject: RE: Highgate Expansion

Cam, I do agree with the four points in the Smith's e-mail below.

Lloyd Ferguson
Ancaster Councillor
Ward 12
905-546-2704
From: Murray Smith [mailto:murraysmith6@gmail.com]
Sent: Thursday, June 06, 2013 12:05 PM
To: Thomas, Cameron; John, Edward; Ferguson, Lloyd
Subject: Highgate Expansion

Good morning Cameron

This morning we met with Councillor Lloyd Ferguson regarding the proposed expansion to Highgate.

I have enclosed the letter of objection written to Kate Mihaljevic that we sent August 10th 2012 at the end of this e-mail. Cam we are still very much against this expansive type of development next door. As a compromise we pointed out to Lloyd that we would be far more amicable if they were to maintain the original footprint and add a second floor to increase the occupancy. This would also alleviate some of the parking issues.

We will not be attending the open house in June as we will be out of town on that date.

There were four points regardless of what plan is adopted that we would like to see addressed and that Lloyd also supported in our meeting this morning:

1. The garbage bin/storage should be moved from adjacent to our property.
2. The parking lot lighting should not have been relocated adjacent to our property and should have shields installed to prevent spillage.
3. They should use the existing driveway and curve it around the building to access the parking.
4. We are concerned about the numerous parking spots adjacent to our property line. We are opposed to the planned wooden fencing. They should provide a berm (to block vehicle headlights) with an irrigated cedar hedge on top (to provide privacy). This berm needs to be placed a sufficient distance from our property line to prevent drainage issues on our property.

We look forward to your comments.

Murray and Sheila Smith
299 Fiddlers Green Road
Ancaster, Ontario
L9G 1W9

Below is a copy of the e-mail to Kate from August 10, 2012 as mentioned above:

Re: File ZAC-12-021

We reside at 299 Fiddlers Green Rd. in Ancaster and have the following concerns with respect to this application:

1. The construction of the addition in close proximity to Fiddlers Green Road. The plans show it is crammed in this lot and we feel it will be an imposing landmark and adversely affect the character of our neighbourhood- we understand that it is to be 3 stories high.

2. The increase in units from 41 to 100 (approx. 150% will bring about a number of negative impacts on the neighbourhood including impacts on

- i) traffic on Fiddlers Green
- ii) parking on Fiddlers Green- currently when they have an event there is approx 30 vehicles that park on the shoulders which creates a safety hazard for the motorists on Fiddlers Green as well as the neighbours trying to exit their own driveways, in addition this parking is on the bike lanes. An increase to the number of units will only increase the parking on the street and create more of a hazard.
- iii) The additional ground coverage with the addition of the new building, parking, driveway etc. we feel will create a drainage issue as currently in the spring we have approx. 8" to 12" of ice and water in our ditch. The proposed driveway in addition to the close proximity of the proposed new building we fear will not allow enough green space and drainage opportunities adjacent to our home.
- iv) snow removal may become an issue resulting in accumulation on our property and resultant impacts on vegetation or the blocking of visibility when exiting our property.
- v) we feel that having the driveway repositioned from the center of their property to the edge of ours will create number of problems including difficulty in getting out of our driveway. Also, an increase in the number of units will mean more residents and more staff using the driveway.
- vi) Emergency response vehicles which frequently enter this property will increase with an increase in residency and this driveway which is proposed to run adjacent to our home will impact our quality of life with ambulance and fire vehicles entering and exiting at all hours (lights and noise). The driveway should be left where it is- in the centre of their property.
- vii) The mature vegetation including trees which currently exist along our property line and provide privacy and shade should remain and not be torn down.
- viii) Garbage- with an increase in residency will come an increase in garbage and the associated odors and pick-up issues.
- ix) we question whether the current infrastructure capacity (water mains, sewer, storm drains, electricity etc.) can support the additional units along with the continued intensification which is proposed for this neighbourhood
- x) Light spillage - on this property, it appears that lighting will be moved closer to our property which will interfere with our quality of life (lights in our bedroom at night)
- xi) Other associated issues arising from an increase in units (for example, noise from air conditioning units)

We object to an increase to 100 units. We would not object to the new owner increasing the current 41 units to 50 units and we would not object to changing the zoning of 307 Fiddlers Green to I 2 provided that the total number of units on the combined property of 307 and 325 Fiddlers Green does not exceed 50 units.

Kate - could you please forward this e-mail to the Councillors

06/10/2013

Murray and Sheila Smith
299 Fiddlers Green Road
Ancaster, Ontario
L9G 1W9

Mihaljevic, Kate

From: Murray Smith
Sent: Thursday, August 23, 2012 10:47 PM
To: Mihaljevic, Kate
Cc: Ferguson, Lloyd
Subject: File Number ZAC-12-021-Petition

Kate,

Please find attached a petition with 325 signatures in opposition to the zoning by-law amendment application (File No. ZAC-12-021), permitting the expansion of the existing retirement home for 100 units.

We have the original copies of the signed petition.

Looking forward to our meeting on August 27, 2012 at 1:30 p.m. in Ancaster.

Murray & Sheila Smith

PETITION

Re: 307 and 325 Fiddlers Green Road

We, the undersigned wish to express our opposition to the zoning by-law amendment application (File No. ZAC-12-021), permitting the expansion of the existing retirement home for 100 units.

We believe this property cannot accommodate and function with an imposing expansion of this scale, nor is it compatible with the character of the neighbourhood. In addition, it is contrary to the new City of Hamilton Zoning By-law 05-200, Zone I 2 which allows for a maximum of 50 residents.

We respectfully request that the named application be denied.

Citizen Name	Address	Signature
DAVE FALLIS	300 MAPLEDENE DR	Dave Fallis
DAVE FALLIS	300 Mapledene Dr.	Dave Fallis
Jan Cooper	297 Mapledene Dr	Jan Cooper
Jane Cooper	297 Mapledene Dr	Jane Cooper
Wayne Kellogg	306 MAPLEDENE DR	Wayne Kellogg
Diana Northrup	307 Mapledene	Diana Northrup
Paul Johnson	" "	Paul Johnson
Leis Vormittag	303 Mapledene Dr	Leis Vormittag
Frank Vormittag	303 Mapledene Dr.	Frank Vormittag
Clare Macdonald	312 Mapledene Dr	CLARE MACDONALD
Norm Macdonald	" "	Norm Macdonald
Vic Stevens	315 "	VIC STEVENS
Corinne Stevens	315 "	CORINNE STEVENS
Debra Sutherland	318 "	Debra Sutherland
Dale Sutherland	318 Mapledene Dr.	Dale Sutherland
Tracy Sims	283 Mapledene Dr	Tracy Sims
Tracy Sims	283 MAPLEDENE DR	Tracy Sims
Hilke Schottler	284 Mapledene Dr.	Hilke Schottler
Michael Schottler	" "	H. SCHOTTLER
Michael Triggall	292 Mapledene Dr	Michael Triggall
HEBBA HALLIDAY	292 MAPLEDENE DR	Hebba Halliday

PETITION

Re: 307 and 325 Fiddlers Green Road

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We respectfully request that the named application be denied.

Citizen Name	Address	Signature
MURRAY SMITH	299 FIDDLERS GREEN RD	Murray Smith
SHEILA SMITH	299 FIDDLERS GREEN RD	Sheila Smith
Michael Carleton	292 FIDDLERS GREEN RD	Michael Carleton
EDITH CARLTON	292 FIDDLERS GREEN RD	Edith Carlton
Sue Galloway	273 Fiddlers Green Rd	Sue Galloway
Blair TIM BLORE	296 FIDDLERS GREEN RD	Blair
WENDY WEAVER	347 FIDDLERS GREEN RD	Wendy Weaver
Mirko Vasilic	357 Fiddlers Green Rd	Mirko Vasilic
DIAN VASIC	317 Fiddlers Green Rd	Diane Vasic
Nan Glancy	365 Fiddlers Green Rd	Nan Glancy
PAT GLANCY	"	Pat Glancy
Veronica Ram	11 Hutton Dr.	Veronica Ram
RACINA CAILIERI	13 Hutton Dr	Racina Cailieri
Jay Supp	277 FIDDLERS GREEN RD	Jay Supp
Michael Moore	271 FIDDLERS GREEN RD	Michael Moore
JULIE NEIL	276 FIDDLERS GREEN RD	Julie Neil
Joyce Nien	276 FIDDLERS GREEN RD	Joyce Nien
TRICIA COOPER	156 FIDDLERS GREEN ROAD	Tricia Cooper
Ewan Macintyre	125 Wilson W	Ewan Macintyre
Ladislav Veronicky	34 Oakley Cir.	Ladislav Veronicky



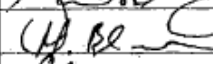
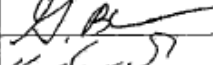
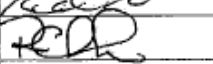

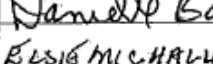
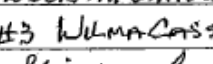
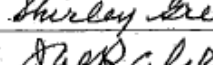
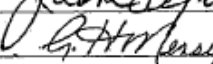
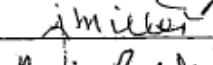
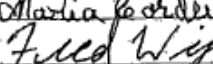
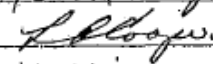
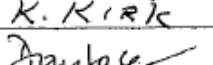
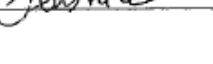




PETITION

Re: 307 and 325 Fiddlers Green Road

We, the undersigned wish to express our opposition to the zoning by-law amendment application (File No. ZAC-12-021), permitting the expansion of the existing retirement home for 100 units.

We believe this property cannot accommodate and function with an imposing expansion of this scale, nor is it compatible with the character of the neighbourhood. In addition, it is contrary to the new City of Hamilton Zoning By-law 05-200, Zone I 2 which allows for a maximum of 50 residents.

We respectfully request that the named application be denied.

Citizen Name	Address	Signature
Michael Smith	299 Fiddlers Green Rd	
Ed Mahony	259 Fiddlers Green Rd	
Janet Mahony	259 Fiddlers Green Rd	
MENAY BLOEMSON	231 FIDDLERS GREEN RD	
Grace Bloemson	231 Fiddlers Green Rd	
Kathy White	219 Fiddlers Green Rd	
RANDY CLARKE	201 FIDDLERS GREEN RD	
Barton Boutin	189 Fiddlers Green Rd	
Danielle Boutin	189 Fiddlers Green Rd	
Elvis Michaluk	175 FIDDLERS GREEN RD	
Wilma Cassidy	175 FIDDLERS GREEN RD #3	
SHIRLEY GREIG	175 FIDDLERS GREEN #4	
JACK GREIG	175-4 FIDDLERS GR.	
Genie Messink	175-5 FIDDLERS GREEN	
Jean Miller	175-6 Fiddlers Green	
Marina Bordino	175 #8	
Fred Wigle	175 #10	
Linda Cooper	175-11 Fiddlers Green Rd.	
Kathleen Kirk	175-12 Fiddlers Green Rd	
Doreen Enoka	14-175	

PETITION

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We respectfully request that the named application be denied.

Citizen Name	Address	Signature
JANE LEYLAND	16-175 Fiddlers Green Rd	J. Leyland
Juan T. HULLENBAR	135-17 FIDDLERS GREEN RD	Juan T. Hullenbar
D. Hamilton	175 Fiddler's Gr. Unit # 69	D. Hamilton
M. Johnson	53-175 Fiddler's Gr. Rd.	M. Johnson
Christie Johnson	53-175 Fiddler's Green	Christie Johnson
PAUL SMITH	297 FIDDLERS GREEN	Paul Smith
NORMA FOWLER	241 FIDDLERS GREEN	Norma Fowler
JOE SARDO	225 FIDDLERS GREEN	Joe SarDO
Deirdre Morrison	205 Fiddler's Green	Deirdre Morrison
Loreto Leombruni	131 Fiddler's Green	Loreto Leombruni
ANNA JONES	115 FIDDLERS GREEN RD	Anna Jones
ALICIA BESS	95 FIDDLERS GREEN	Alicia Bess
R.W. KNOWLES	85 FIDDLERS GREEN	R.W. Knowles
Z. Knowles	"	ZEL KNOWLES
M. Hancock	99 Channing Ct	M. Hancock
Ann Wilkerson	104 Fiddler Green	Ann Wilkerson
Maat Watters	140 Fiddlers Green	Maat Watters
DAVE GALLANT	148 FIDDLERS GR	Dave Gallant
CAROL MOSSEY	148 FIDDLERS GREEN	Carol Mossey
Flora Cooper	156 Fiddler's Green	Flora Cooper

PETITION

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We respectfully request that the named application be denied.

Citizen Name	Address	Signature
Gyula Radics	28 Oakley	Gyula Radics
MURIEL CARRUTHERS	10 Oakley	Muriel Carruthers
JOHN CARRUTHERS	10 Oakley	John Carruthers
HANNA NUDDS	11 CUMMING CRT.	Hanna Nudds
CARY NUDDS	" "	Cary Nudds
CAREY RAIKE	15 CUMMING CRT.	Carey Raiké
Barb Hill	102 Carrington Ct.	Barb Hill
PICHERSHUKAT	320 F. D. Herbs Dr.	Pichershukat
IRENE SHOLKA	320 FIDDLERS GR. RD	Irene Sholka
CRAIG JEWETT	340 FIDDLERS GREEN RD	Craig Jewett
VALERIE JEWETT	" " " "	Valerie Jewett
P. KUYTJES	45 SYMPHONY PL.	P. Kuytjes
R. JONES	45 CARNEGIE PL	R. Jones
DALE McQUEEN	49 CARNEGIE PL	Dale McQueen
Barb Stinson	57 Carnegie Place	Barb Stinson
M. Gerofsky	65 Carnegie Place	M. Gerofsky
F. MAMONE	61 CARNEGIE PLACE	F. Mamone
A. Beit	84 Carnegie Pl.	A. Beit
T. HARJEY	80 CARNEGIE PL	T. Harjeay
D. BROWN	76 CARNEGIE PL.	D. Brown

PETITION

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We respectfully request that the named application be denied.

Citizen Name	Address	Signature
Dr P. Martin	53 Hatton Dr.	[Signature]
Angie Robson	49 HATTON DR	[Signature]
Mike Dean	35 Hatton DR	[Signature]
FRANCINE H.	38 Hatton Dr.	[Signature] Hladysk
DAVE G	38 Hatton Dr	David Gattie
Stale Yawler	32 Hatton Dr.	[Signature]
Darren Daskaluk	25 Hatton Dr	[Signature]
Brian McCreany	11 Hatton Dr	RYAN McCreany
MICHAEL JACKSON	34 CALVIN ST	[Signature]
Linda Craig	54 Calvin St.	[Signature]
Jan Craig	" " "	[Signature]
MARK SOWINSKI	59 " "	[Signature]
Nick Dean	66 calvin	[Signature]
Anne Kayler	72 Calvin	[Signature]
Chris Naylor	73 Calvin	[Signature]
SCOTT STAFFORD	111 CALVIN	[Signature]
Stacy Stafford	111 CALVIN	Stacy Stafford
Wendy Milligan	341 Woodward	[Signature]
Ralph Hetta	324 Woodward	[Signature]
F. Bruno	316 Woodward Dr.	[Signature]

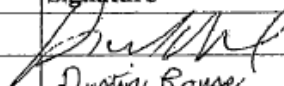
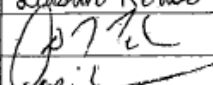
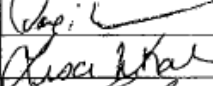
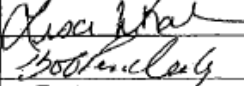
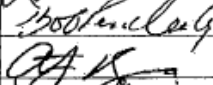
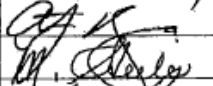

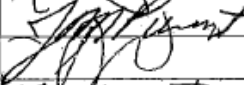
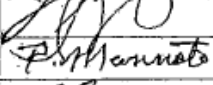
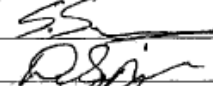
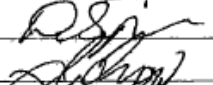
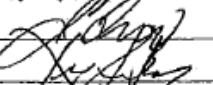
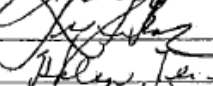
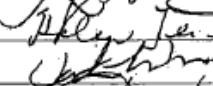



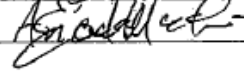
PETITION

Re: 307 and 325 Fiddlers Green Road

We, the undersigned wish to express our opposition to the zoning by-law amendment application (File No. ZAC-12-021), permitting the expansion of the existing retirement home for 100 units.

We believe this property cannot accommodate and function with an imposing expansion of this scale, nor is it compatible with the character of the neighbourhood. In addition, it is contrary to the new City of Hamilton Zoning By-law 05-200, Zone I 2 which allows for a maximum of 50 residents.

We respectfully request that the named application be denied.

Citizen Name	Address	Signature
Jack DiSalvo	65 Amberly	
Dustin Rouse	81 Amberly	Dustin Rouse
DAVID TAYLOR	85 AMBERLY	
DAVE WHALLEN	93 AMBERLY BLD	
LISA WHALLEN	93 AMBERLY BLD.	
BOB PAUDLEBURY	455 COTTINGHAM CR	
ANTHONY RONZI	9 LEITH CT.	
MARGARIE STEELE	17 LEITH COURT	
JOHN PARENT	107 AMBERLY BL	
Liz Kardala	208 Stachacoma W	
PETER MANNISB	115 AMBERLY	P. Mannisb
SEAN SLESBY	123 Amberly	
DAVID SIEB	177 AMBERLY	
John Irvine	135 Amberly	
SUN-PUI LEUNG	472 MELANIE CRES.	
Helen Leung	472 Melaine Cres.	
Jon Price	153 AMBERLY BLVD	
Chantall Van Raay	161 Amberly Blvd	
O Bennett	165 Amberly Blvd	
E. Merchison	187 Amberly Blvd	

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Citizen Name	Address	Signature
Paul Corrigan	213 Amberly Blvd	<i>Paul Corrigan</i>
Bonnie Angelini	191 Cornwallis Rd.	<i>Bonnie Angelini</i>
Jeffrey Holk	217 Amberly Blvd	<i>Jeffrey Holk</i>
Lee Somers	233 Amberly Blvd	<i>Lee Somers</i>
JAMES VALLENTIN	237 AMBERLY BLVD.	<i>James Valentin</i>
LINDA VALLENTIN	237 AMBERLY BLVD.	<i>Linda Valentin</i>
John D. Page & Spouse	220 AMBERLY BLVD	JOHN D. PAGE
Ken Dunlop	221 Amberly Blvd	<i>Ken Dunlop</i>
Susan Fitzgerald	212 Amberly Blvd.	<i>Susan Fitzgerald</i>
Ann Becker	200 Amberly Blvd	<i>Ann Becker</i>
Ron Becker	200 Amberly Blvd	<i>Ron Becker</i>
Karen Paton	196 Amberly Blvd	<i>Karen Paton</i>
J. Paton	196 AMBERLY BLVD	<i>J. Paton</i>
J. Williams	192 Amberly Blvd	<i>J. Williams</i>
JANICE THOMPSON	192 AMBERLY BLVD	<i>Janice Thompson</i>
Enrico Seminerio	188 Amberly Blvd.	<i>Enrico Seminerio</i>
Ryan Shields	152 Amberly Blvd	<i>Ryan Shields</i>
Paul Casey	128 Amberly Blvd	<i>Paul Casey</i>
Helen Guthrie	140 Amberly Blvd	<i>Helen Guthrie</i>
James Guthrie	140 Amberly Blvd	<i>James Guthrie</i>

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Citizen Name	Address	Signature
KEAL F DAVIES	175 FIDDLERS GREEN #36	[Signature]
MARGARET DAVIES	" " #36	[Signature]
THERESA ALLEN	175 FIDDLERS GREEN #33	[Signature]
EDWARD ALLEN	175 FIDDLERS GREEN #33	[Signature]
RUTH ST AUBIN	175 FIDDLERS GREEN #33	[Signature]
JAKE LUKOVIC	326 FIDDLERS GREEN	[Signature]
RICK HAYWARD	26 KENNEDY AVE	[Signature]
H J SICKINSON	32 ENMORE	[Signature]
VON TROPASSO	44 ENMORE AVE	[Signature]
ELIZABETH KEAST	50 ENMORE AVE	[Signature]
JIM GILLATHY	68 ENMORE AVE	[Signature]
Colleen Burns	80 Enmore Ave.	[Signature]
Vicki Stevens	102 Hutton Dr	[Signature]
Charllette Lawson	101 Hutton Dr.	[Signature]
Tony Perry	79 Hutton Dr.	[Signature]
Lisa BLANK	79 Hutton Dr.	[Signature]
Bill Russell	78 Hutton Dr.	[Signature]
CAROL & MIKE STREET	73 HUTTON DR	[Signature]
Sandy Pearson	67 HUTTON DR.	[Signature]
Henry Beyersdorp	61 HUTTON DR.	[Signature]

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Citizen Name	Address	Signature
SHEILA HOLLINGSWORTH	31 RAVINA CRES ANCASTER	[Signature]
ROSS HOLLINGSWORTH	" " " "	[Signature]
Robert Busch	27 Ravina Cr. Ancaster	[Signature]
Teansa Busch	" " " "	[Signature]
ELAINE REID	28 Ravina Cres.	[Signature]
Joseph Pat Doucette	30 RAVINA CRES	[Signature]
Donna Doucette	30 RAVINA CRES.	[Signature]
DAVID A. BARBOUR	36 RAVINA CRES	[Signature]
EMILY TUFF	32 RAVINA CR	[Signature]
Darce Daines	37 RAVINA CRES.	[Signature]
MARY ANN GACE	46 RAVINA CRES	[Signature]
Deborah Tamminga	43 Ravina Cres.	[Signature]
Geoff Each	40 Ravina Cres.	[Signature]
TOM WAIFE	55 RAVINA CRES.	[Signature]
Jan Waife	55 Ravina Cres.	[Signature]
Doreen McCurrie	61 RAVINA CRES.	[Signature]
WANDA & PAT LYNCH	467 Robin	[Signature]
MARION RADIGAN	20 RAVINA CRES.	[Signature]
Stephen Fraser	18 Ravina Cres.	[Signature]
Kelly Fraser	18 Ravina Cres.	[Signature]

PETITION

Re: 307 and 325 Fiddlers Green Road

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Citizen Name	Address	Signature
Wale Jiggs	5 Ravina Cres.	Gale Zizzo
J. Brittan	13 Ravinmont	Mrs Brittan
Lorna Houston	7 Ravina Court	Lorna Houston
CHARLES HUNTER	7 Ravina Court	Charles Hunter
L. Rabey	239 Roseway Lane	L. Rabey
Fabricia Burgin	25 Ravina Cres	Fabricia Burgin
Brend Burdow	25 Ravina Cres	Brend Burdow
SCOTT RAY	60 BROOKS	Scott Ray
Viv Shaw	68 Brooks Rd	Viv Shaw
FRANK PLAINO	69 Brooks Rd	Frank Plaino
Walt D Tette	77 BROOKS Rd	Walt Tette
YVONNE DIBIASE	#49-175 FIDDLERS GREEN	Yvonne Dibiase
Shirley Taylor	#47-175 Fiddlers Green	Shirley Taylor
Patrick Callaghan	46 Fiddlers Green	Patrick Callaghan
GRACE MILLER #45	175 FIDDLERS GREEN RD	Grace Miller
Rose Kazienko #43	175 Fiddlers Green Rd.	Rose Kazienko
Richarda May #40	175 Fiddlers Green Rd.	Richarda May
JEAN VANCE #38	175 Fiddlers Green Rd.	Jean Vance
C. POKORADI	68 Summerdale Pl	C. Pokoradi
JUNE DIDERO	37-175 Fiddlers G. Rd.	June Didero
Patr Didero	37-175 Fiddlers Rd	Patr Didero

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Citizen Name	Address	Signature
Carol Laue II	52 Symphony Pl	Carol Laue
KUIN WHALISY	56 Symphony	Kuin Whalisy
CAROL SNYDER	60 SYMPHONY PLACE	Carol Snyder
DON Snyder	60 Symphony Place	Don Snyder
Ken Wilson	69 Symphony Place	Ken Wilson
CLARA GIMMARO	65 SYMPHONY PLACE	Clara Gimmaro
PAUL Holmes	53 Symphony Pl	Paul Holmes
JENNIFER Ramsay	57 Symphony Pl	Jennifer Ramsay
CARL Cocchiolo	49 Symphony Pl	Carl Cocchiolo
Carolyn Cocchiolo	49 Symphony Pl	Carolyn Cocchiolo
WG Mallott	7 Amberly Blvd	WG Mallott
Debra Browning	17 Amberly Blvd	Debra Browning
CHRISTINA GRANTON	25 Amberly Blvd	Christina Granton
R. H. P. P. P.	29 Amberly Blvd	R. H. P. P. P.
Thomas Fontaine	33 Amberly	Thomas Fontaine
D Gordon	53 Amberly Blvd	DAVID GOLDAN
Jackie Bailey	57 Amberly Blvd	Jackie Bailey
JAMES POOT	61 Amberly Blvd	James Poot
BREDA POOT	61 Amberly Blvd	Breda Poot
CHRISTINA POOT	61 Amberly Blvd	Christina Poot

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We respectfully request that the named application be denied.

Citizen Name	Address	Signature
Steve Outanen	77 Carnegie Place Anc	[Signature]
Brenda HASKIN	81 Carnegie Place ^{Ancaster}	[Signature]
Veronica Hannon	89 Carnegie Place, Anc.	[Signature]
Wayne Hannon	89 Carnegie Place, Anc	[Signature]
Shelley Hayward	72 Carnegie Place, Anc	[Signature]
Laura Hayward	72 Carnegie Pl. Anc	[Signature]
DOUG HAYWARD	" " " "	[Signature]
Lindsay Hayward	" " " "	[Signature]
Mary Brown	76 Carnegie Pl, anc.	[Signature]
Sharon Outanen	77 Carnegie Place	[Signature]
Kyle Press	64 " "	[Signature]
Ross Unsworth	48 Carnegie Place	[Signature]
Dennis A. Pender	37 Symphony PLACE	[Signature]
V. Z-SL	33 Symphony Pl.	[Signature]
Allice HOUBE	28 Symphony Pl	[Signature]
Grace Soldgat	24 Concerto Ct.	[Signature]
Sophie Johnson	25 Symphony Pl	[Signature]
Brenda Markawa	48 Symphony Pl. Anc.	[Signature]
[Signature]	48 SYMPHONY PL. ANC.	[Signature]
[Signature]	448 W. Henry Cr.	[Signature]

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Citizen Name	Address	Signature
Anne Marie Smith	299 Fiddlers Green Rd.	<i>Anne Marie Smith</i>
George Draper	#14-280 Fiddlers Green Rd	<i>George Draper</i>
GARY ARMES	#16 " " "	<i>Gary Armes</i>
Susan Langegger	246 Fiddlers Gr. Rd.	<i>Susan Langegger</i>
JAVE CAMPBELL	2-210 FIDDLERS GR RD	<i>J. Campbell</i>
<i>Mrs Campbell</i>	" " " "	<i>Mrs Campbell</i>
<i>Margaret Scott</i>	4-210 Fiddlers Green Rd	<i>Margaret Scott</i>
Joyce Wyckoff	6-210 Fiddlers Green Rd	<i>Joyce Wyckoff</i>
BARRY HANSEN	6-210 " "	<i>Barry Hansen</i>
JANICE LARSON	200 FIDDLERS GREEN RD.	<i>Janice Larson</i>
Victoria Clair	186 Fiddlers Green Rd	<i>Victoria Clair</i>
Patrick Clair	" "	<i>Patrick Clair</i>
ROBERT BARR	5 GILBERT AVE	<i>Robert Barr</i>
Lloyd OAKES	62-175 Fiddlers Green	<i>Lloyd Oakes</i>
<i>D. Reynolds</i>	65-175 Fiddlers Green	<i>Doris Reynolds</i>
<i>T. Hueme</i>	#61-175 Fiddlers Green	<i>T. Hueme</i>
BARBARA WILKINS	60-175 FIDDLERS GREEN	<i>Barbara Wilkins</i>
C. PORTSMOUTH	57-175 Fiddlers Green	<i>C. Portsmouth</i>
<i>Edelton</i>	#56-175 " "	<i>E. HILTON</i>
<i>D. Moore</i>	50-175 Fiddlers Green	<i>D. Moore</i>

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Citizen Name	Address	Signature
T. St Michael	25 Douglas Rd.	T. St Michael
Andre Kosakowski	22 Douglas Rd	Andre Kosakowski
LESLIE BLANKSTH	58 Douglas Rd.	Leslie Blankst
BRIAN JONES	59 DOUGLAS RD	Brian Jones
Arnold Hoffmann	46 Douglas Rd	Arnold Hoffmann
V. JONES	59 Douglas Rd.	V. Jones
M. Montague	50 Valley View M	M. Montague
R. Ingrassia	50 Valley View	R. Ingrassia
N. Rozman	39 Douglas Rd.	N. Rozman
Kahokel	40 Douglas Rd.	Kahokel
OBILLIM	122 Rosemary Ln	OBILLIM
B. Brown	109 Rosemary Lane	B. Brown
(B. Brown)	109 Rosemary Lane	B. Brown
Ken Carr	105 Rosemary Lane	Ken Carr
STEVE ZIVANIC	79 ROSEMARY LN.	Steve Zivanic
VICKY ZIVANIC	79 ROSEMARY LN	V. Zivanic

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PETITION

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We respectfully request that the named application be denied.

Citizen Name	Address	Signature
Sandra Van Halbeek	33 Douglas Road	<i>[Signature]</i>
Cheryl Anne Miller	45 Douglas Road	<i>[Signature]</i>
<i>[Signature]</i>	" "	<i>[Signature]</i>
<i>[Signature]</i>	114 Rosemary Lane	<i>[Signature]</i>