COMMITTEE OF ADJUSTMENT



City Hall, 5th floor, 71 Main Street West, Hamilton, ON L8P 4Y5
Telephone (905) 546-2424, ext. 4221

E-mail: cofa@hamilton.ca

NOTICE OF PUBLIC HEARING Minor Variance

You are receiving this notice because you are either:

- Assessed owner of a property located within 60 metres of the subject property
- Applicant/agent on file, or
- Person likely to be interested in this application

APPLICATION	DN/A-24:05	SUBJECT	63 CROSS STREET, DUNDAS
NO.:		PROPERTY:	
ZONE:	"R2" (Single Detached	ZONING BY-	Zoning By-law former Town of
	Residential)	LAW:	Dundas 3581-86, as Amended

APPLICANTS: Owner: DAVID SMITH

Applicant: ANTHONY VENNERI

The following variances are requested:

- 1. To permit a maximum height of 5.5 metres for the proposed detached garage instead of the maximum permitted height of 4.0 metres.
- 2. To permit a maximum size of 54.0 square metres for the proposed detached garage instead of the maximum size permitted of 41.0 square metres.
- 3. To permit the proposed detached garage to be located closer to the flankage lot line than the principal dwelling.

PURPOSE & EFFECT: To facilitate the construction of a detached garage.

Notes:

Please be advised that a portion of this property is under Conservation Management. Please contact Hamilton Conservation at 905-525-2181 prior to any development.

This Notice must be posted by the owner of any land which contains seven or more residential units so that it is visible to all residents.

This application will be heard by the Committee as shown below:

DATE:	Tuesday, April 9, 2024
TIME:	1:50 p.m.

PLACE:	City Hall Council Chambers (71 Main St. W., Hamilton)

For more information on this matter, including access to drawings illustrating this request and other information submitted:

- Visit www.hamilton.ca/committeeofadjustment
- Visit Committee of Adjustment staff at 5th floor City Hall, 71 Main St. W., Hamilton

PUBLIC INPUT

Written: If you would like to submit written comments to the Committee of Adjustment you may do so via email or hardcopy. Comments can be submitted by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5. Written comments must be received no later than noon, April 5, 2024

Comments are available the Friday prior to the Hearing and are available on our website: www.hamilton.ca/committeeofadjustment

Orally: If you would like to speak to this item at the hearing you may do so by attending in person. Interested members of the public, agents, and owners who wish to participate in person may attendCouncil Chambers on the date and time listed on the Notice of Public Hearing. Please note, you will be required to provide your name and address for the record. It is advised that you arrive no less than 10 minutes before the time of the Public Hearing, as noted above.

We hope this is of assistance and if you need clarification or have any questions, please email cofa@hamilton.ca

FURTHER NOTIFICATION

If you wish to be notified of future Public Hearings, if applicable, regarding DN/A-24:05, you must submit a written request to cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.

If you wish to be provided a Notice of Decision, you must attend the Public Hearing and file a written request with the Secretary-Treasurer by emailing cofa@hamilton.ca or by mailing the Committee of Adjustment, City of Hamilton, 71 Main Street West, 5th Floor, Hamilton, Ontario, L8P 4Y5.



Subject Lands

DATED: March 21, 2024

Jamila Sheffield, Secretary-Treasurer Committee of Adjustment Information respecting this application is being collected under the authority of the Planning Act, R.S.O., 1990, c. P. 13. All comments and opinions submitted to the City of Hamilton on this matter, including the name, address, and contact information of persons submitting comments and/or opinions, will become part of the public record and will be made available to the Applicant and the general public, and may include posting electronic versions.

63 CROSS STREET, DUNDAS PROPOSED DETACHED GARAGE - STATISTICS

ZONED "R2" (CITY OF HAMILTON ZONING BY-LAW 3581-86) LOT AREA: 2459 m² (26,465 ft²)

HEIGHT

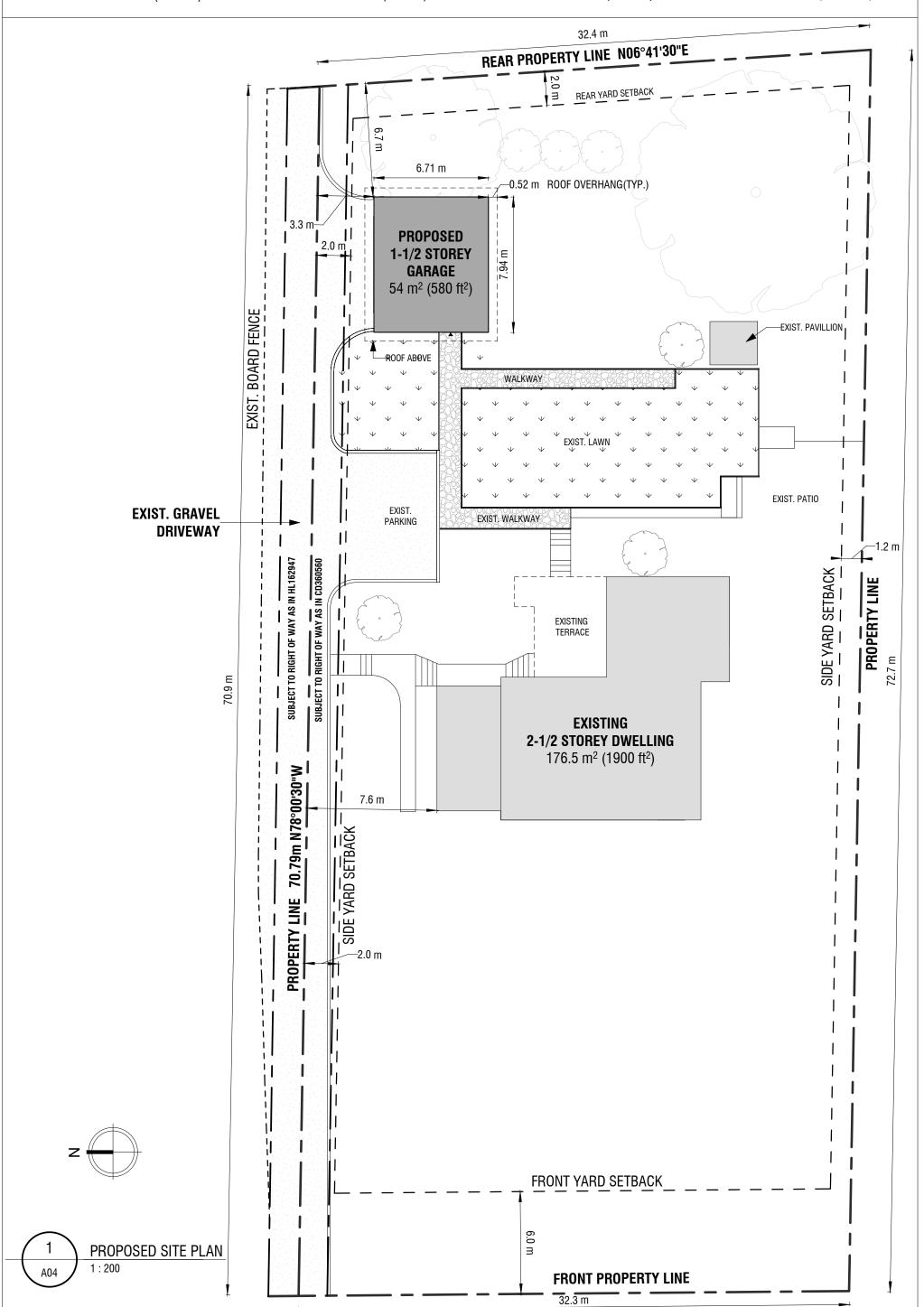
MAX PERMITTED: 4.0 m (13' - 1") PROPOSED: 5.5 m (18' - 0") AREA

MAX PERMITTED: 41 m²(441 ft²) PROPOSED: 54 m² (580 ft²)

REAR YARD

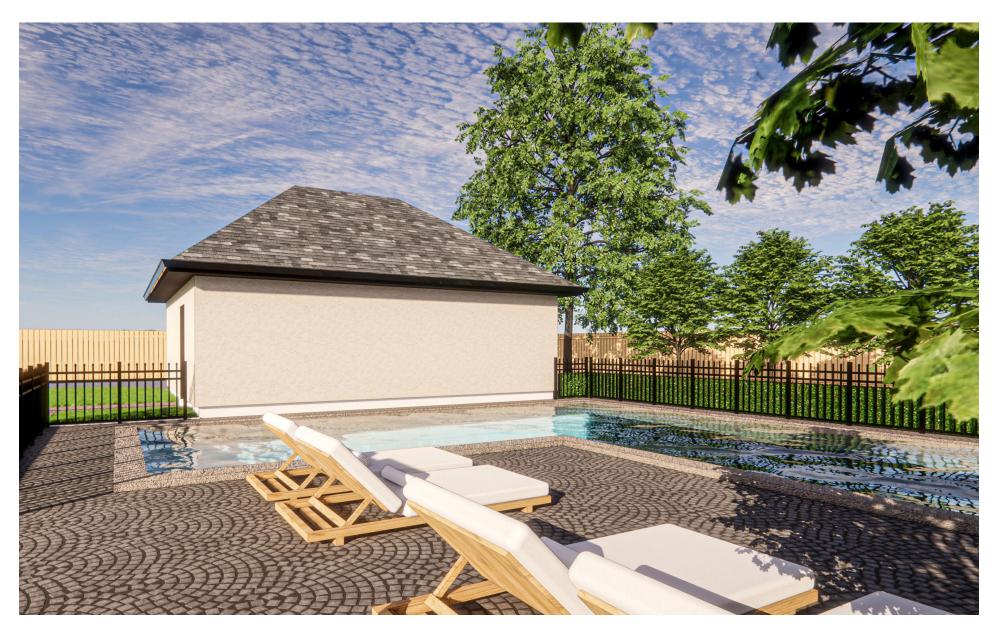
REQUIRED: 2.0 m (6' - 6 3/4") PROPOSED: 6.7 m (22' - 0") **WEST SIDE YARD**

REQUIRED: 2.0 m (6' - 6 3/4") PROPOSED: 3.3 m (10' - 10")









63 CROSS STREET - PROPOSED GARAGE



PROPOSED DETACHED GARAGE - STATISTICS

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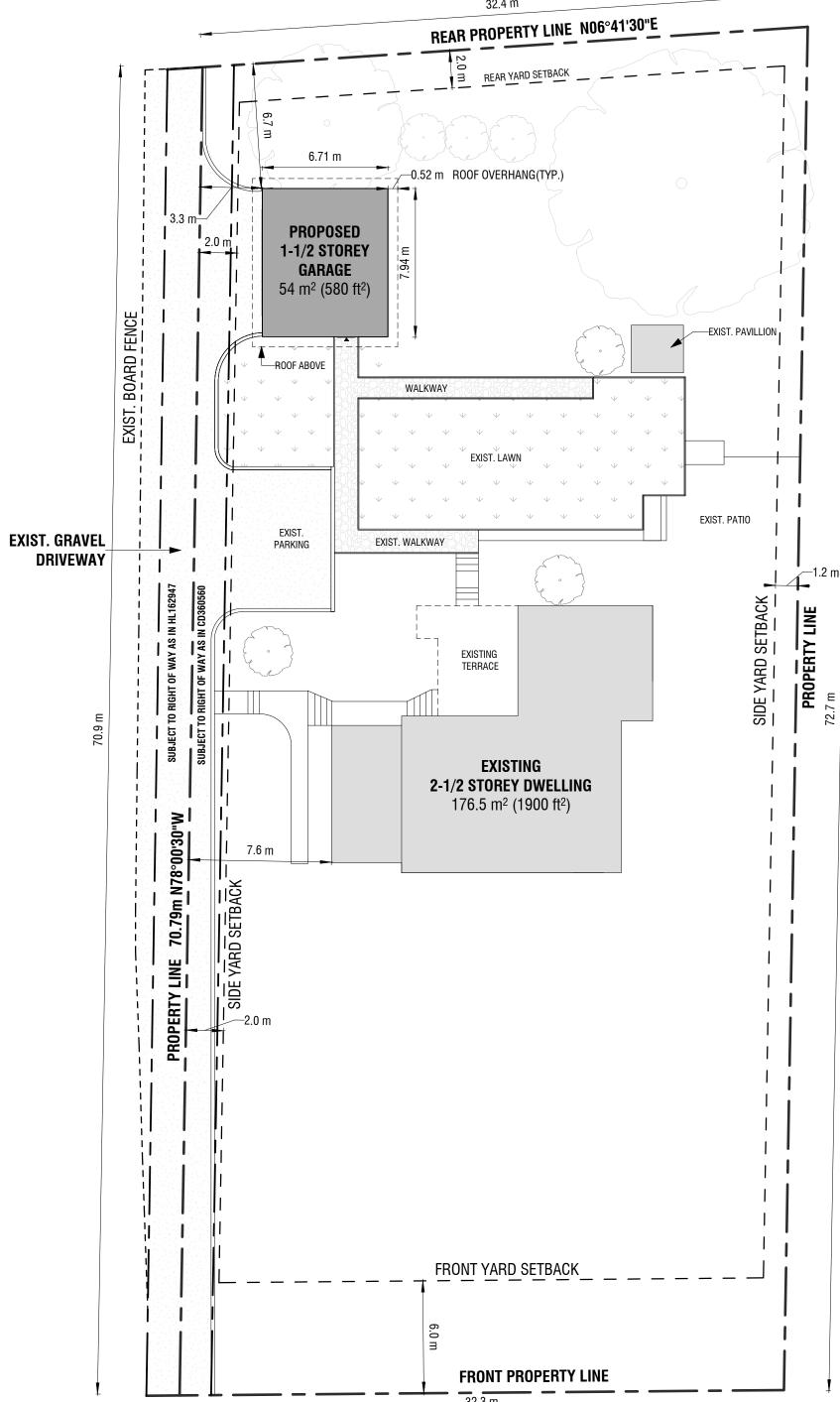
WEST SIDE YARD

MAX PERMITTED: 4.0 m (13' - 1") PROPOSED: 5.5 m (18' - 0")

REQUIRED: 2.0 m (6' - 6 3/4") PROPOSED: 3.3 m (10' - 10")

MAX PERMITTED: 41 m²(441 ft²) PROPOSED: 54 m² (580 ft²)

REAR YARD REQUIRED: 2.0 m (6' - 6 3/4") PROPOSED: 6.7 m (22' - 0")



SITE PLAN

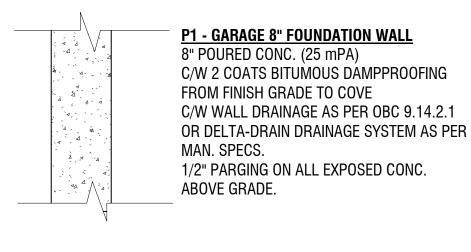
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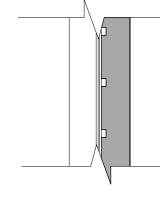


			DOOR SCHEDULE	
ITEM	WIDTH	HEIGHT	ТҮРЕ	REMARKS
D1	18' - 0"	8' - 0"	GARAGE OVERHEAD DOOR	PROVIDE OVERHEAD TRACKS, DOOR MECHANISM AND ALL HARDWARE AS REQUIRED
D2	3' - 0"	6' - 10"	GARAGE ENTRY	PROVIDE WEATHERSTRIP, DOOR SWEEP, CLOSER, & THRESHOLD

NOTES: ACTUAL DOOR SIZES AND DOOR MATERIALS SELECTED MAY VARY FROM SCHEDULE. CONTRACTOR SHALL CONFIRM ACTUAL SIZES. CONTRACTOR SHALL CONFIRM WITH OWNER ACTUAL DOOR MATERIAL, DOOR STYLE, AND GLASS DESIGN SELECTIONS. REFER TO FLOOR PLANS AND ELEVATIONS FOR ROUGH OPENING DIMENSIONS. CONTRACTOR SHALL CONFIRM ROUGH OPENING SIZES ARE SUITABLE FOR ACTUAL DOOR SIZES SELECTED

WALL SCHEDULE





P2 - EXTERIOR STUCCO GARAGE WALL PUCCS EIFS SYSTEM OR APPROVED EQUAL

DUROCK FINISH COAT c/w DUROCK REINFORCING FIBRE MESH EMBEDDED IN PREP COAT EPS INSULATION BOARD GEOMETRICALLY DEFINED DRAINAGE CAVITY (GDDC) AT THE BACK OF INSULATION BOARD DUROCK POLAR BEAR MOISTURE BARRIER 1/2" PLYWOOD SHEATHING 2" x 6" STUDS @ 16" O.C.

ROOF SCHEDULE

ROOF TRUSS ASSEMBLY **40 YEAR ASHALT SHINGLES**

ICE & WATER SHIELD PROTECTIVE MEMBRANE BY W.R. GRACE OR APPROVED EQUAL FROM EDGE OF ROOF EXTENDING A MIN. DISTANCE OF 5' - 0" UP THE ROOF SLOPE TO A LINE NOT LESS THAN 1' - 0" PAST THE INSIDE FACE OF THE EXTERIOR WALL INSTALL MEMBRANE UP VALLEYS MIN. 1' - 6" UP SLOPE EACH WAY TYP. 1/2" PLYWOOD W/ H-CLIPS APPROVED ENGINEERED TRUSSES @ 24" O.C. ATTIC VENTILATION 1:300 OF INSULATED CEILING AREA

OVERHANG CONSTRUCTION

PREFINISHED ALUMINUM FASCIA, EAVESTROPH & RAIN WATER LEADERS, PROVIDE DRIP EDGE AT FASCIA & VENTED SOFFIT. EXTEND DOWNSPOUTS TO GRADE LEVEL

CONCRETE SLAB SCHEDULE

CS1

ENTRAINMENT) w/ MINIMUM 2% SLOPE TOWARDS OVERHEAD DOOR REINF. W/WELDED WIRE MESH WWM6X6xW2.9/W2.9. LOCATED NEAR MID DEPTH OF SLAB 6" CLEAR CRUSHED STONE

GARAGE SLAB ON GRADE

6" CONC. SLAB (32mPa c/w 5 - 8% AIR

LIST OF TYPICAL ABBREVIATIONS: ALUM. = ALUMINUMAFF = ABOVE FINISH FLOORBLKG = BLOCKINGBSMNT = BASEMENTBTM = BOTTOMCANT'L = CANTILEVEREDC.L. = CENTRE-LINECONT. = CONTINUOUSCONC. = CONCRETECOV. = COVERED

DBL PLT = DOUBLE PLATE

DIA = DIAMETER

E.F. = EXHAUST FAN

DN = DOWN

GALV = GALVANIZEDCATH. CLG = CATHEDRAL CEILINGCLG HT = CEILING HEIGHTCLG TRANS. = CEILING TRANSITION C/W: COMPLETE WITH

GWB = GYPSUM WALLBOARDHOR = HORIZONTALHSS = HOLLOW STRUCTURAL STEE HWT = HOT WATER TANKHRV = HEAT RECOVERY VENTILATORINSUL. = INSULATION OR INSULATED LVL = LAMINATED VENEER LUMBERN.T.S. = NOT TO SCALEO.B.C. = ONTARIO BUILDING CODE 0.C. = ON CENTERP.E.B. = PRE-ENGINEERED BEAM P.E.H. = PRE-ENGINEERED HEADER D.J. OR DBL JST = DOUBLE JOIST PRE FIN. = PRE-FINISHED

F.F. = FINISHED FLOOR

FL.=FLUSH

P.T. = PRESSURE TREATED P.L. = POINT LOAD ABOVERI = RIGID INSULATION REINF. = REINFORCEDREQ"D = REQUIREDRFTR = RAFTERR.O. = ROUGH OPENINGS.C.L = STRUCTURAL COMPOSITE LUMBER STL BM = STEEL BEAMSOG = SLAB ON GRADE

SQ. FT = SQUARE FOOTAGE OR SQUARE FOO T .J. OR TRPL JST = TRIPLE JOISTUNEX. = UNEXCAVATEDUNFIN. = UNFINISHEDU.N.O. = UNLESS NOTED OTHERWISE V.B. = VAPOUR BARRIERVERT = VERTICALWD. = WOODW.W.M. = WELDED WIRE MESH

STRUCTURAL MEMBERS SCHEDULES

NOT ALL MEMBERS LISTED ARE USED ON THIS BUILDING. REFER TO PLANS TO DETERMINE LOCATION, LENGTHS, AND QUANTITY OF SPECIFIED MEMBERS. MEMBERS SPECIFIED ARE SIZED TO MINIMUM OBC / DESIGN REQUIREMENTS. ANY CHANGE IN SPECIES / GRADE MUST BE REVIEWED BY THE DESIGNER. CONTRACTOR SHALL NOT SUBSTITUTE WITH SMALLER MEMBERS WITH ADDITIONAL PLYS UNLESS REVIEWED BY THE DESIGNER.

_	LECEND
V	<u>LEGEND</u>
	PROPERTY LINE
	SETBACK
	EXISTING ASSEMBLY TO BE REMOVED
	PROPOSED MAIN ENTRANCE
	PROPOSED SECONDARY ENTRANCE
	PROPOSED BASEMENT WALKOUT ENTRANCE
	EXIST. TREE TO REMAIN

SITE PLAN LEGEND

EXIST. TREE TO BE

REMOVED

WL-2: 2 - 2" x 8" **WL-6**: 3 - 2" x 8" **WL-7**: 3 - 2" x 10" **WL-3**: 2 - 2" x 10" **WL-4**: 2 - 2" x 12" **WL-8**: 3 - 2" x 12" <u>LINTEL NOTES:</u> WOOD LINTEL WITH SPANS LESS THAN 9' -10" (3m) | ALL BEAMS TO HAVE MINIMUM 31/2" REQUIRE 11/2" (38mm) MIN. BEARING LENGTH AT EACH END. SPANS GREATER THAN 9' - 10" REQUIRE A MIN. 3" (16nm) BEARING LENGTH. WHERE NOTED. LINTELS MUST BEAR UPON ENTIRE WIDTH OF BUILT-UP COLUMNS INDICATED WITH ADDITONAL TRIMMER STUD FASTENED TO COLUMN

AS PER TYPICAL ROUGH OPENING FRAMING.

WL-1: 2 - 2" x 6"

WOOD LINTEL SCHEDULE

WL-5: 3 - 2" x 6"

WOOD BEAM SCHEDULE BUILT-UP WOOD MEMBERS: 2-PLY WOOD MEMBERS: 3-PLY WOOD MEMBERS **WB-1**: 3 - 2" x 8" **WB-2**: 3 - 2" x 10" **WB-3**: 3 - 2" x 12"

STEEL BEAM SCHEDULE SB-1: W8 x 18 **SB-2**: W8 x 31

RIDGE BEAM SCHEDULE

WOOD MEMBERS:

RB-1: 2 - 2" x 10"

RB-2: 1 - 2" x 12"

RB-3: 3 - 2" x 12"

BEAM NOTES: BEARING AT EACH END.

LVL-2: 3 - 1 3/4" x 9 1/2" **LVL-3**: 2 - 1 3/4" x 11 7/8" **LVL-4**: 3 - 1 3/4" x 11 7/8" **LVL-5**: 2 - 1 3/4" x 14" **LVL-6**: 3 - 1 3/4" x 14" **LVL-7**: 2 - 1 3/4" x 16" **LVL-8**: 3 - 1 3/4" x 16"

BUILT-UP WOOD MEMBERS:

LVL-1: 2 - 1 3/4" x 9 1/2"

(LVL) SCHEDULE

LAMINATED VENEER LUMBER | STEEL LINTEL SCHEDULE

L-8: 6" x 4" x 1/2" **L-9**: 7" x 4" x 3/8" **L-10**: 7" x 4" x 1/2"

REFER TO A03 NOTES

FOR MAX SPAN CHART

L-2: 4" x 3 1/2" x 1/4"

L-3: 5" x 3 1/2" x 5/16"

L-4: 5" x 3 1/2" x 3/8"

L-5: 5" x 3 1/2" x 1/2"

L-6: 6" x 3 1/2" x 3/8"

L-7: 6" x 3 1/2" x 1/2"

L-1: 3 1/2" x 3 1/2" x 1/4"

STEEL COLUMN SCHEDULE SP-1: 3"ø HSS COLUMN c/w BASE PLATE

WOOD COLUMN SCHEDULE **BUILT-UP WOOD POSTS: WP-1**: 2 - 2" x 4" **WP-5**: 2 - 2" x 6" **WP-2**: 3 - 2" x 4" **WP-6**: 3 - 2" x 6" **WP-3**: 4 - 2" x 4" **WP-7**: 4 - 2" x 6"

SOLID SAWN LUMBER: WP-9: 6" x 6" P.T. WOOD POST c/w CB66 COLUMN BASE BY SIMPSON STRONG-TIE

WP-10: 8" x 8" P.T. WOOD POST c/w CB88 COLUMN BASE BY SIMPSON STRONG-TIE

COLUMN NOTES: WHERE COLUMNS ARE NOT LOCATED IN A LOAD BEARING

WP-4: 5 - 2" x 4" **WP-8**: 5 - 2" x 6"

WALL THEY SHALL BE CENTERED ON PAD FOOTINGS BELOW.

HELICAL PILE SCHEDULE HP-1: HELICAL PILE @ 10,000lbs **HP-2**: HELICAL PILE @ 15,000lbs **HP-3**: HELICAL PILE @ 20,000lbs

> ALL HELICAL PILES SHALL BE GOLIATHTECH PILES WITH A 2.875" SHAFT DIAMETER AND 0.250" WALL THICKNESS OR APPROVED EQUAL

CONCRETE PIER SCHEDULE

CP-1: 20"ø 35 MPa WITH 6% AIR ENTRAINMENT POURED CONC. PIER MIN. 4' - 0" BELOW FINISHED GRADE

CONCRETE PAD FOOTING SCHEDULE PF-1: 24" x 24" x 8" CONC. PAD **PF-2**: 36" x 36" x 8" CONC. PAD

STRIP FOOTING SCHEDULE

PF-3: 42" x 42" x 10" CONC. PAD

SF-1: ALL CONTINUOUS FOOTINGS UNDER 8" THICK POURED CONC. WALLS TO BE POURED CONC. (25 MPa) 20" x 8" THICK

FOOTING NOTES:

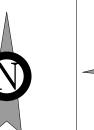
ALL FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL OR COMPACTED ENGINEERED FILL WITH MIN. BEARING **CAPACITY OF 75kPa OR GREATER**

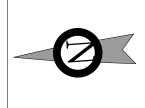
ALL FOOTING PADS SHALL BE CENTERED UNDER COLUMNS. CONTRACTOR TO COORDINATE PAD LOCATIONS W/ DIMENSIONS LOCATING COLUMNS.

ALL STRIP FOOTINGS SHALL BE CENTERED UNDER CONCRETE FOUNDATION WALLS AND INTERIOR LOAD BEARING STUD WALLS. CONTRACTOR SHALL COORINDATE FOOTING AND WALL DIMENSIONS ON PLANS AND REPORT ANY DISCREPENCIES TO THE DESIGNER PRIOR TO CONSTRUCTION.



PROJECT NORTH





TRUE NORTH

GENERAL NOTES:

1) ALL CONTRACTORS AND/OR TRADES SHALL REVIEW ALL PLANS & REPORT ANY DISCREPANCIES PRIOR TO CONSTRUCTION. 2) DO NOT SCALE DRAWINGS. 3) USE ONLY LATEST REVISED DRAWINGS.

5) DRAWINGS ARE THE PROPERTY OF THE DESIGNER. ANY UNAUTHORIZED USE IS PROHIBITED.

- 1			
	NO.	DATE:	REVISION
	1	2022-05-12	SUBMITTED FOR STRUCTURAL REVIEW
	2	2023-11-04	REVISED TRUSS DESIGN

3 2024-01-02 VARIANCE APPLICATION

SEAL:

DRAWING LIST: A00 TITLE & RENDERINGS A01 PROJECT STATS, SCHEDULES, & SITE PLAN A02 GENERAL NOTES A03 | PROPOSED PLANS A04 | PROPOSED ELEVATIONS A05 | PROPOSED SECTIONS

PROJECT:

63 CROSS STREET

A. VENNERI

2024.01.02

PROJECT STATS, SCHEDULES, & SITE PLAN

N/A

GENERAL REQUIREMENTS

ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE LATEST ONTARIO BUILDING CODE, LATEST APPLICABLE REGULATIONS, AND GOOD CONSTRUCTION PRACTICES.

AVOID SCALING DIRECTLY FROM THE DRAWINGS.

REPORT ANY DISCREPANCIES TO THE DESIGNER IMMEDIATELY. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO ORDERING OR INSTALLING MATERIALS. FAILURE TO ADHERE TO THIS PROCEDURE SHALL PLACE FULL RESPONSIBILITY FOR ANY ERRORS DIRECTLY UPON THE CONTRACTOR. BUILDING CONTRACTOR/HOMEOWNER TO REVIEW AND VERIFY ALL DIMENSIONS. SPECS. AND CONNECTIONS BEFORE CONSTRUCTION. ANY CHANGE THROUGH THE DISREGARDING OF THIS NOTICE TO BE THE RESPONSIBILITY OF THE CONTRACTOR.

SITE WORK / GRADING NOTES

CONTRACTOR TO VERIFY ALL EXISTING GRADES AND ALL FINISHED GRADES ON SITE

SUB-SOIL CONDITIONS MAY REQUIRE INVESTIGATION & ARE BEYOND THE SCOPE OF THESE DRAWINGS.

ALL SURFACE DRAINAGE TO CONFORM TO OBC 9.14.6.

ROOF DRAINS & DOWNSPOUTS AS PER OBC 9.26.18

PROVIDE ONE DOWNSPOUT FOR EVERY 30M (100ft) RUN OF GUTTER.

SLOPE ALL FINISHED GRADES AWAY FROM BUILDING WITH A MIN. 6" DROP FOR EVERY 6' - 0" DISTANCE, AND ENSURE PROPER POSITIVE SURFACE DRAINAGE AND WILL NOT AFFECT ADJACENT PROPERTIES.

RADON GAS MITIGATION: NEW CONSTRUCTION SHALL COMPLY WITH 9.13.4. SOIL GAS CONTROL IN THE FORM OF 15 MIL POLYETHYLENE VAPOUR BARRIER UNDER THE CONC. FLOOR SLAB, LAPPED NOT LESS THAN 300mm, c/w SEALING ALONG THE PERIMETER OF THE SLAB AND ALL PENETRATIONS USING FLEXIBLE SEALANT.

EXCAVATE FOR FOUNDATIONS AND BUILDING SERVICES TO DEPTHS REQUIRED TO ALLOW FOR PROPER PLACEMENT OF THE WORK. EXCAVATIONS TO BE KEPT FREE FROM STANDING WATER.

FOOTINGS TO HAVE A 4" WEEPING DIA. WEEPING TILE. 6" CRUSHED STONE WRAPPED w/ GEOTEXTILE OVER AND AROUND ALL FOOTINGS, INCLUDING GARAGE FOOTINGS & TO BE DRAINED TO A SEWER, DRAINAGE DITCH OR DRY WELL BY GRAVITY DRAINAGE OR BY PUMPING.

AFTER THE CONSTRUCTION OF FOOTINGS, PITS, WALLS OR PIERS, BACKFILLALL EXCAVATIONS WITH EXISTING APPROVED GRANULAR MATERIALS TO WITHIN 5" OF UNDERSIDE OF CONCRETE SLAB AND WITHIN 6" OF UNDERSIDE OF NEW EXTERIOR FINISHED GRADES.

CONCRETE / FOUNDATION NOTES

ALL FOUNDATIONS HAVE BEEN DESIGNED WITH AN ASSUMED SOIL BEARING CAPACITY OF 75 KPA. THE DESIGNER IS TO BE NOTIFIED BY THE CONTRACTOR IF THE BEARING PRESSURE CANNOT BE ACHIEVED.

ALL FOUNDATION WORK THAT DOES NOT COMPLY TO PART 9 OF THE OBC IS TO BE ENGINEERED, SIGNED AND SEALED BY A STRUCTURAL ENGINEER.

CONTRACTOR TO CONFIRM LOCATION AND DEPTH OF ALL FOUNDATION WALL STEP DOWNS ON SITE

FOUNDATION WALLS TO BE 10" POURED CONC. WALLS (25MPa), REINFORCED WITH 15M @16"VERTICAL BARS AT INTERIOR FACE, WHERE BACKFILL HEIGHT MEASURED FROM TOP OF THE BASEMENT SLAB EXCEEDS 7'-7". (ALTERNATIVELY 10" CONC. BLOCK WALLS, REINFORCED WITH 15M @16" VERTICAL BARS, WHERE BACKFILL HEIGHT MEASURED FROM

FOUNDATIONS WALLS TO EXTEND UP MINIMUM 6" ABOVE FINISHED GRADE.

DOWEL NEW FOUND. WALL TO THE EXIST. FOUND WALL W/10M-32" LONG @24" c/c -4" EMBEDMENT, TYP.

ALL EXTERIOR WALL STRIP FOOTINGS TO HAVE MIN. 6" PROJECTION FROM THE FOUNDATION WALL AND TO BE MIN. 6" THICK, REINFORCED W/ 2-15M, CONT

ALL FOOTINGS TO BE MIN. 48" BELOW FINISHED GRADE

TOP OF THE BASEMENT SLAB EXCEEDS 5'-11".

INSTALL 15M DOWELS (10"Hx30"V) SPACED AT 16" FOR FOOTING -FOUNDATION WALL CONNECTION.

CONNECT NEW AND EXIST. FOOTING AT THE SAME ELEVATION. DOWEL NEW FOOTING TO THE EXIST. FOOTING W/2-10M-32"LG, 8" EMBEDMENT, TYP.

PROVIDE A CAPILLARY BREAK MEMBRANE (DELTA FOOTING BARRIER OR APPROVED EQUAL) BETWEEN FOOTING & FOUNDATION CONNECTION & PROVIDE PARGING COVE AT FOOTING JOINT

FOOTINGS TO HAVE A MAX. 24" VERTICAL RISE BETWEEEN HORIZONTAL PORTIONS AND A MIN. 24" HORIZONTAL DISTANCE B/W VERTICAL RISERS

BASEMENT SLAB ON GRADE TO BE MIN. 4" THICK, REINFORCED WITH FIBRES, OR WELDED WIRE MESH WWM6X6xW2.9/W2.9. SAW CUT

EXTERIOR STAIR SLAB ON GRADE TO BE MIN. 5" THICK, REINFORCED WITH FIBRES, OR WELDED WIRE MESH WWM6X6xW2.9/W2.9. SAW CUT AT 15'-0" MAX. EACH WAY.

NOTES:

- A. PUMP MIX SLUMPS SHALL ALSO CONFORM TO THE ABOVE.
- B. WATER CEMENTING MATERIALS RATIOS FOR EXPOSURE CLASSES SHALL BE AS PER CAN3-A23.1.
- C. AIR CONTENTS FOR EXPOSURE CLASSES AND AGGREGATE SIZES SHALL BE AS PER CAN3-A23.1. D. SLUMP TOLERANCES SHALL BE ± 20 mm FOR SLUMPS LESS THAN 80mm. AND ± 30 mm OTHER- WISE.

ALL BOTTOM EDGES OF EXPOSED SLABS AND BEAMS, AND ALL EXPOSED COLUMN AND WALL EDGES SHALL BE BEVELED 20 x 20.

ALL TOP EDGES OF EXPOSED SLABS, BEAMS, UPSTANDS AND STAIRS SHALL BE TOOLED, UNLESS NOTED

OTHERWISE. SEE ALSO ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. NO CALCIUM CHLORIDE, IN ANY FORM, IS PERMITTED IN ANY CONCRETE MIX.

CURING AND PROTECTION OF CONCRETE FOR HOT, COLD OR DRY WEATHER SHALL BE IN ACCORDANCE WITH CSA-A23.1.

CEMENT SHALL BE PORTLAND CEMENT TYPE 10 - UNLESS NOTED OTHERWISE. CONCRETE SHALL BE STONE CONCRETE WITH A UNIT WEIGHT OF 23.6 kN/m3

CONCRETE PROPERTIES

CONONETE I HOI EITHEO	MIN. 28 DAY	SLUMP	MAX. AGG.	EXPOSURE
ELEMENT	STRENGTH (MPa)		SIZE (mm)	CLASS
FOOTING	25	80	40	N
EXTERIOR SLAB ON GRADE	30	70	20	C-2
INTERIOR SLAB ON GRADE	30	70	20	N
FOUNDATION WALLS	25	80	20	F-1
MASONRY GROUT	20	150	10	

MASONRY

REDUCTION OF FOUNDATION WALL THICKNESS TO ALLOW BRICK FACING TO CONFORM WITH OBC 9.15.4.7. C/W BRICK TIED TO FOUNDATION IN REDUCED SECTION WITH METAL TIES @ 8" O.C. VERTICAL & 36" O.C. HORIZONTAL & FILL AIRSPACE OF REDUCED SECTION W/ MORTAR

MASONRY SUPPORTING BEAMS & COLUMNS SHALL CONFORM TO ARTICLE 9.20.8.4

PROVIDE WEEPHOLES SPACED NOT MORE THAN 800MM (2'-7") APART IN MASONRY VENEER WALLS AS REQUIRED IN 9.20.13.8

PROVIDE ALL FLASHING AS PER SUBSECTION. 9.20.13 OF O.B.C.

PROVIDE DRIP EDGE AT WINDOW SILLS AS PER ARTICLE 9.20.13.12.

MASONRY FIREPLACES SHALL CONFORM TO SECTION 9.22

ALL STEEL BEAMS REQUIRE MINIMUM 3 1/2" BEARING AND STEEL ANGLE LINTELS REQUIRE MINIMUM 6" BEARING. PROVIDE 7 1/2" SOLID MASONRY UNDER BEAMS OR COLUMNS.

ALL STEEL COLUMNS, STEEL BEAMS AND STEEL ANGLE LINTELS TO BE SHOP PRIMED WITH ONE COAT OF RUST-INHIBITIVE PAINT.

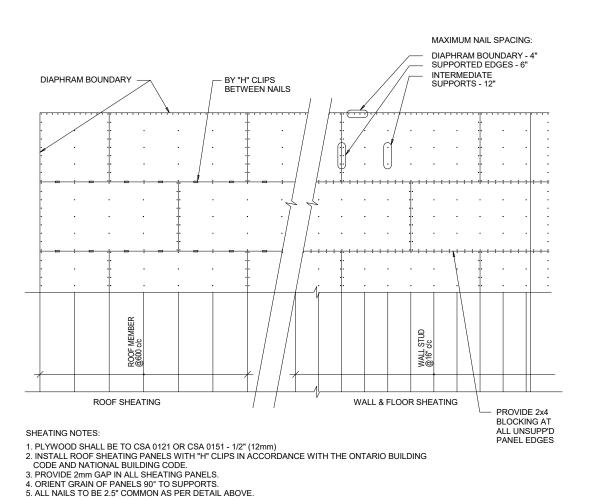
STEEL ANGLE LINTEL SCHEDULE - REFER TO LINTEL SCHEDULE

MAXIMUM ALLOWABLE SPANS FOR STEEL LINTELS SUPPORTING MASONRY VENEER

	ANGLE SIZE ,mm (inch)	70mm (2 3/4")	90mm (3 1/2")	100mm (4")
	G VERTICAL)	BRICK	BRICK	STONE
L-1	L90x90x6	2.59m	2.47m	2.30m
	(L 3 ½"x3 ½"x¼")	(8'-6")	(8'-1")	(7'-9")
L-2	L100x90x6	2.79m	2.66m	2.48m
	(L 4"x31/2"x1/4")	(9'-2")	(8'-9")	(8'-2")
L-3	L125x90x8	3.47m	3.31m	3.08m
	(L 5"x3 ½"x5 ₁₆ ")	(11'-5")	(10'-10")	(10'-1")
L-4	L125x90x10	3.64m	3.48m	3.24m
	(L 5"x3 ½"x¾")	(11'-11")	(11'-5")	(10'-8")
L-5	L125x90x13	3.82m	3.59m	3.33m
	(L 5"x3 ½"x½")	(12'-7")	(11'-9")	(10'-11")
L-6	L150x90x10	4.06m	3.82m	3.54m
	(L 6"x3 ½"x¾")	(13'-4")	(12'-7")	(11'-8")
L-7	L150x90x13	4.32m	4.07m	3.77m
	(L 6"x3 ½"x½")	(14'-2")	(13'-5")	(12'-5")
L-8	L150x100x13	4.37m	4.12m	3.82m
	(L 6"x4"x½")	(14'-4")	(13'-6")	(12'-7")
L-9	L180x100x10	4.57m	4.30m	3.99m
	(L 7"x4"x ³ ₈ ")	(15'-0")	(14'-1")	(13'-1")
L-10	L180x100x13	4.87m	4.59m	4.25m
	(L 7"x4"x1 ₂ ")	(16'-0")	(15'-1")	(14'-0")

PLYWOOD SHEATHING NOTES

- 1. SHEATHING SHALL BE EXTERIOR TYPE PLYWOOD CONFORMING TO CSA 0121-M1978, "DOUGLAS FIR PLYWOOD" OR CSA 0151-M1978, "CANADIAN SOFTWOOD PLYWOOD"
- 2. ALL SHEATHING IS TO BE TONGUED-AND-GROOVED.
- 3. PLYWOOD SHEATHING SHALL BE INSTALLED WITH THE SURFACE GRAIN AT RIGHT ANGELS TO THE FRAMING AND WITH THE END JOINTS STAGGERED.
- 4. LAYOUT PLYWOOD STAGGERED JOINT PATTERN SUCH THAT PLYWOOD SHEET IS AT LEAST TWO SPAN CONTINUOUS WHERE POSSIBLE.
- 5. ALL END JOINTS MUST BE POSITIONED ALONG CENTRE LINE OF SUPPORT
- 6. PLYWOOD SHEATHING SHALL BE INSTALLED WITH AT LEAST 3/32" GAP BETWEEN SHEETS.
- 7. FASTENERS SHALL BE SPIRAL OR RING THREAD NAILS 2" LONG MINIMUM. UNLESS NOTED
- 8. UNLESS NOTED OTHERWISE, PLYWOOD SHEATHING SHALL BE NAILED TO SUPPORTS AT 6" MAXIMUM ALONG EDGES AND 10"MAXIMUM ALONG INTERMEDIATE SUPPORTS.



TYPICAL SHEATING NAILING PATTERN

WOOD FRAME CONSTRUCTION

WOOD CONSTRUCTION SHALL CONFORM TO CSA STANDARD 086 AND TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.

UNLESS OTHERWISE NOTED, TO BE SPF SPECIES, GRADE No.2 CONFIRMING TO CSA STANDARD 0141 WITH MAXIMUM MOISTURE CONTENT OF 15% AT THE TIME OF INSTALLATION. LUMBER SHALL BEAR THE GRADING STAMP OF AN AGENCY APPROVED BY THE CANADIAN LUMBER STANDARDS ADMINISTRATION BOARD.

NAILS. SPIKES AND STAPLES:

O CSA STANDARD B111, GALVANIZED FOR EXTERIOR WORK, OR HIGHLY HUMID AREAS AND FOR TREATED LUMBER, PLAIN ELESWHERE. NAILING OF FRAMING UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLES 9.23.3 A&B IN THE ONTARIO BUILDING CODE.

METAL CONNECTORS AND ROUGH HARDWARE:

BOLTS, NUTS, WASHERS, LAGS, PINS, SCREWS, ALL TO BE HOT DIP GALVANIZED.

WOOD PRESERVATIVE:

WHERE REQUIRED, TO CONFORM TO CSA STANDARD 080.0 CSA.

FRAMING ANCHORS:

FRAMING ANCHORS, JOIST HANGERS, BEAM HANGERS, POST CAPS, POST ANCHORS, BACK-UP CLIPS AND ANGLES, UNLESS OTHERWISE SHOWN ON THE DRAWINGS, ARE ALL TO BE AS MANUFACTURED BY SIMPSON CONNECTORS OR AN APPROVED EQUAL, SIZED TO THE JOB AT HAND. ALL ARE TO BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURE'S INSTRUCTIONS UTILIZING "SPECIAL" NAILS WHERE REQUIRED.

SILL PLATES:

2" x 6" P.T. SILL PLATE c/w SILL GASKET ANCHORED TO FOUNDATION WALL WITH 1/2" DIA. x 12" LONG GALV. STEEL ANCHOR BOLTS @ 48" O.C. USE NON-SHRINK GROUT TO LEVEL SILL PLATE WHEN REQUIRED

STUD WALLS:

STUDS TO BE OF SIZE AND SPACING AS NOTED ON THE DRAWINGS. PROVIDE, UNLESS OTHERWISE NOTED, A MINIMUM OF TWO (2) STUDS AT CORNERS, INTERSECTIONS AND EACH SIDE OF THE OPENINGS. ALL STUDS TO BE CONTINUOUS FOR FULL STOREY HEIGHT WITH NO SPLICE. MID HEIGHT BLOCKING FOR ALL STUDS UNLESS NOTED ON DRAWINGS. PROVIDE MINIMUM TWO (2) TOP PLATES FOR LAOD BEARING WALLS. PLATES TO BE LAPPED OR TIED AT CORNERS AND INTERSECTIONS. NON-LOAD BEARING STUD WALLS TO CONFORM TO THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.

FLOOR AND ROOF TRUSSES/JOISTS:

PROVIDE TRUSSES/JOISTS OF SIZE, SPACING AND SPAN AS NOTED ON THE DRAWING, UNLESS OTHERWISE NOTED, WHERE TRUSSES/JOISTS FRAME INTO THE SIDE OF A WOOD BEAM, PROVIDE APPROPRIATE HANGERS, NAILED TO THE SIDE OF THE BEAM. PROVIDE DOUBLE JOIST UNDER PARTITION WALLS PARALLEL TO JOISTS (SEE ARCHITECTURAL DRAWINGS FOR LOCATIONS).

ALL CEILING OR FLOOR OPENINGS TO HAVE DOUBLE TRIMMER AND HEADER JOISTS.

BRIDGING OR BLOCKING:

PROVIDE CROSS BRIDGING OR SOLID BLOCKING OR APPROVED PROPRIETARY METAL STRAPS IN ACCORDANCE WITH THE ONTARIO BUILDING CODE. SPACING TO BE AT THE END AND AT 2100mm (7'-0") MAXIMUM CENTRES UNLESS JOIST SPAN IS WITHIN 450mm (18") OF THE MAXIMUM SPAN PERMITTED BY THE ONTARIO BUILDING CODE, IN WHICH CASE, BRIDGING OR BLOCKING SHALL BE AT MAXIMUM 1370mm (4'-6") CENTRE.

NOTCHING AND DRILLING ONLY ALLOWED WITHIN THE LIMITATIONS SET OUT IN THE ONTARIO BUILDING CODE.

REMOVE AND REPLACE ANY DEFECTIVE MATERIALS WHEREVER FOUND PRIOR TO FINAL ACCEPTANCE OF THE WORK.

CONTRACTOR SHALL BRACE ALL CONSTRUCTION TEMPORARILY UNTIL ROOF AND FLOOR SHEATHING AND OTHER PERMANENT BRACING ARE IN PLACE.

ALL TIMBER CONNECTION SHALL BE IN ACCORDANCE WITH THE REFERENCE STANDARD AND WITH GOOD CARPENTRY PRACTICE.

ALL STEEL ANGLES OR PLATES SHALL CONFORM TO G40.21 M300W.

ALL BOLTS SHALL BE A307 BOLTS. PROVIDE STANDARD WASHERS AT TIMBER SURFACE.

ALL WOOD IN CONTACT WITH CONCRETE OR THAT IS LESS THAN 150MM (6") ABOVE GROUND OR SLAB SHALL BE PRESSURE TREATED OR SEPARATED WITH 0.05MM POLYETHYLENE FILM OR TYPE S ROLL ROOFING AS PER OBC 9.17 .4.3

ROOFING

ROOF EAVE TO BE FINISHED WITH PRE FINISHED ALUMINUM EAVESTROUGHS. FASCIA AND VENTED SOFFIT. PROVIDE ONE PRE FINISHED ALUMINUM DOWN SPOUT FOR EACH 30' RUN OF EAVESTROUGH OR PART THEREOF AROUND THE PERIMETER OF THE

CONNECT DOWNSPOUTS TO THE STORM SEWER SYSTEM OR ONTO GRADE WITH PRE CAST CONCRETE SPLASH PADS TO PREVENT EROSION.

ROOF SPACE VENTILATION: TO BE 1/300 OF INSULATED AREA FOR ROOF SLOPES GREATER THAN 2 IN 12 AND 1/150 OF INSULATED AREA FOR ROOF SLOPES LESS THAN 2 IN 12 OR ANY ROOF WHERE AN INTERIOR FINISH IS APPLIED TO THE UNDERSIDE OF THE ROOF RAFTERS. NOT MORE THAN HALF OF THE REQUIRED VENTILATION AREA IS TO BE PROVIDED NEAR THE RIDGE EXCEPT FOR CATHEDRAL CEILINGS AND ROOFS WHERE CONTINUOUS RIDGE AND EAVE VENTILATION IS REQUIRED. ALL VENTILATION OPENINGS TO BE PROTECTED FROM THE WEATHER AND INSECTS. VENTS TO BE CONSTRUCTED OF RUST PROOF MATERIAL.

EAVE PROTECTION: ICE & WATER SHIELD PROTECTIVE MEMBRANE BY W.R. GRACE OR APPROVED EQUAL . APPLY MEMBRANE OVER PLYWOOD SHEATHING, FROM EDGE OF ROOF EXTENDING A MIN. DISTANCE OF 5' - 0" UP THE ROOF SLOPE TO A LINE NOT LESS THAN 1' - 0" PAST THE INSIDE FACE OF THE EXTERIOR WALL. INSTALL MEMBRANE UP VALLEYS MIN. 1' - 6" UP SLOPE EACH WAY.

INTERIOR FINISHES

RENDERINGS ARE NOT TO SCALE; ALL RENDERINGS ARE FOR ARTISTIC DEPICTION ONLY. PLAN UPDATES MAY NOT BE REFLECTED IN RENDERINGS. RENDERINGS SHALL NOT BE USED FOR CONSTRUCTION.

FINAL FINISHES SHALL BE CONFIRMED WITH THE HOME OWNER PRIOR TO APPLICATION.

ALL FLOORS IN RESIDENTIAL OCCUPANCIES TO BE FINISHED & OR WATER RESISTANT AS PER 9.30.1.1. & 9.30.1.2 & ALL WALL TILE FINISH TO COMPLY TO SUBSECTION 9.29.10

ALL GYPSUM WALL BOARD & INSTALLATION TO COMPLY WITH SUBSECTION 9.29.5.

ALL GLASS SHOWER STALLS & BATH ENCLOSURES WILL CONFORM TO ARTICLE 9.6.6.5. - SAFETY GLASS FOR SHOWER STALLS.

WALLS WITH TILE FINISHES SHALL CONFORM SUBSECTION 9.29.10 'WALL TIIE FINISH" & ALL DRYWALL FINISHES SHALL COMPLY WITH SUBSECTION 9.29.5. FOR "GYPSUM BOARD FINISH" (TAPED JOINTS)

ROOMS & SPACES SHALL CONFORM TO SECTIONS 9.5. & 9.7.

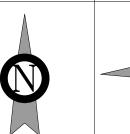
WATERPROOF FINISH SHALL BE PROVIDED ON WATER RESISTANT BACKING, AROUND SHOWERED & BATHTUBS AS PER ARTICLES 9.29.2.2. & 9.29.10.4

FLAME SPREAD RATING OR INTERIOR FINISHES SHALL NOT EXCEED 150



TRUE NORTH

PROJECT NORTH



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E:	REVISION
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2-05-12	SUBMITTED FOR STRUCTURAL RE
3-11-04	REVISED TRUSS I
4-01-02	VARIANCE APPLIC

RAW	ING LIST:
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A04	PROPOSED ELEVATIONS
A05	PROPOSED SECTIONS

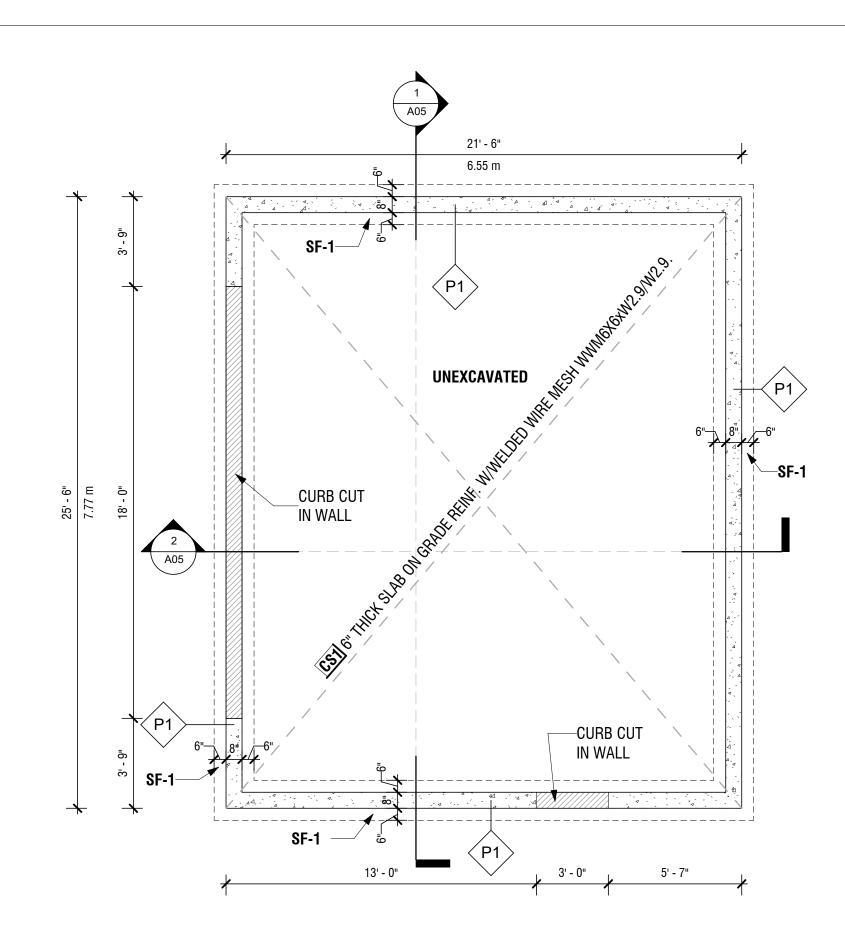
PROJECT:

63 CROSS STREET

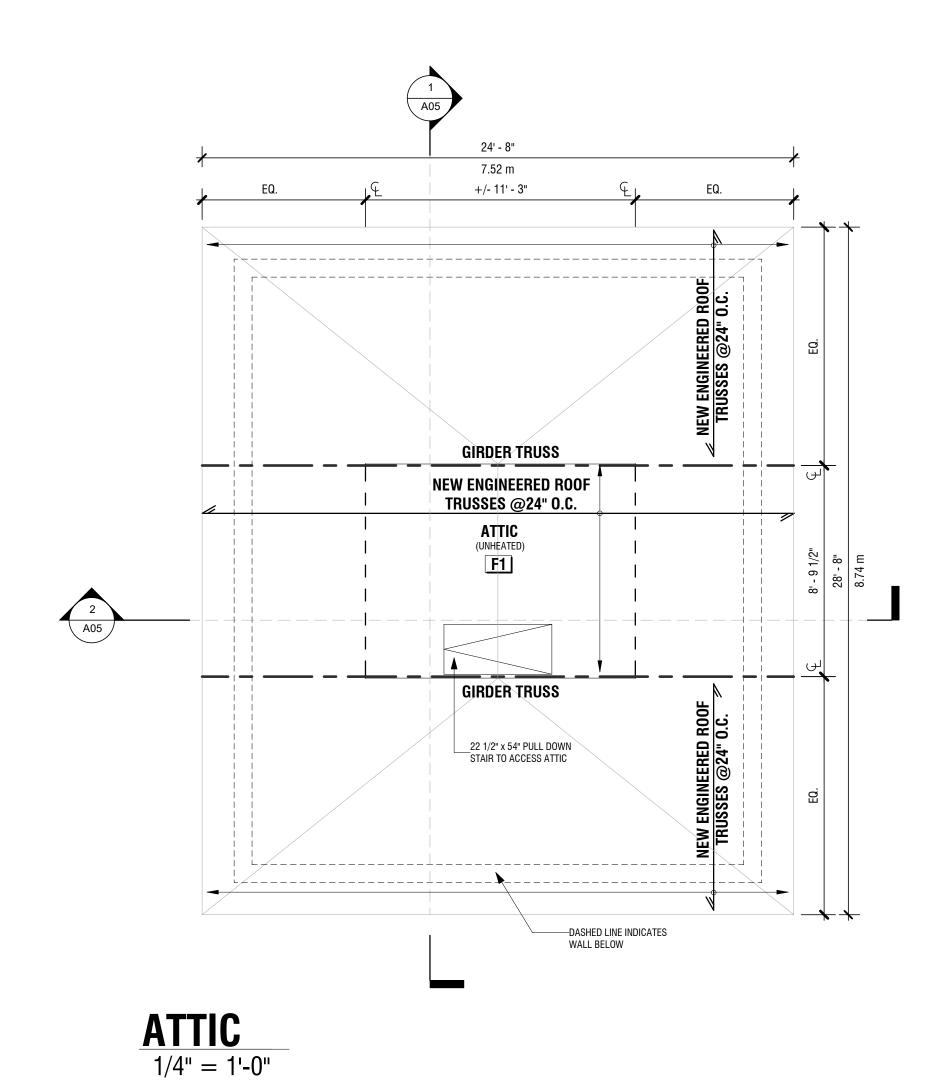
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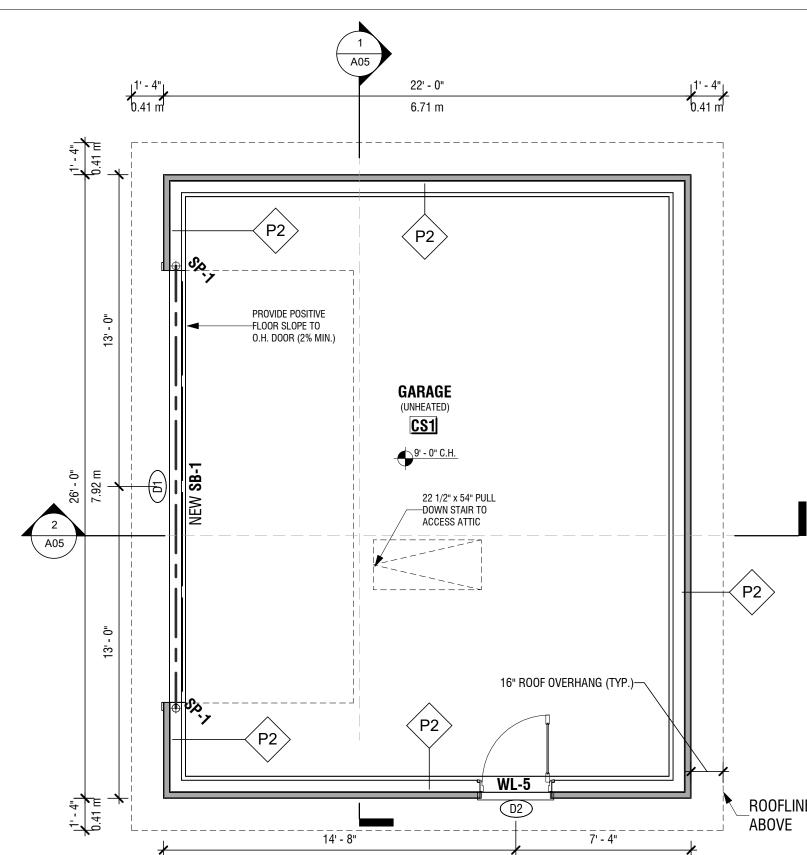
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GENERAL NOTES

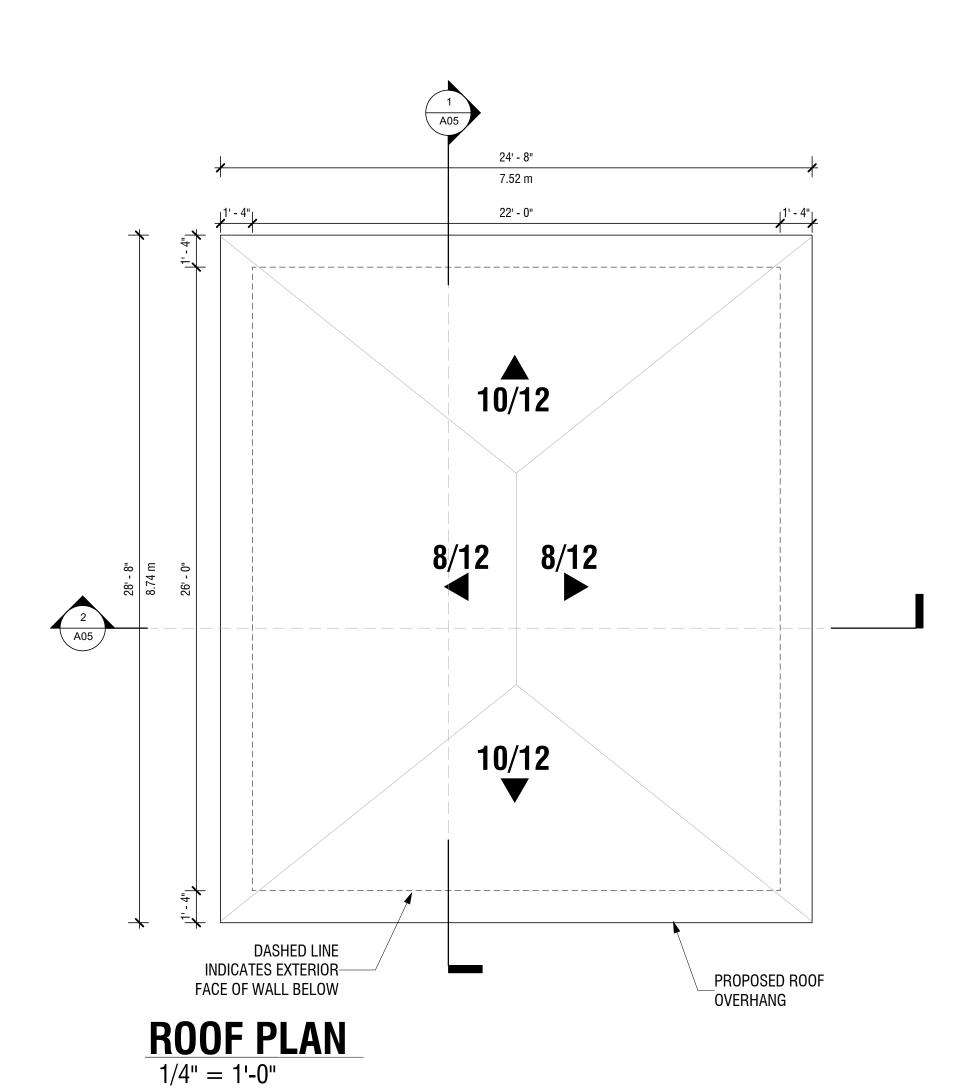


FOUNDATION PLAN 1/4" = 1'-0"





GROUND FLOOR 1/4" = 1'-0"



FOUNDATION & FOOTING NOTES:

• FOUNDATION WALLS TO BE POURED CONC. WALLS (25MPa)

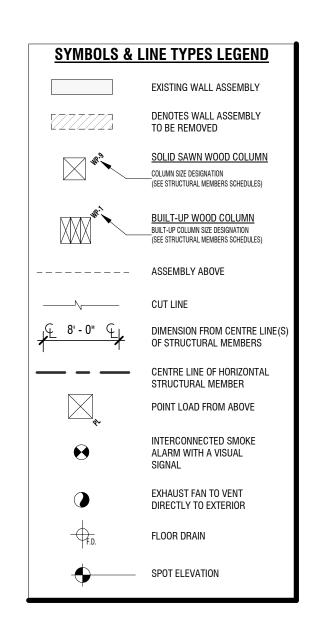
- ALL EXTERIOR WALL STRIP FOOTINGS TO HAVE MIN. 6" PROJECTION FROM THE FOUNDATION WALL AND TO BE MIN. 6" THICK, REINFORCED W/ 2-15M, CONT. ALL FOOTINGS TO BE MIN. 4' - 0" BELOW FINISHED GRADE.
- INSTALL 15M DOWELS (10"Hx30"V) SPACED AT 16" FOR FOOTING -FOUNDATION WALL
- PROVIDE A CAPILLARY BREAK MEMBRANE (DELTA FOOTING BARRIER OR APPROVED
- EQUAL) BETWEEN FOOTING & FOUNDATION CONNECTION PROVIDE PARGING COVE AT FOOTING JOINT
- 4" WEEPING DIA. WEEPING TILE, 6" CRUSHED STONE
- WRAPPED w/ GEOTEXTILE OVER AND AROUND ALL FOOTINGS, INCLUDING GARAGE

ENGINEERED TRUSS NOTES

- TRUSSES & GIRDERS TO BE DESIGNED AND ENGINEERED BY TRUSS MANUFACTURER
- TRUSS MANUFACTURER SHALL CONFIRM SIZING OF ALL BEAMS, GIRDERS, AND LINTELS SUPPORTING ROOF TRUSSES. THIS SIZING SHALL BE CONFIRMED ON TRUSS
- MANUFACTURER'S SHOP DRAWINGS. • TRUSS MANUFACTURER MUST PROVIDE TRUSS PANEL POINTS AT ALL BEARING WALLS
- TRUSS SHOP DRAWINGS MUST BE SEALED BY P.ENG. (PEO) AND SUBMITTED TO DESIGNER FOR REVIEW PRIOR TO BUILDING PERMIT SUBMISSION.
- ERECT AND LATERALLY BRACE TRUSSES IN CONFORMANCE WITH MANUFACTURERS SPECIFICATIONS.

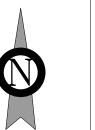
CONVENTIONAL FRAMING NOTE

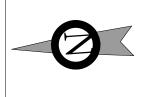
ALL CONV. FRAMING TO CONFORM WITH PART 9 OF OBC. ROOF RAFTERS THAT CROSS MEET OVER TRUSSES TO BE 2" x 4" SPF#2 @ 24" O.C. WITH A VERTICAL POST TO THE TRUSS UNDERNEATH AT EACH CROSS POINT. VERTICAL POST LONGER THAN 6' - 0" TO HAVE LATERAL BRACING SO THAT THE DISTANCE B/W END POINT AND B/W ROWS OF BRACING DOES NOT EXCEED 6' - 0".





PROJECT NORTH





TRUE NORTH

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1	2022-05-12	SUBMITTED FOR STRUCTURAL REVIEW
2	2023-11-04	REVISED TRUSS DESIGN
3	2024-01-02	VARIANCE APPLICATION

NO. DATE: REVISION

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A05	PROPOSED SECTIONS

PROJECT:

63 CROSS STREET

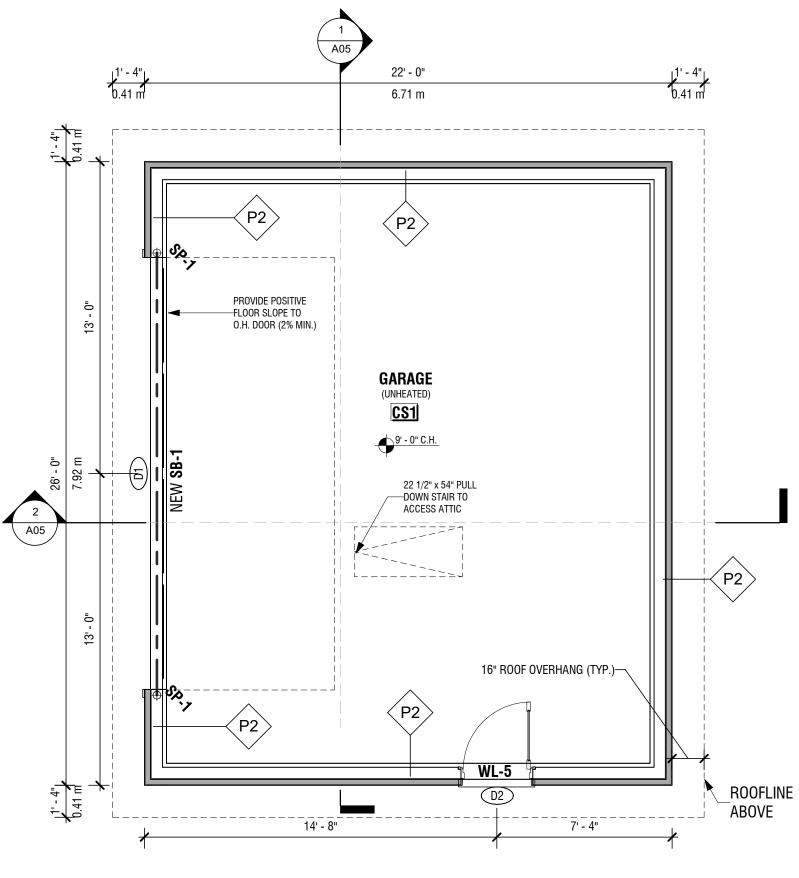
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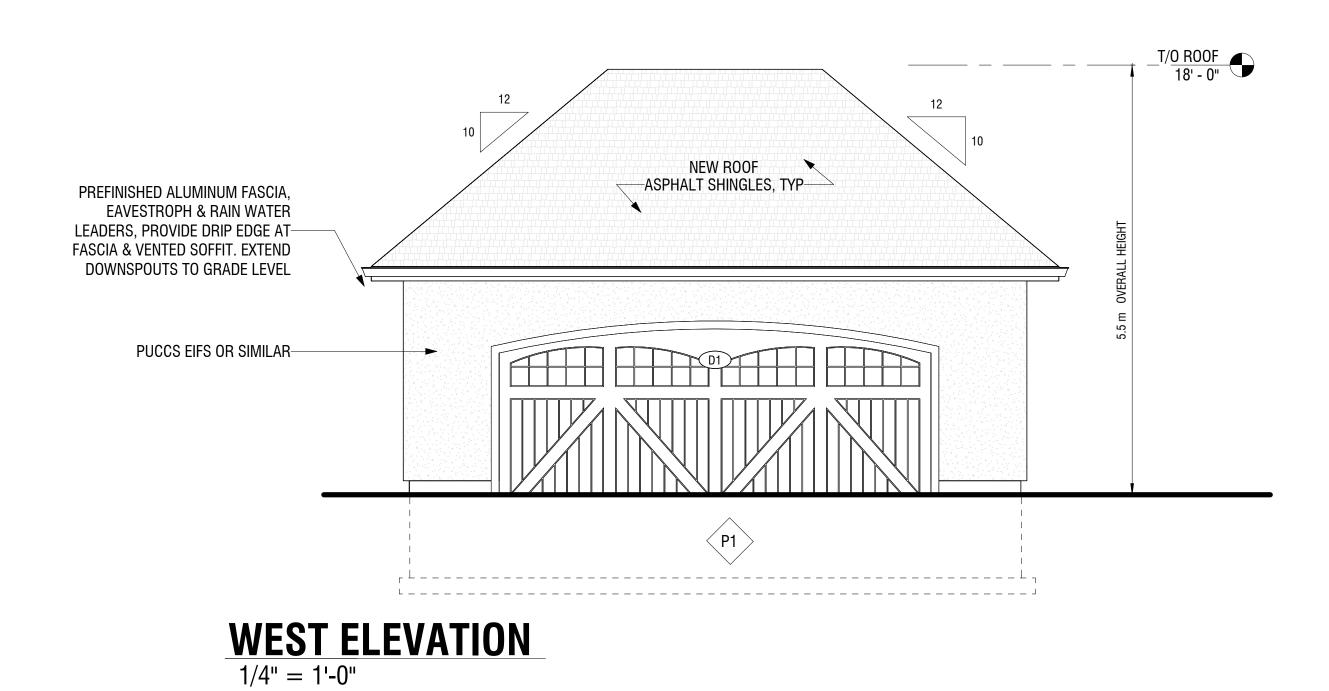
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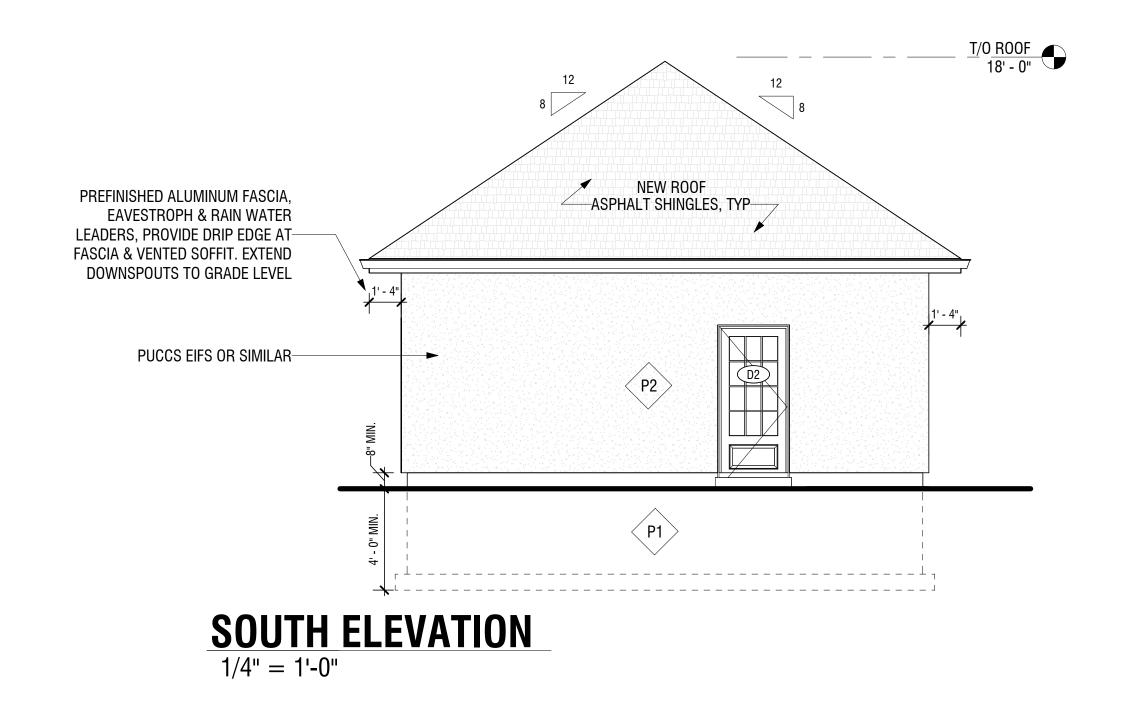
PROPOSED PLANS

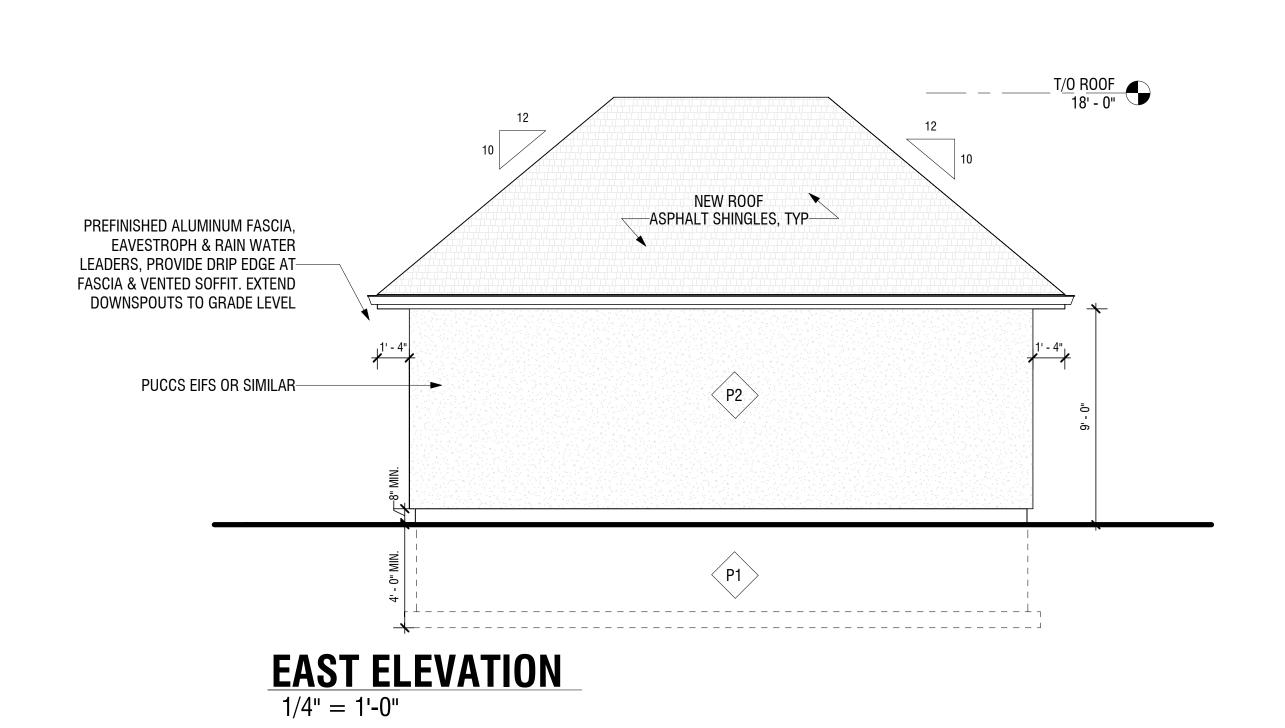
AS INDICATED

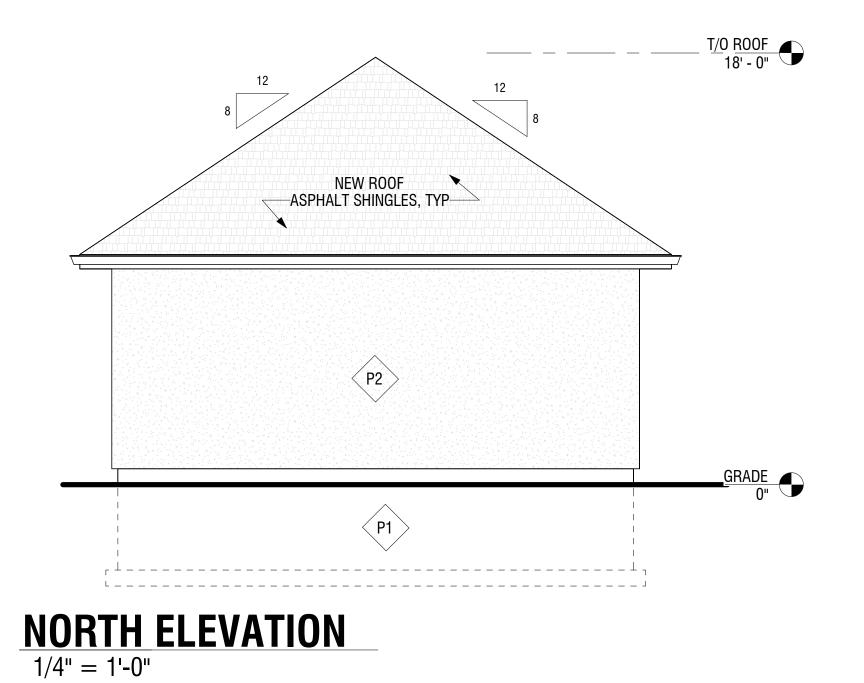
A03







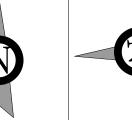






PROJECT NORTH

NORTH TRUE NORTH



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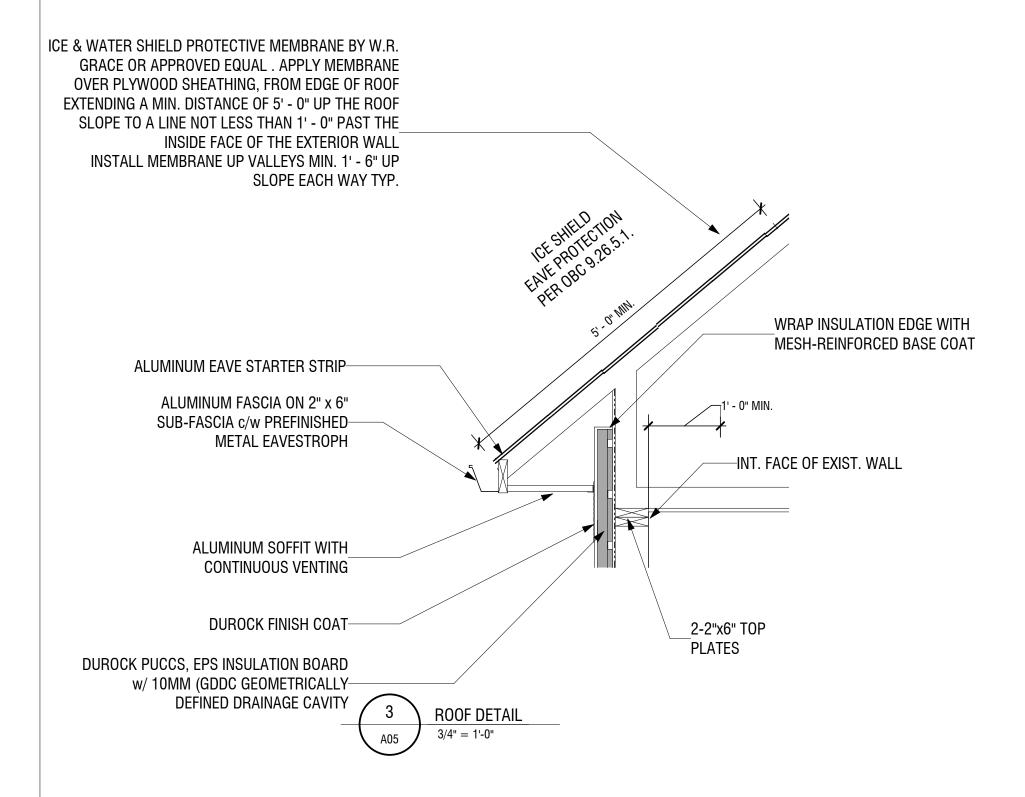
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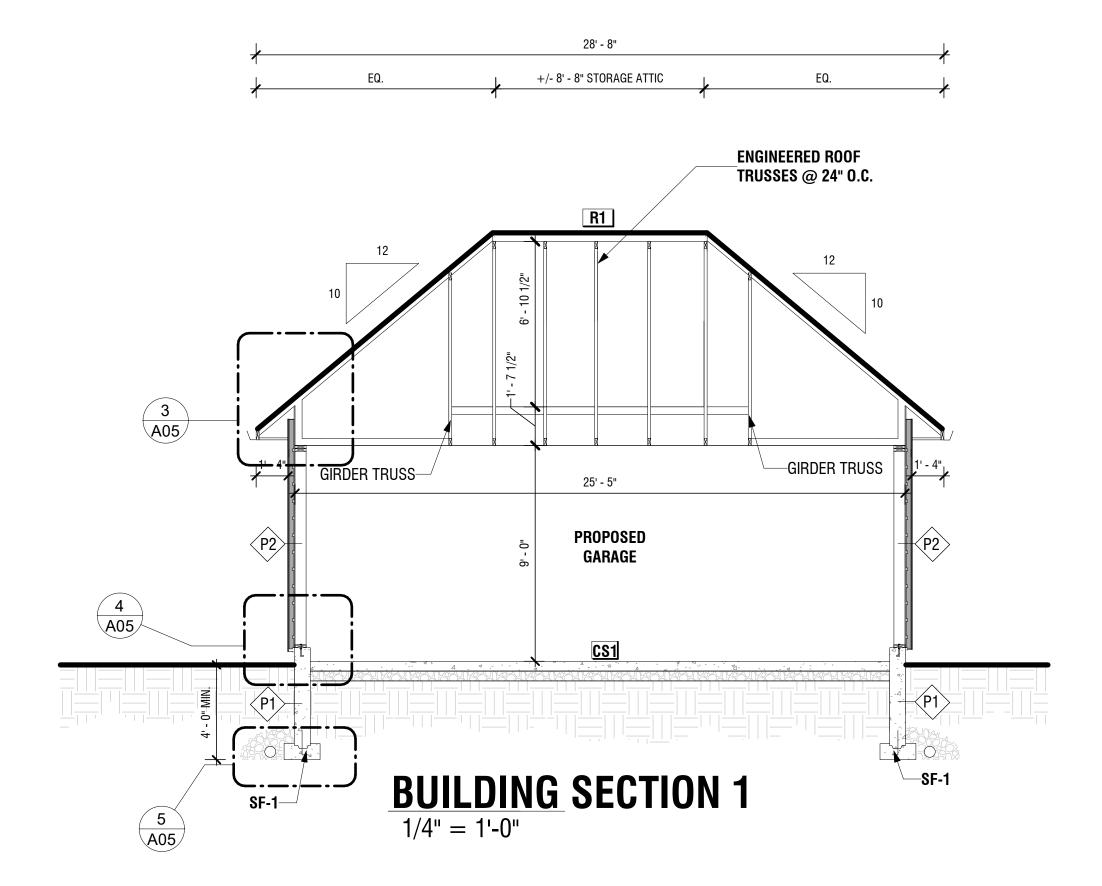
PROPOSED ELEVATIONS

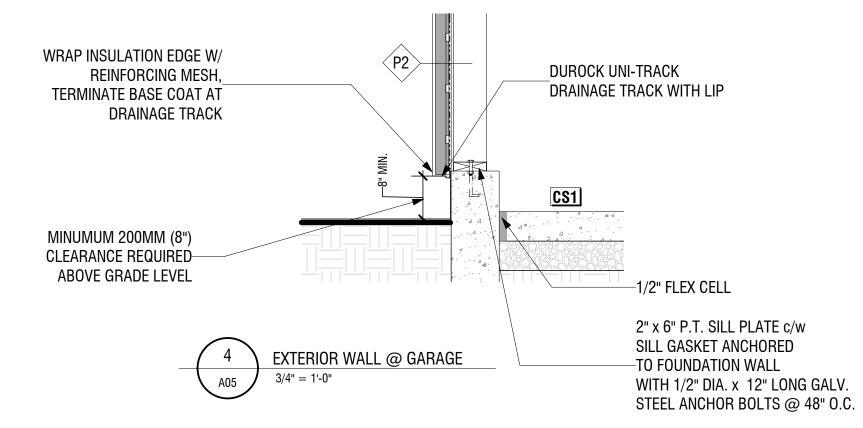
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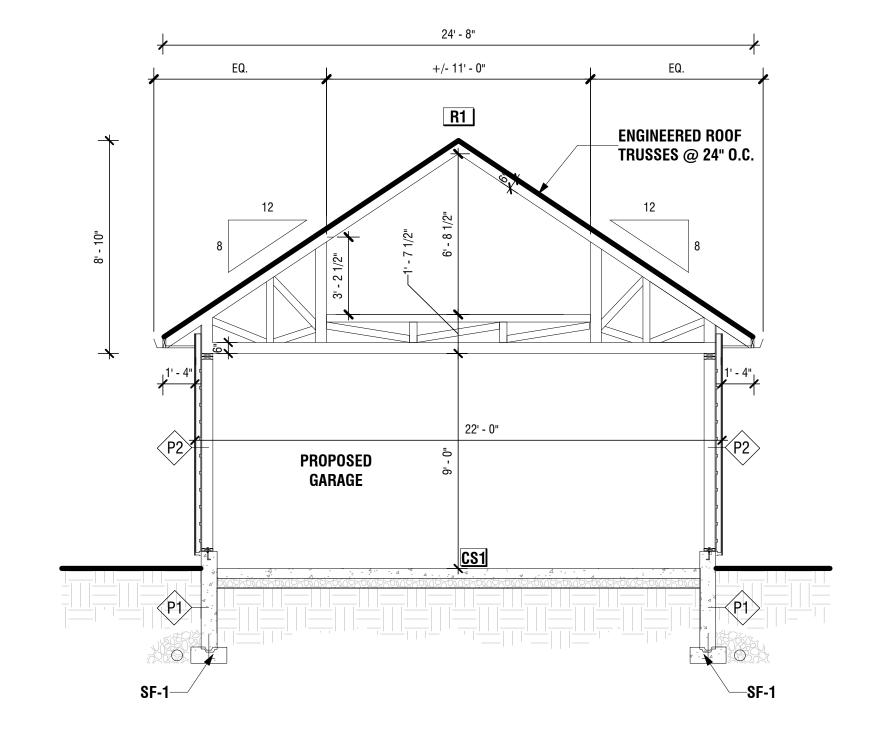
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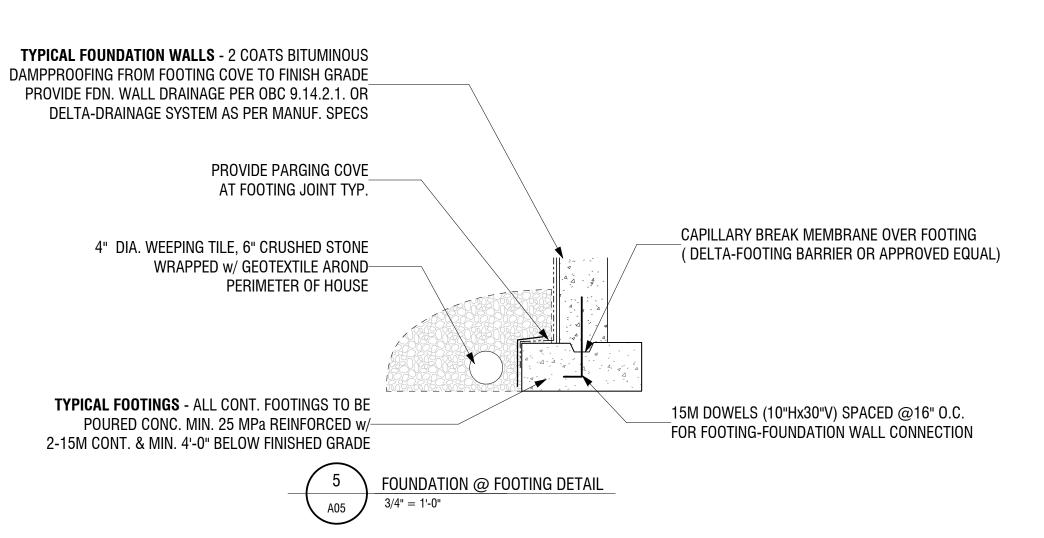
A04











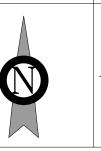
BUILDING SECTION 2

1/4" = 1'-0"



TRUE NORTH

PROJECT NORTH



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A05 PROPOSED SECTIONS

PROJECT:

63 CROSS STREET

A. VENNERI

2024.01.02

PROPOSED SECTIONS

AS INDICATED

6/6

A05



Committee of Adjustment

City Hall, 5th Floor, 71 Main St. W., Hamilton, ON L8P4Y5

Phone: (905) 546-2424 ext. 4221

Email: cofa@hamilton.ca

APPLICATION FOR A MINOR VARIANCE/PERMISSION

UNDER SECTION 45 OF THE PLANNING ACT

APPLICANT INFORMATION 1.

	NAME			
Registered Owners(s)	DAVID SMITH BRENDA COPPS			
Applicant(s)	ANTHONY VENNERI			
Agent or Solicitor				Phone:
				L-man.
.2 All correspond	lence should be sent to	☐ Purcha ☑ Applica		☑ Owner☐ Agent/Solicitor
.3 Sign should be sent to		☐ Purcha ☑ Applica		☑ Owner☐ AgentSolicitor
.4 Request for di	gital copy of sign	✓ Yes*	□ No	
If YES, provid	e email address where si	gn is to be se	ent	
.5 All correspond	lence may be sent by em	ail	☑ Yes*	□No
•	email must be included for Only one email address	_	` '	AND the Applicant/Agent voiding of this service.

This request does not guarantee all correspondence will sent by email.

2. LOCATION OF SUBJECT LAND

2.1 Complete the applicable sections:

Municipal Address	63 CROSS ST.		
Assessment Roll Number	26021018800		
Former Municipality	DUNDAS		
Lot		Concession	
Registered Plan Number	1384	Lot(s)	2
Reference Plan Number (s)		Part(s)	

2.2	Are there any easements or restrictive covenants affecting the subject land?			
	☑ Yes ☐ No			
	If YES, describe the easement or covenant and its effect: There is an existing right-of-way on the north side of the property which comprises of the existing gravel driveway. This has been in place for decades and the intention is to continue to use this as a gravel driveway to access the existing house and proposed garage.			
3.	PURPOSE OF THE APPLICATION			
	Additional sheets can be submitted if there is not sufficient room to answer the following questions. Additional sheets must be clearly labelled			
All d	limensions in the application form are to be provided in metric units (millimetres, metres, hectares)			
3.1	Nature and extent of relief applied for:			
	To permit the construction of a detached garage, with a maximum height of 5.5m instead of the maximum permitted height of 4.0m and area of 54 sq.m instead of the maximum permitted area of 41 sq.m.			
	☐ Second Dwelling Unit ☐ Reconstruction of Existing Dwelling			
3.2	Why it is not possible to comply with the provisions of the By-law?			
	Additional height is needed to allow for a storage space above the garage. The additional area is required to comfortably fit the homeowners' 2 vehicles and allow for clearance to access the attic hatch to the storage space above.			
3.3	Is this an application 45(2) of the Planning Act. ☐ Yes ☐ No If yes, please provide an explanation:			
	y = 2, p = = = 2 p = = = = = = = = = = = = = =			

4. DESCRIPTION OF SUBJECT LAND AND SERVICING INFORMATION

4.1 Dimensions of Subject Lands:

Lot Frontage	Lot Depth	Lot Area	Width of Street
32.3m	72.7m	2317sq.m	3.5m

4.2 Location of all buildings and structures on or proposed for the subject lands: (Specify distance from side, rear and front lot lines)					
Existing:					
Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction	
2.5 storey single family dwelling	27.6m	30.3m	7.6m/7.6m		
Proposed:					
Type of Structure	Front Yard Setback	Rear Yard Setback	Side Yard Setbacks	Date of Construction	
Detached garage	56.4m	6.7m	3.3m/22.4m	04/01/2024	
4.3. Particulars of a sheets if neces Existing:	_	ures on or proposed f	for the subject lands (a	attach additional	
Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height	
2.5 storey single family dwelling	176.5 sq.m	374 sq.m	2.5	10m	
Proposed:	Craund Flagr Area	Cross Floor Area	Number of Ctorova	l laimht	
Type of Structure	Ground Floor Area	Gross Floor Area	Number of Storeys	Height	
Detached garage	54 sq.m	61 sq.m	1.5	5.5m	
 4.4 Type of water supply: (check appropriate box) ☐ publicly owned and operated piped water system ☐ privately owned and operated individual well 4.5 Type of storm drainage: (check appropriate boxes) ☐ publicly owned and operated storm sewers ☐ ditches ☐ other means (specify) ☐ ditches ☐ other means (specify) 					

4.6	Type of sewage disposal proposed: (check appropriate box)
	publicly owned and operated sanitary sewage
	system privately owned and operated individual septic system other means (specify)
4.7	Type of access: (check appropriate box) ☐ provincial highway ☐ right of way
	☐ municipal road, seasonally maintained ☐ other public road ☐ municipal road, maintained all year
4.8	Proposed use(s) of the subject property (single detached dwelling duplex, retail, factory etc.):
	Single detached dwelling
4.9	Existing uses of abutting properties (single detached dwelling duplex, retail, factory etc.):
	City park to the north & east, single detached dwelling to the south
7	HISTORY OF THE SUBJECT LAND
7.1	Date of acquisition of subject lands: 1986
7.2	Previous use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
	Single detached dwelling
7.3	Existing use(s) of the subject property: (single detached dwelling duplex, retail, factory etc)
7.4	Single detached dwelling
7.4	Length of time the existing uses of the subject property have continued: 37 years
7.5	What is the existing official plan designation of the subject land?
	Rural Hamilton Official Plan designation (if applicable):
	Rural Settlement Area:
	Urban Hamilton Official Plan designation (if applicable)
	Please provide an explanation of how the application conforms with the Official Plan.
7.6	What is the existing zoning of the subject land? "R2" (ZONING BY-LAW 3581-86)
7.8	Has the owner previously applied for relief in respect of the subject property? (Zoning By-lawAmendment or Minor Variance) ☐ Yes ☑ No
	If yes, please provide the file number: "R2" (ZONING BY-LAW 3581-86)

7.9	Is the subject property the subject Planning Act?	ct of a current application for consent under Section 53 of the			
	Training Act:	☐ Yes	3	☑ No	
	If yes, please provide the file nun	nber: _			
7.10	O If a site-specific Zoning By-law Amendment has been received for the subject property, has the two-year anniversary of the by-law being passed expired?				
		☐ Yes	5	☑ No	
7.11	•	allowed	d must be ii	tor of Planning and Chief Planner that the ncluded. Failure to do so may result in an	
8	ADDITIONAL INFORMATION				
8.1	Number of Dwelling Units Existin	ng: <u>1</u>		_	
8.2	Number of Dwelling Units Propos	sed: <u>0</u>		_	
8.3	Additional Information (please inc	clude se	parate she	et if needed):	

11.1 All Applications Application Fee ✓ Site Sketch Complete Application form ✓ Signatures Sheet Other Information Deemed Necessary 11.4 Cover Letter/Planning Justification Report Authorization from Council or Director of Planning and Chief Planner to submit application for Minor Variance Minimum Distance Separation Formulae (data sheet available upon request) ☐ Hydrogeological Assessment Septic Assessment Archeological Assessment Noise Study Parking Study

COMPLETE APPLICATION REQUIREMENTS